

1800 CHAPMAN

 SITE PLAN
 APPLICATION
 4TH ELECTION DISTRICT
 MONTGOMERY COUNTY,
 MARYLAND
 WSSC GRID: 216NW06
 TAX MAP: GQ63

OPEN AREA SITE PLAN

PROFESSIONAL SEAL


 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
 PREPARED OR APPROVED BY ME, AND THAT I AM A
 DULY LICENSED PROFESSIONAL ENGINEER UNDER
 THE LAUREN G. MOUNAIX, PE, PROFESSIONAL
 ENGINEER ACT OF MARYLAND.
 NAME: LAUREN G. MOUNAIX
 LICENSE No. 36749
 EXPIRATION DATE: JANUARY 21, 2025

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 DRAWN BY: CC

 DESIGNED BY: JAE

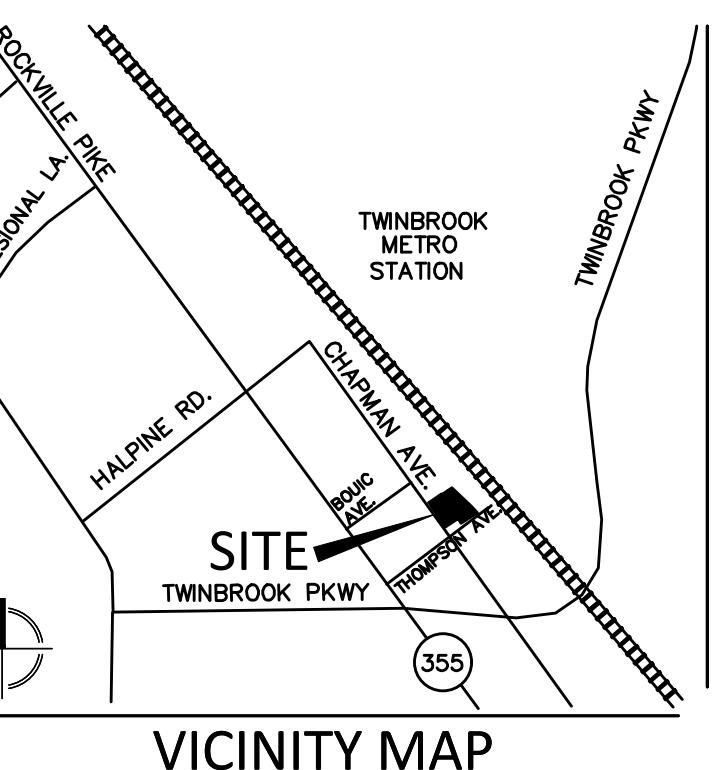
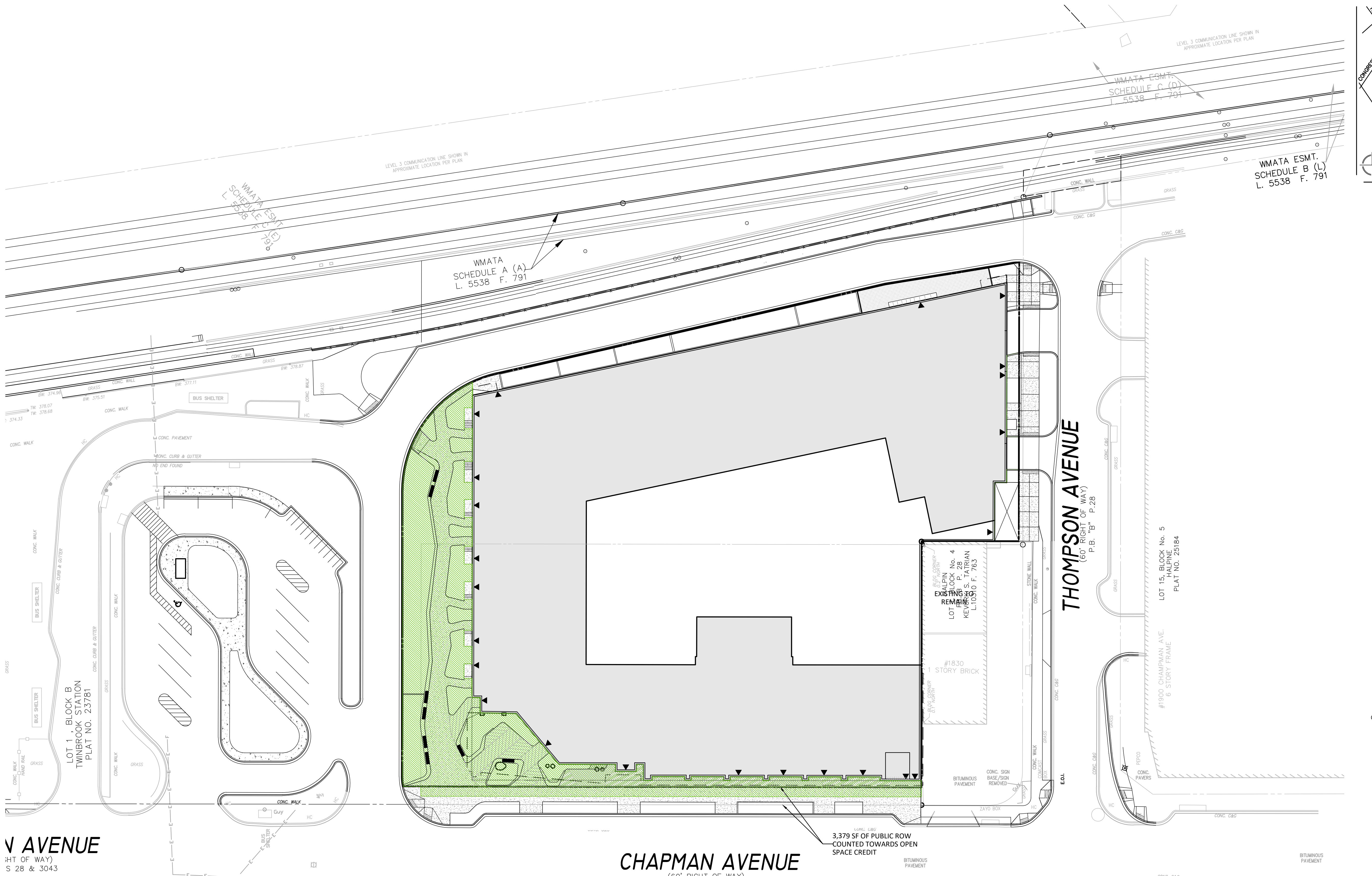
 DATE ISSUED: 11/12/2021

 VIKA
 PROJECT **VM50024**

 DRAWING NO. **SP-4**

 SHEET NO. **1**

2-50000-50024-0200-F-SITE-4-OPEN.dwg ~ Thursday, October 31, 2024 3:49:05 PM


VICINITY MAP

SCALE: 1" = 2000'

V AVENUE

 (HT OF WAY)
 S 28 & 3043

LEGEND



OPEN AREA/PUBLIC USE

 14,622 SQ. FT.
 REQUIRED

 13,000 SQ. FT.
 ON-SITE PROVIDED

 1,800 SQ. FT.
 ROW PROVIDED

 14,800 SQ. FT.
 TOTAL PROVIDED

Community Planning & Development Services

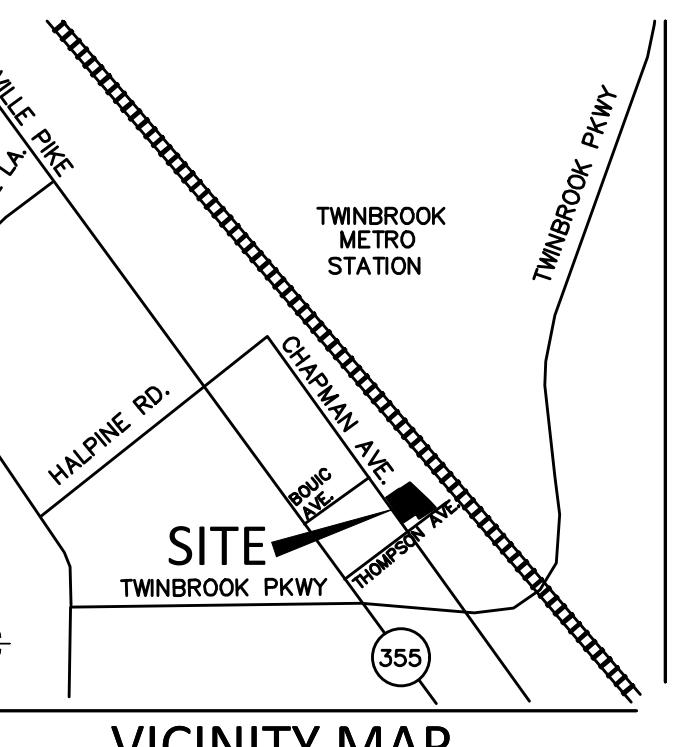
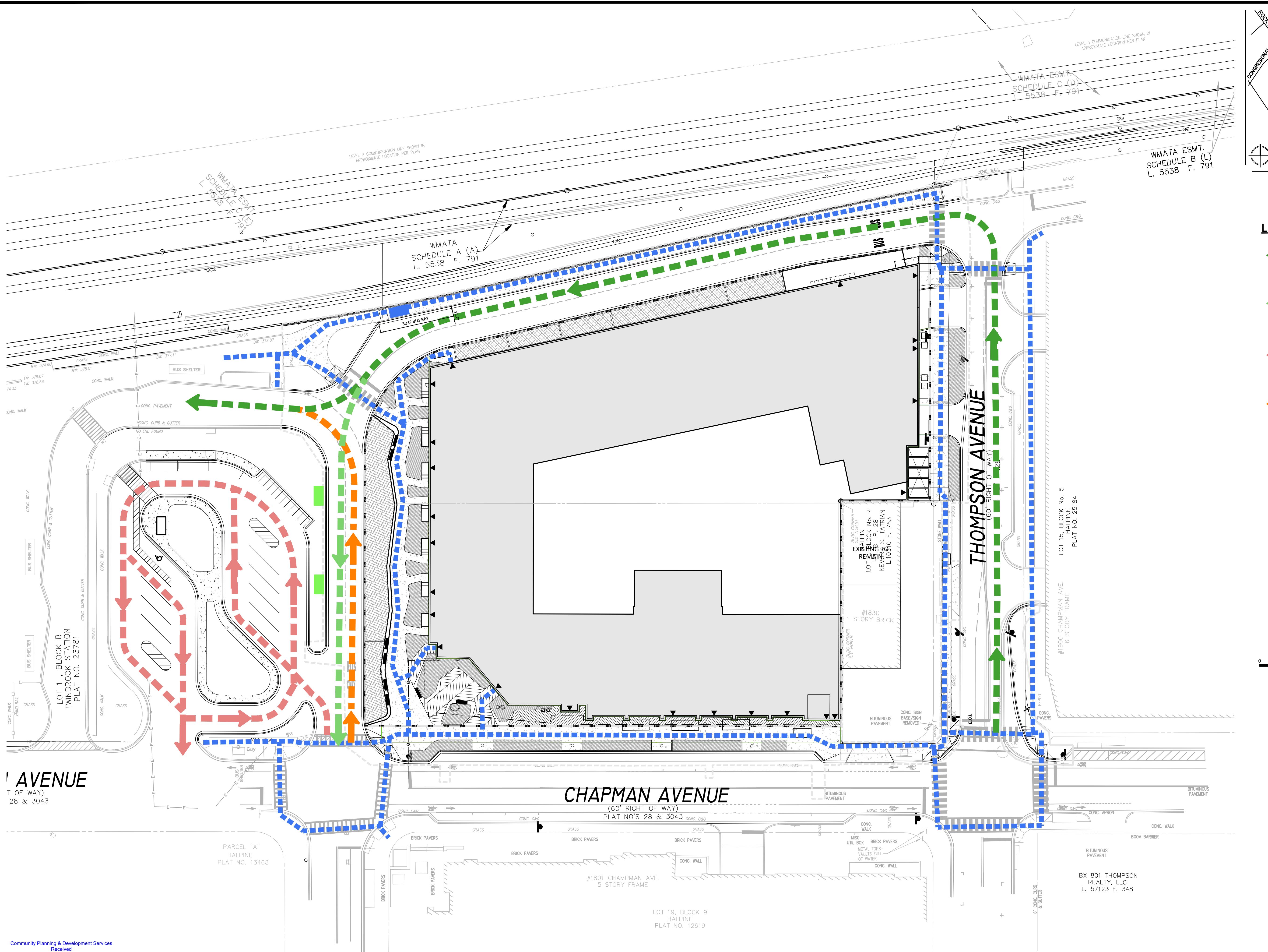
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November 4, 2024

 FOR LOCATION OF UTILITIES CALL
 8-1-1 or 1-800-257-7777 OR LOG ON TO
www.call811.com or <http://www.missutility.net>
 48 HOURS IN ADVANCE OF ANY
 WORK IN THIS VICINITY

The excavator must notify all public utility companies of underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 29 of the Montgomery County Code.

LAYOUT: SP-4 Open Space, Plotted By: Mousaud



EPARED FOR:
INES CONCEPTUAL
ONSTRUCTION GROUP
300 POST OAK
ULEVARD
USTON, TX 77056
MERON CHRISTIAN
THERON CONTRACTING UNITS.COM

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ATTORNEY:
WIRES GILL LLP
100 HAMPDEN LANE, SUITE 200
THESDA, MD, 20814
1.263.6275
CONTACT:
FEATHER DLHOPOLSKY

AFFIC:
TELLS + ASSOCIATES
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VER SPRING, MD 20910
1.448.1333
ONTACT: NANCY RANDALL

NDSCAPE ARCHITECT:
EIGN WORKSHOP
1 NORTH WEST STREET
ITE 109
LEIGH, NC 27603
9.973.6254
ONTACT: BENJAMIN BOYD

EDITIONS	DATE
submission	9/30/2022
submission	12/08/2022
submission	09/08/2023
submission	10/11/2024

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BUS CIRCULATION PLAN



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CENSE No.: 36749
EXPIRATION DATE: JANUARY 21, 2025

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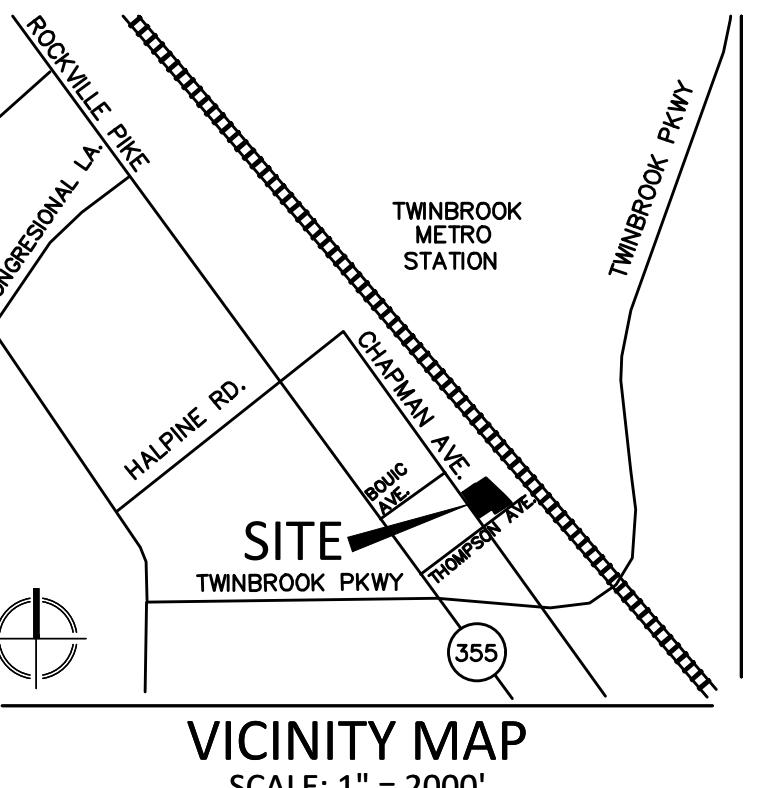
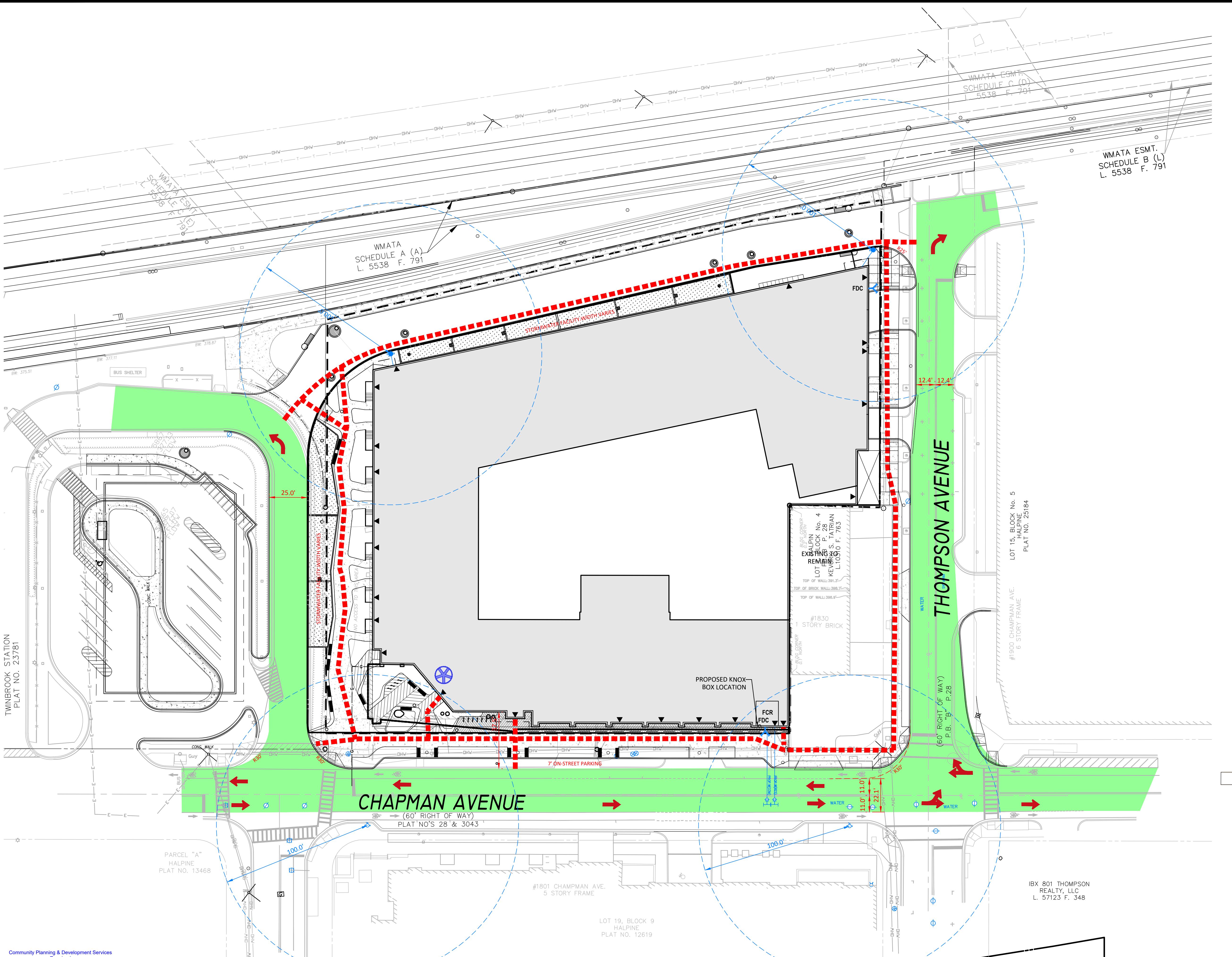
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OBJECT
DRAWING
NO.
SHEET NO.

Community Planning & Development Services
Received
November 4, 2024



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VIKA
VIKA MARYLAND, LLC
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Germantown, MD 20874
301.916.4100 | vika.com

Our Site Set on the Future.

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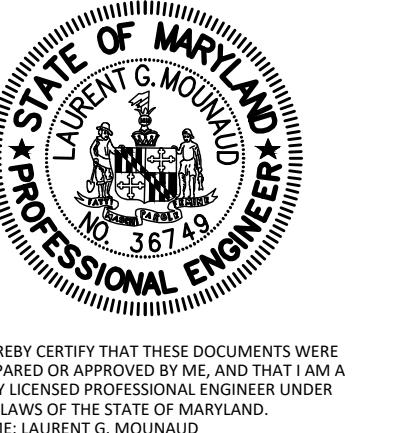
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SUITE 210
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301.448.1333
CONTACT: NANCY RANDALL

LANDSCAPE ARCHITECT:
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SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS DATE
Resubmission 9/30/2022
Resubmission 12/08/2022
Resubmission 09/09/2023
Resubmission 10/11/2024

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MARYLAND
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PRE-APPLICATION
SITE PLAN
FIRE ACCESS
PLAN
PROFESSIONAL SEAL



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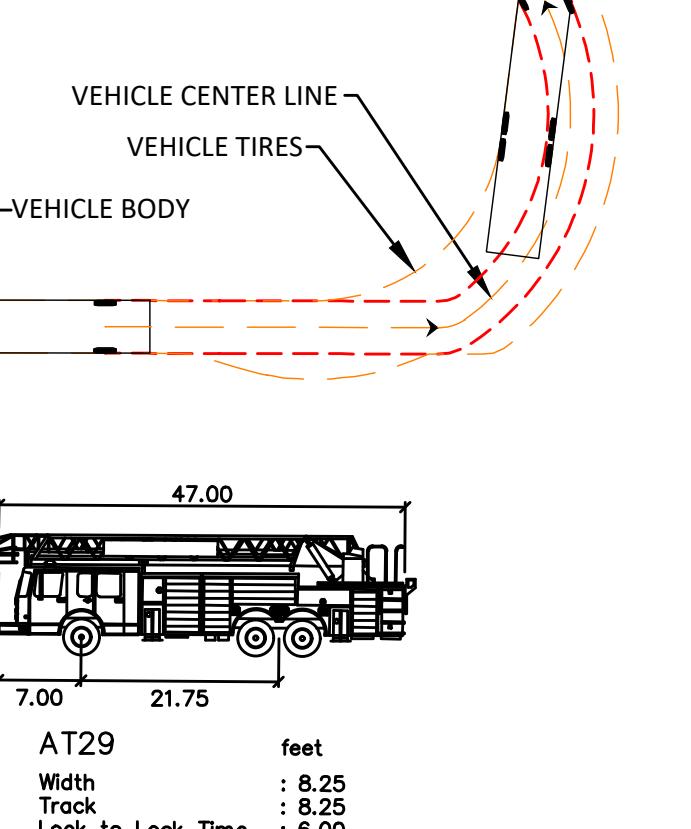
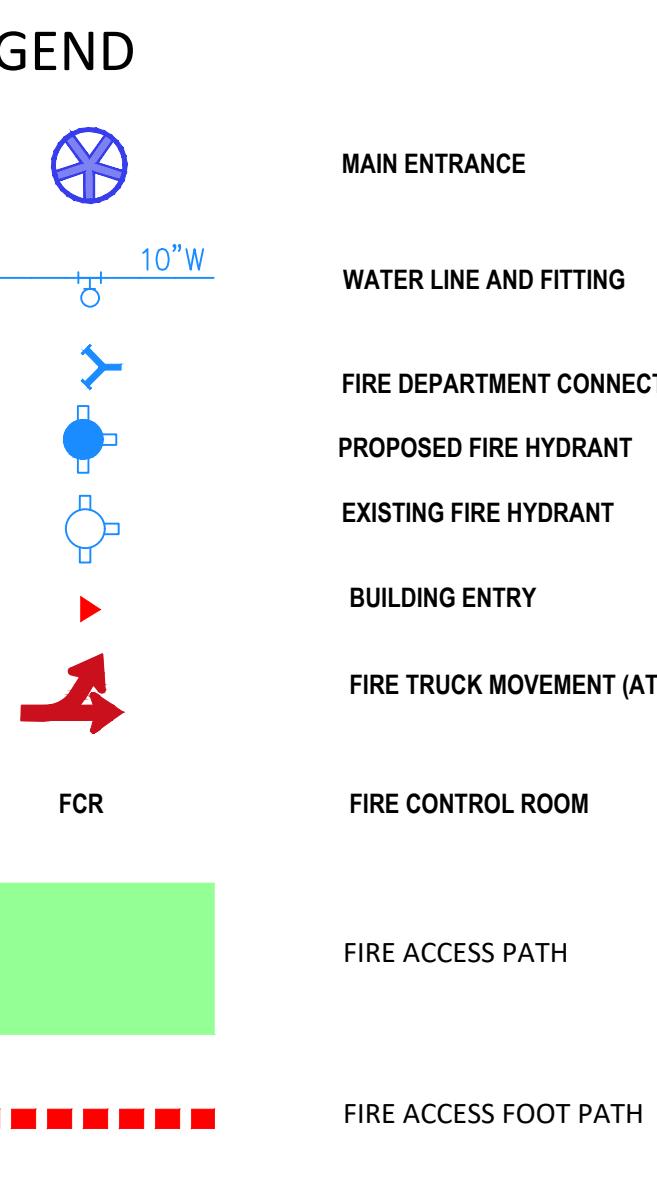
DATE ISSUED: 11/12/2021

VIKA
PROJECT VM50024

DRAWING NO. SP-6

SHEET NO.

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SCALE: 1" = 30'

GENERAL NOTES

- The provided survey has been reformed for use in and for preparation of these documents. Contractor shall obtain officially signed copy of the survey and become familiar with it, the existing conditions and site context prior to construction. All discrepancies should be brought to the attention of the Landscape Architect for immediate resolution. Landscape Architect is not responsible for errors or omissions associated with preparation or documentation of survey.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements, limits of site demolition, etc. for delineation of expected extents of disturbance, however, final impact shall be determined in the field. Should limits of disturbance exceed boundaries defined in drawings, Contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through his/her means and methods and General Conditions to a condition acceptable to the owner at no additional cost.
- Contractor is responsible for protecting all existing conditions, improvements, utilities, etc. to remain. Any damages shall be repaired to a condition acceptable to the owner at no additional cost.
- Contractor is responsible for maintaining a complete up-to-date set of Drawings and Specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- The Drawings and Specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for immediate resolution.
- Contact the local underground utility service locator for utility locates and identification prior to commencing work and maintain in field throughout construction unless indicated or directed otherwise.
- Verify plant protection, stormwater pollution protection plan (SWPPP), existing improvement to remain, and Contractor site control measures are in place prior to commencing with construction. Do not proceed with construction if not in compliance and maintained throughout. Coordinate with Owner's Representative and authorities having jurisdiction as required.

SITE LAYOUT NOTES

- Layout and dimensions provided on Drawings are based on architecture building grid.
- Verify utility locates, plant protection and stormwater pollution protection plan (SWPPP) measures are in place prior to commencing construction. Do not proceed with construction if not in compliance and maintained throughout.
- Layout and verify dimensions prior to construction. Field stake all proposed improvements for review and approval by Landscape Architect unless indicated otherwise. Bring discrepancies to the attention of the Landscape Architect for final direction. Landscape Architect reserves right to make field adjustments and layout decisions in field as necessary at no additional cost to owner.
- Request inspection of field staking by Landscape Architect a minimum of 24 hours in advance of performing any work unless indicated otherwise.
- For dimensions of buildings, garages, trash enclosures, and related work, refer to the architectural drawings. Copies of these drawings are available from the owner.
- Written dimensions take precedence over scaled dimensions. Bring discrepancies to the attention of the Landscape Architect for final direction.
- Where dimensions are called as "equal," space referenced items equally, measured to their center lines.
- Measurements are to face of building, wall or the fixed site improvement. Dimensions to center lines is indicated.
- Typical Specific Measurement Guidelines:**
 - Expansion joints in walkways shall be located at (30'-0") on center maximum unless indicated otherwise.
 - "All" steps shall have (12") treads unless indicated otherwise.
 - "All" stairway perimeter handrails shall extend 12" beyond top riser, 12" beyond bottom riser, and be set 2" clear from edge of (stairs) (wall) unless indicated otherwise. Intermediate handrails shall be as indicated.
 - All accessible ramps shall be 5'-0" clear unless designated otherwise.
 - All accessible ramp handrails shall extend 12" beyond top of ramp and 12" beyond bottom of ramp, and be set 2" clear from edge of paving or wall unless designated otherwise.

SITE GRADING AND DRAINAGE NOTES

- Protect existing utilities to remain. Contractor is responsible for all damage to utilities encountered during construction and shall repair at no additional cost to owner.
- Layout and field stake all proposed landscape grading and drainage improvements for review and approval by Landscape Architect prior to construction unless indicated or directed otherwise.
- Request inspection of field staking by Landscape Architect a minimum of 24 hours in advance of performing any work unless indicated otherwise.
- Landscape spot elevations shall be as indicated and defined per Abbreviations List. Bring any discrepancies to the attention of Landscape Architect for clarification.
- Provide a minimum of 1% (1:100) slope and a maximum of 5% (1:20) slope on all proposed hardscape and minimum of 2% (1:50) slope and maximum of 33% (1:3) slope on all proposed softscape unless indicated otherwise.
- All surfaces shall be flush and meet smoothly and evenly unless indicated otherwise.
- Provide positive drainage and pitch to drain.
- Refer to Civil Engineer's drawings for all design calculations, details, subsurface piping, overflows/ outfalls, storage basins, erosion control, stormwater pollution protection plans (SWPPP) and connections to site landscape and hardscape drains indicated in drawings unless designated otherwise.
- Provide erosion control measures for swales exceeding 5% (1:20) slope and grade/hillsides exceeding 33% (1:3) slope as indicated. If not indicated bring to the attention of Landscape Architect immediately for direction.
- Refer to Civil Engineer's drawings for all roadway and driveway improvements.
- Refer to MEP drawings for all design calculations, details, piping and connections to landscape and hardscape drains over structure.
- Refer to architectural drawings for waterproofing of building and site structure slab penetrations for landscape stormwater drains and piping.

SITE SOILS NOTES

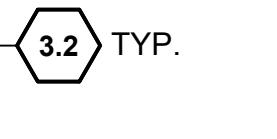
- Contractor shall coordinate with Owner's Representative for location of stockpile areas for stripped topsoil and planting soil products. Contractor shall ensure area is protected and contamination or disturbance of stored products is not allowed.
- Contractor shall ensure subgrade is scarified prior to installing planting soil and blend with initial lift or placement of proposed planting soil.
- Coordinate placement of planting soil with other work, especially utilities. Placement should occur after installation of all hardscape improvements, irrigation system, utilities, etc. and before installation of plants.

LANDSCAPE PLANTING NOTES

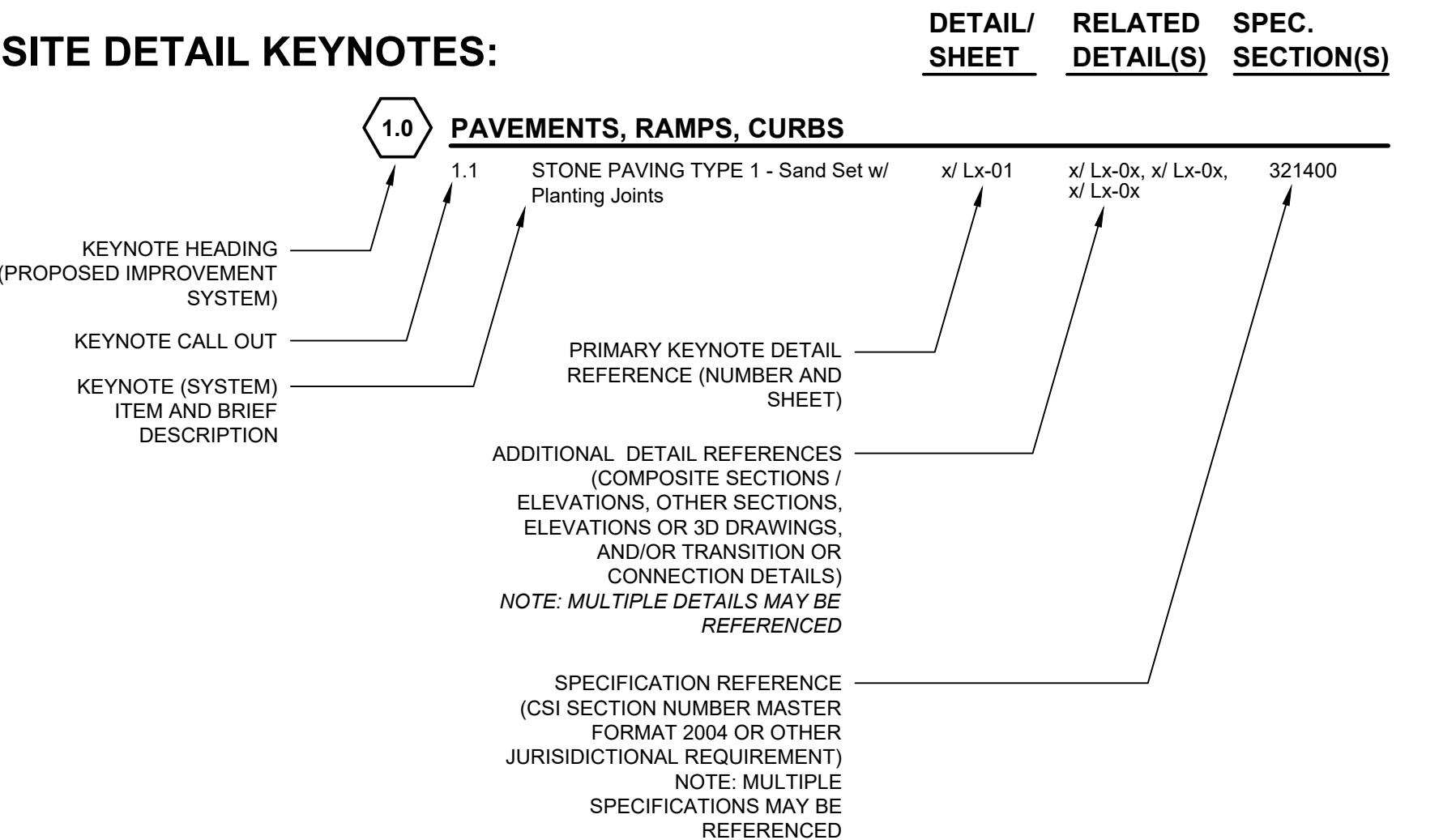
- Refer to Civil Engineer's utility and grading and drainage plans as required. If actual site conditions vary from what is shown on the plans, contact the Landscape Architect for direction as to how to proceed.
- Verify locations of pertinent site improvements installed under other sections. If any part of this plan cannot be followed due to site conditions, contact Landscape Architect for instructions prior to commencing work.
- Exact locations of plant materials shall be approved by the Landscape Architect in the field prior to installation. Stake or otherwise layout all proposed planting for review. Landscape Architect reserves the right to adjust plants to exact location in field.
- Verify plant counts and square footages. Quantities are provided as Owner information only. If quantities on plant list differ from graphic indications, then graphics shall prevail. If graphics are inconclusive contact Landscape Architect for clarification.
- Perform excavation in vicinity of underground utilities and existing trees/plants with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities and existing trees/plants shall be repaired or replaced immediately at no expense to the Owner.
- Trees/plants shall bear same relation to finished grade as it bore to existing in place of growth. However, at no point shall it be less than 1 inch above adjacent finish grade.
- Trees shall be planted a minimum of 10 feet from face of building and a minimum of 3 feet from edge of pavement, except as approved by Landscape Architect.
- Shrubs shall be planted a minimum of 3 feet from face of building and a minimum of 12 inches from edge of pavement, except as approved by Landscape Architect.
- All other plants (perennials, grasses, groundcover, annuals) shall be planted a minimum of 12 inches from face of building and a minimum of 6 inches from edge of pavement, except as approved by Landscape Architect.
- Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
- Prune newly planted trees only as directed by Landscape Architect.
- Finish grades of planting areas and lawns shall be flush and meet smoothly and evenly with adjacent paving, providing positive drainage. Shovel V-cut edges shall be provided at planting area transitions to adjacent pavement as indicated to allow for mulch installation.
- Provide specified edging as divider between planting beds and lawn areas.

CALLOUT SAMPLES

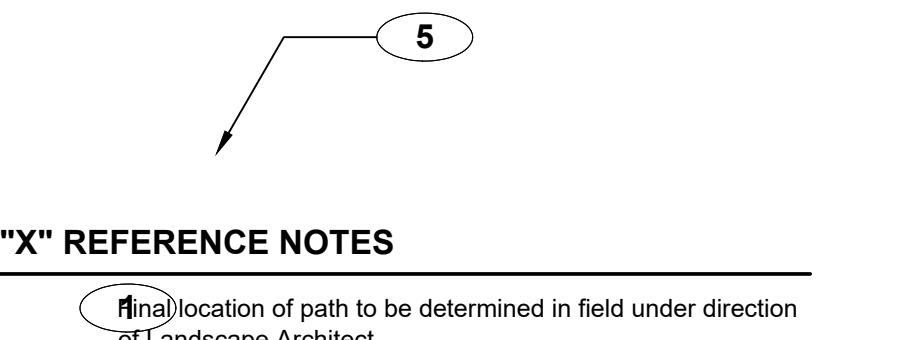
SAMPLE KEYNOTE DRAWING CALLOUT:



SITE DETAIL KEYNOTES:

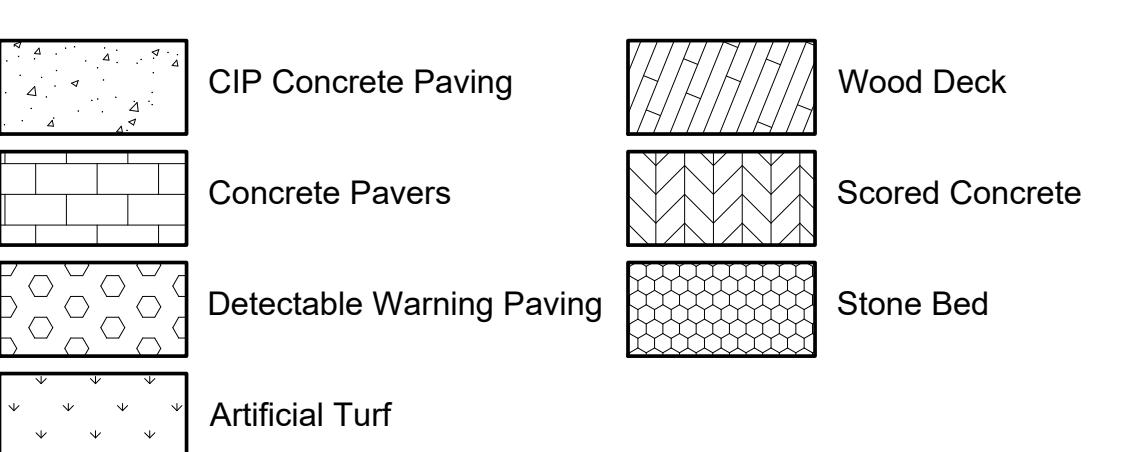


SAMPLE REFERENCE NOTE KEY:



NOTE: "X" REFERS TO DRAWING SERIES (i.e. SITE DEMOLITION REFERENCE NOTES). THERE SHOULD BE SPECIFIC REFERENCE NOTES FOR EACH DRAWING SERIES. HOWEVER, SOME NOTES MAY APPEAR ON MULTIPLE SERIES AS APPLICABLE.

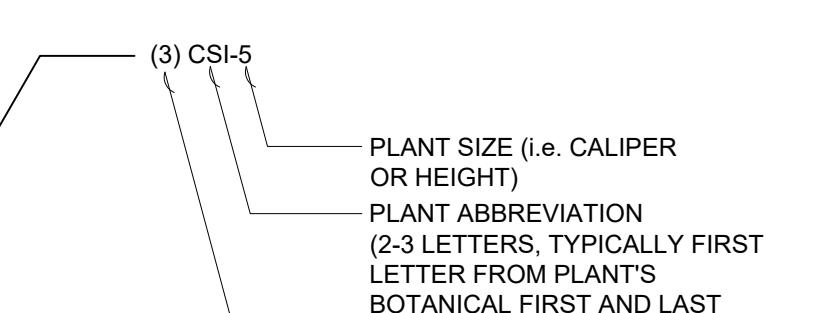
MAETERIALS LEGEND



LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	MH	MANHOLE
ARCH	ARCHITECT	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
B&B	BALLED AND BURLAPPED	MTD	MONTE
BC	BOTTOM OF CURB	MTL	METAL
BF	BOTTOM OF FOOTING	N	NORTH
BLDG	BUILDING	NIC	NOT IN CONTRACT
BM	BENCHMARK	NO	NUMBER
BOC	BACK OF CURB	NOM	NOMINAL
BR	BOTTOM OF RAMP	NTS	NOT TO SCALE
BRG	BEARING	OC	ON CENTER
BS	BOTTOM OF STEP	OD	OUTSIDE DIAMETER
BW	BOTTOM OF WALL	OPP	OPPOSITE
CAL	CALIPER	PAR	PARALLEL
CAP	CAPACITY	PC	POINT OF CURVATURE
CF	CUBIC FEET	PE	POLYURETHANE
CHAM	CHAMFER	PERF	PERFORATED
CIP	CASING PLACE	PED	PEDESTAL
CON	CONTROL JOINT	PI	POINT OF INTERSECTION
CU	CENTER LINE	PL	PROPERTY LINE
CLR	CLEARANCE	PT	POINT POINT OF TANGENCY
CM	CENTIMETER	PVC	POLYVINYL CHLORIDE
CO	CLEAN OUT	PVMT	PAVEMENT
COMP	COMPACTED	PVR	PAVER
CONC	CONCRETE	QTY	QUANTITY
CONST	CONSTRUCTION	R	RADIUS
CONT	CONTINUOUS	RECEP	RECEPTACLE
CONTR	CONTRACTOR	REF	REFERENCE
CU	CUBIC	REINF	REINFORCE(D)
CY	CUBIC YARD	REM	REMOVE
DBL	DOUBLE	REQ'D	REQUIRED
DF	DIRECTION OF FLOW	REV	REVISION REVISED
DEG	DEGREE	ROW	RIGHT OF WAY
DEMO	DEMOLISH, DEMOLITION	RT	RIGHT
DIA	DIAMETER	S	SOUTH
DIM	DIMENSION	SAN	SANITARY
DTL	DETAIL	SCH	SCHEDULE
DWG	DRAWING	SD	STORM DRAIN
E	EAST	SEC	SECTION
EA	EACH	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SHT	SHEET
EL	ELEVATION	SI	STORM INLET
ELEC	ELECTRICAL	SIM	SIMILAR
ENG	ENGINEER	SNT	SEALANT
EQ	EQUAL	SPECS	SPECIFICATIONS
EQUIP	EQUIPMENT	SQ	SQUARE
EST	ESTIMATE	ST	STORM SEWER
E.W.	EACH WAY	SY	SQUARE YARD
EXIST	EXISTING	STA	STATION
EXP	EXPANSION, EXPOSED	STD	STANDARD
FF	FINISHED FLOOR ELEVATION	STL	STEEL
FG	FINISHED GRADE	STRSL	STRUCTURAL
FIN	FINISH	SYM	SYMMETRICAL
FL	FLOW LINE	T&B	TOP AND BOTTOM
FOC	FACE OF CURB	TBC	TOP OF BACK CURB
FT	FOOT (FEET)	TC	TOP OF CURB
FTG	FOOTING	TF	TOP OF FOOTING
GA	GAUGE	THK	TOP OF CONCRETE
GAL	GALVANIZED	TOC	TOPOGRAPHY
GC	GENERAL CONTRACT(OR)	TOPO	TOPOGRAPHY
GEN	GENERAL	TSL	TOP OF SLAB
HORIZ	HORIZONTAL	TRAS	TRANSFORMER
HP	HIGH POINT	TR	TOP OF RAMP
HT	HEIGHT	TS	TOP OF STEP
ID	INSIDE DIAMETER	TW	TOP OF WALL
INV	INVERT ELEVATION	TYP	TYPICAL
IN	INCHES	VAR	VARIES
INCL	INCLUDE(D)	VERT	VERTICAL
INL	INLET	VEH	VEHICLE
IRR	IRRIGATION	VOL	VOLUME
JT	JUNCTION	W/	WITH
LIN	LINEAR	W/O	WITHOUT
LF	LINEAR FEET	WT	WEIGHT
LP	LOW POINT	WL	WEIR LEVEL
LT	LIGHT	WWF	WELDED WIRE FABRIC
MATL	MATERIAL	YD	YARD
MAX	MAXIMUM	@	AT
MEMB	MEMBRANE		

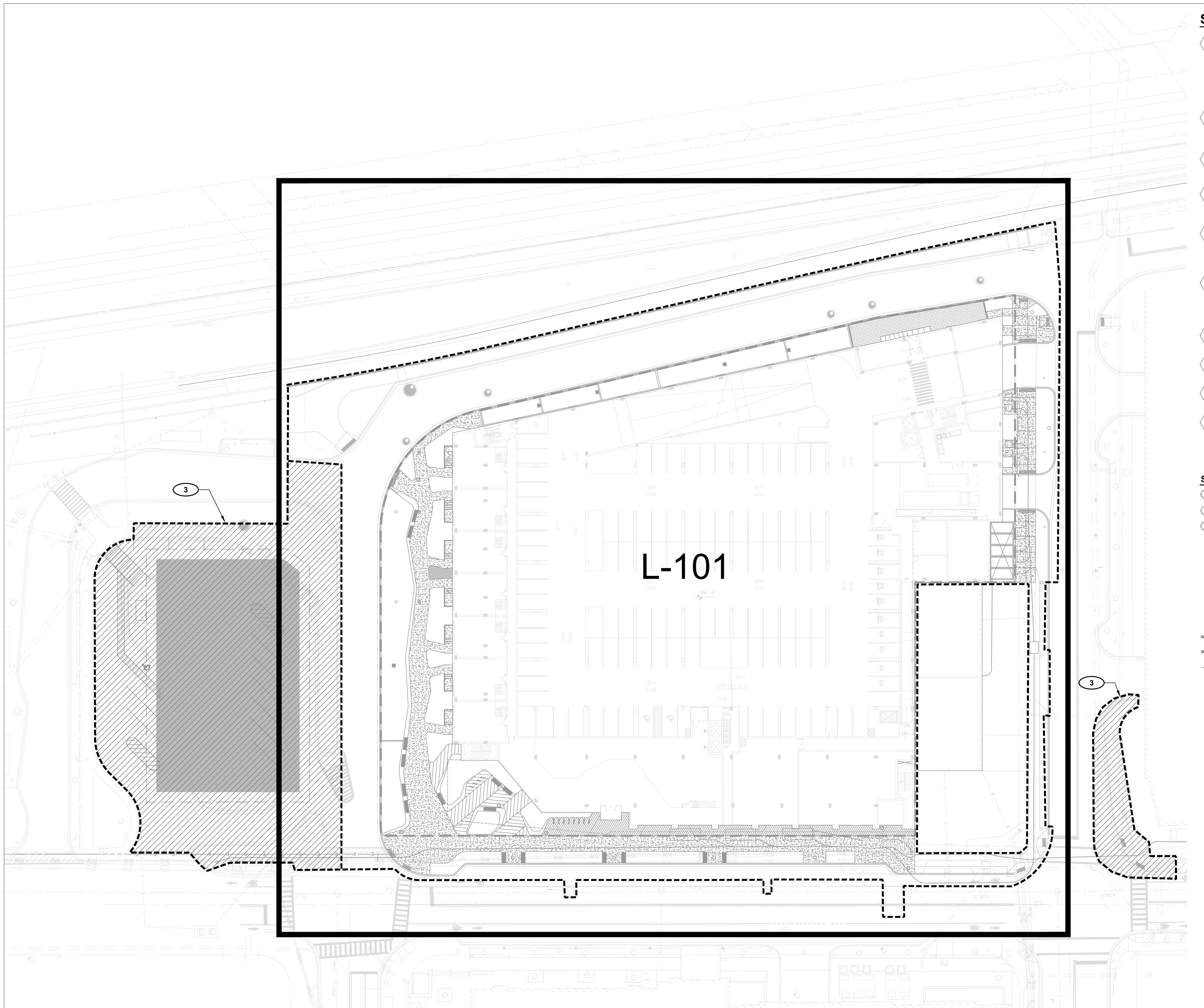
PLANT IDENTIFICATION KEY:



NOTE: PLANT ABBREVIATION ON PLANT IDENTIFICATION KEY SHOULD CORRESPOND WITH ABBREVIATION ON PLANT LIST (i.e. CSI-5 SHOULD REFER TO A CORNUS SERICEA 'SANTI', 5 GALLON CONTAINER)

PLANT LIST

ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS & EVERGREEN TREES					
AR	10	<i>Acer rubrum</i>	Red Maple	3.5' CAL	AS SHOWN
BN	9	<i>Betula nigra "Dura-heat"</i>	Dura-Heat River Birch	8' H	AS SHOWN
CC	9	<i>Cercis canadensis</i>	Eastern Redbud	8' H	AS SHOWN
IO	6	<i>Ilex opaca</i>	American Holly	8' H	AS SHOWN
LT	10	<i>Liriodendron tulipifera</i>	Tulip Poplar	3.5' CAL	AS SHOWN
MV	33	<i>Magnolia virginiana</i>	Sweetbay Magnolia	8' H	AS SHOWN
PS	1	<i>Prunus serrulata "Kwanzan"</i>	Kwanzan Cherry	2.5' CAL	AS SHOWN
OB	9	<i>Quercus bicolor</i>	Swamp White Oak	3.5' CAL	AS SHOWN
OPH	7	<i>Quercus phellos "Hightower"</i>	Hightower Willow Oak	3.5' CAL	AS SHOWN
YC	6	<i>Prunus yedoensis</i>	Yoshino Cherry	3.5' CAL	AS SHOWN
MICRO-BIORETENTION PLANTING MIX					
Planting:	40%	3 gallon shrubs/ perennials spaced 18" O.C.			
	60%	1 gallon perennials spaced 12" O.C.			
Species:		Shamrock, Inkeboshi - <i>Ilex glabra "Shamrock"</i>			
		Green Pyramidal - <i>Prunus 'Pyramidalis'</i>			
		Blue Flag Iris - <i>Iris versicolor</i>			
		Switchgrass - <i>Panicum virgatum 'Rotstrahlbusch'</i>			
		Prairie Dropseed - <i>Sporobolus heterolepis</i>			
Mulch:		3" Layer of Shredded Hardwood Mulch			
Soil:		Minimum 36" Depth Rain Garden Planting Soil Mix			
GROUND LEVEL PLANTING MIX					



SITE KEYNOTES:

DETAIL /
SHEET
RELATED
DETAILS
SPEC.
SECTION

1.0 PAVEMENTS, RAMPS, CURBS	1.1 CIP Concrete Paving 1.2 Concrete Pavers 1.3 Wood Deck 1.4 Stone Bed 1.5 Artificial Turf 1.6 Detectable Warning Paving	1 / L-201 0 / L-01 000000 2 / L-201 0 / L-01 000000 4 / L-201 0 / L-01 000000 5 / L-201 0 / L-01 000000 6 / L-201 0 / L-01 000000 7 / L-201 0 / L-01 000000
2.0 JOINTING	2.1 Control Joint 2.2 Expansion Joint	2 / L-201 0 / L-01 000000 2 / L-201 0 / L-01 000000
3.0 STEPS	3.1 CIP Concrete Stair	1 / L-202 0 / L-01 000000
4.0 SITE WALLS/EMBANKMENTS	4.1 CIP Concrete Wall 4.2 CIP Concrete Wall with Seat	2 / L-202 0 / L-01 000000 3 / L-202 0 / L-01 000000
5.0 SITE FURNITURE	5.1 Bench 5.2 Bike Rack 5.3 Litter Receptacle	1 / L203 2 / L203 3 / L203
6.0 RAILINGS, BARRIERS, FENCING	6.1 Handrail / Guard Rail 6.2 Fence - Dog Run 6.3 Fence - Glass Pool Fence and Gates	0 / L-01 000000 4 / L-203 0 / L-01 000000 5 / L-203 0 / L-01 000000
7.0 SITE LIGHTING	Refer to Site Lighting Series Drawings	
8.0 DRAINAGE	Refer to Civil Drawings	
9.0 PLANTING AND LANDSCAPE	Refer to Site Planting Series Drawings	
10.0 MISCELLANEOUS ELEMENTS	PA Planting Area MBR Micro-Bioretention Area	

SITE MATERIAL REFERENCE NOTES

- 1 Light poles, see electrical engineering drawings
- 2 Micro-Bioretention, see civil drawings
- 3 Refer to Sheet SP-3 for site improvements

Allied scopes and documentation:

- See Civil Engineering dwgs for all curb and gutters, curb ramps, vehicular aprons, roadways and markings, etc.
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- See Civil Engineering or Signage/Wayfinding dwgs for all road signs, branding, etc.
- See Interior Design dwgs for all furnishings/fixtures in outdoor seating areas except where noted.

— Limit of Work
— Property Line
- - - Overhead Architecture

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Date
10.10.24

Scale

Drawing
LANDSCAPE MATERIALS PLAN -
OVERALL

L-100

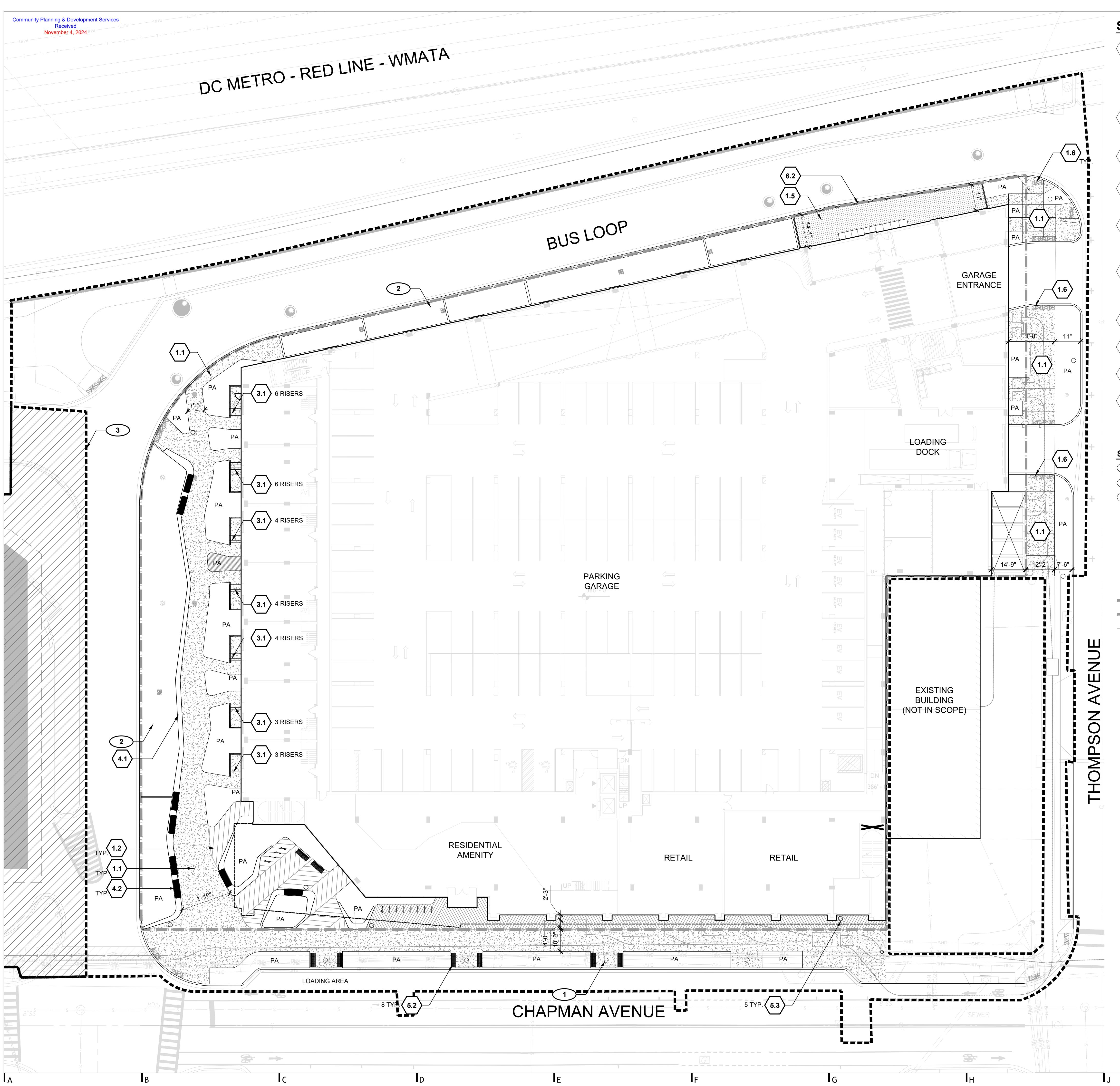


SITE PLAN SUBMISSION

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1 2 3 4 5 6 7

DC METRO - RED LINE - WMATA



SITE KEYNOTES:

1.0 PAVEMENTS, RAMPS, CURBS

1.1 CIP Concrete Paving	1 / L-201	0 / L-01	000000
1.2 Concrete Pavers	2 / L-201	0 / L-01	000000
1.3 Wood Deck	4 / L-201	0 / L-01	000000
1.4 Stone Bed	5 / L-201	0 / L-01	000000
1.5 Artificial Turf	6 / L-201	0 / L-01	000000
1.6 Detectable Warning Paving	7 / L-201	0 / L-01	000000

2.0 JOINTING

2.1 Control Joint	2 / L-201	0 / L-01	000000
2.2 Expansion Joint	2 / L-201	0 / L-01	000000

3.0 STEPS

3.1 CIP Concrete Stair	1 / L-202	0 / L-01	000000
------------------------	-----------	----------	--------

4.0 SITE WALLS/EMBANKMENTS

4.1 CIP Concrete Wall	2 / L-202	0 / L-01	000000
4.2 CIP Concrete Wall with Seat	3 / L-202	0 / L-01	000000

5.0 SITE FURNITURE

5.1 Bench	1 / L203		
5.2 Bike Rack	2 / L203		
5.3 Litter Receptacle	3 / L203		

6.0 RAILINGS, BARRIERS, FENCING

6.1 Handrail / Guard Rail	0 / L-01	000000
6.2 Fence - Dog Run	4 / L-203	0 / L-01
6.3 Fence - Glass Pool Fence and Gates	5 / L-203	0 / L-01

7.0 SITE LIGHTING

Refer to Site Lighting Series Drawings

8.0 DRAINAGE

Refer to Civil Drawings

9.0 PLANTING AND LANDSCAPE

Refer to Site Planting Series Drawings

10.0 MISCELLANEOUS ELEMENTS

PA	Planting Area
MBR	Micro-Bioretention Area

SITE MATERIAL REFERENCE NOTES

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— Property Line

- - - Overhead Architecture

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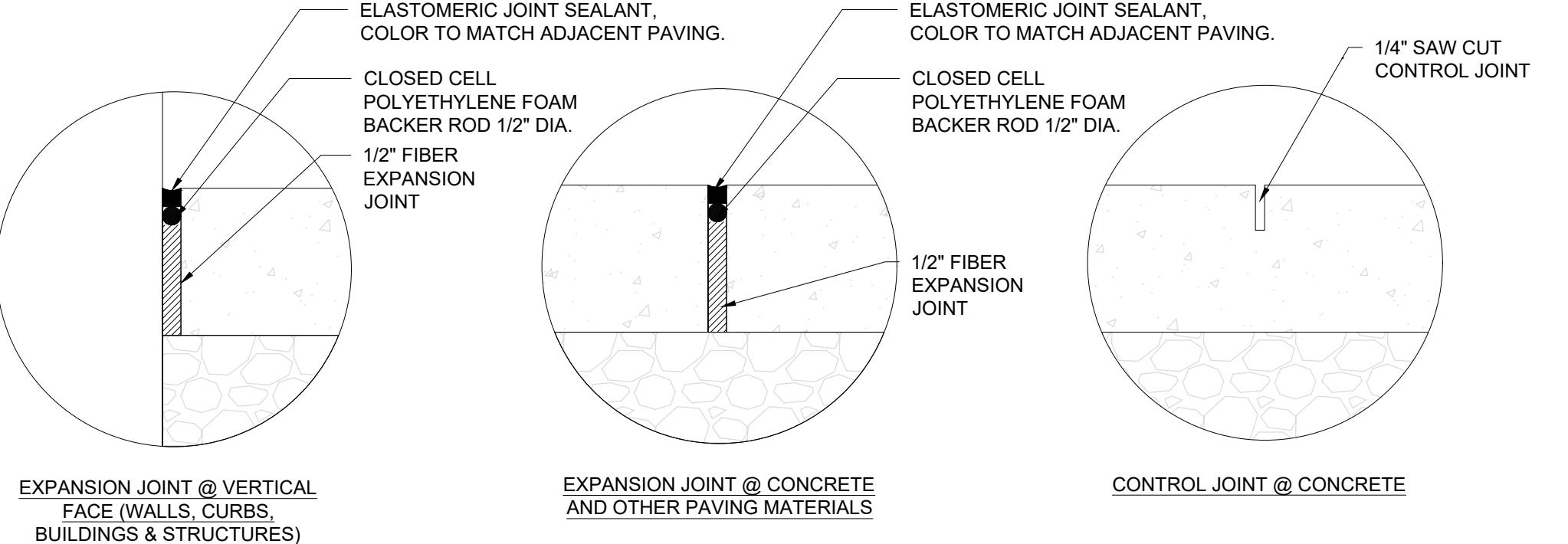
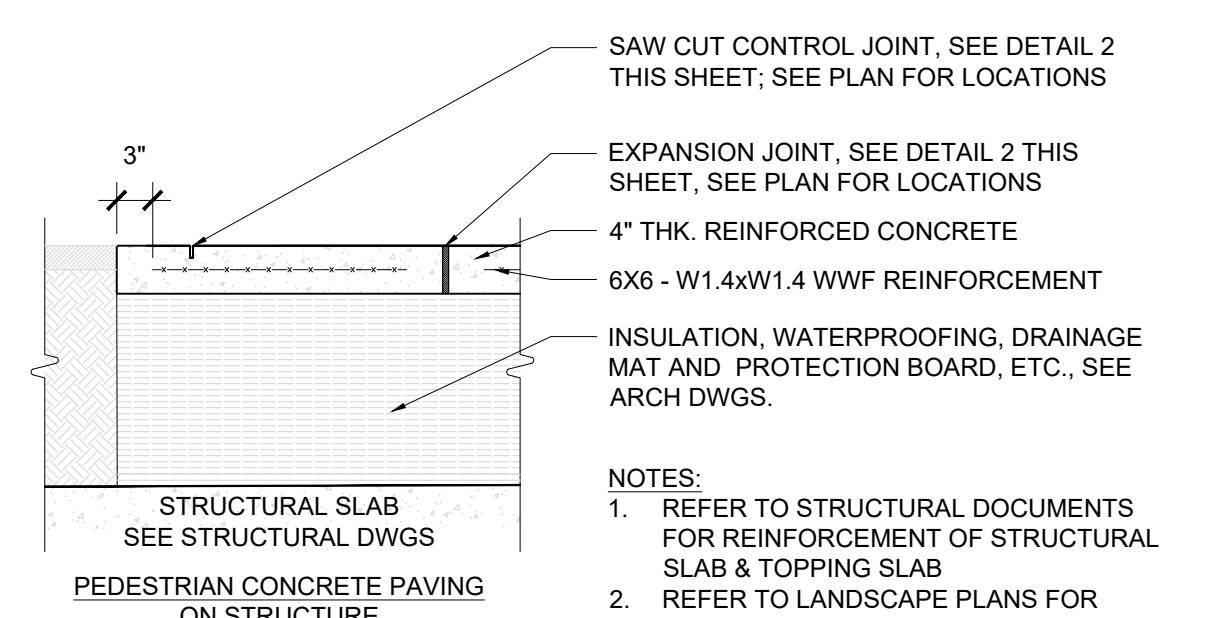
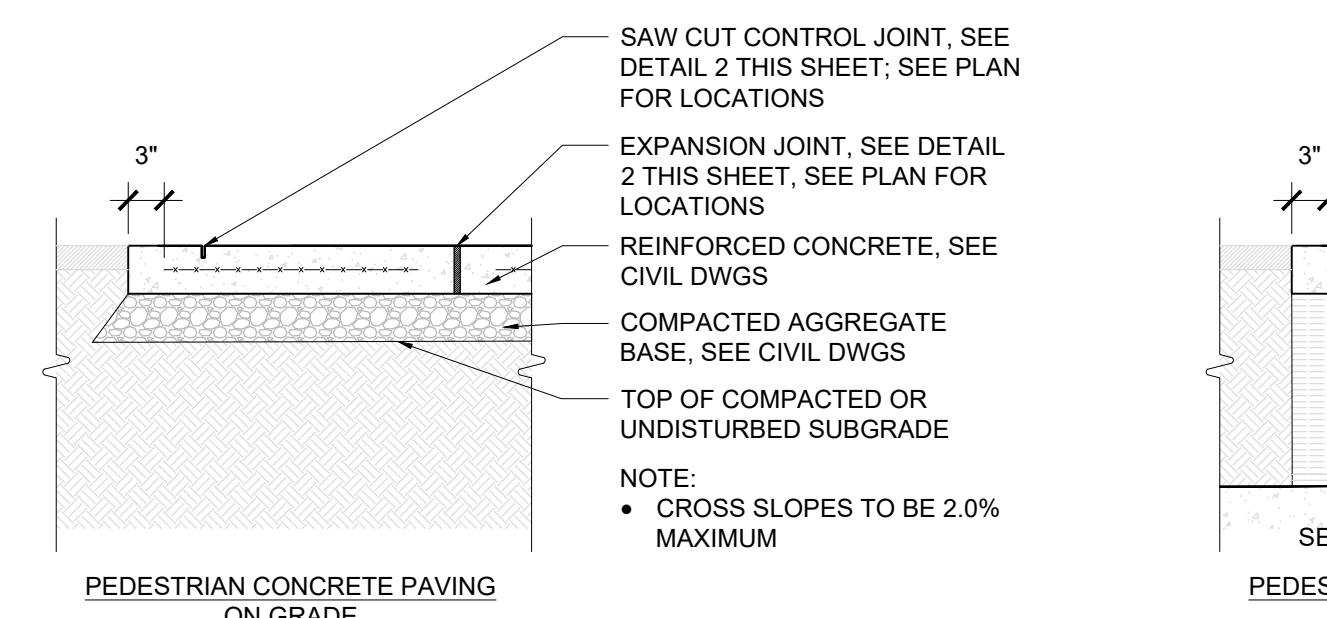
Scale

Drawing
LANDSCAPE MATERIALS PLAN -
STREETSCAPE

L-101

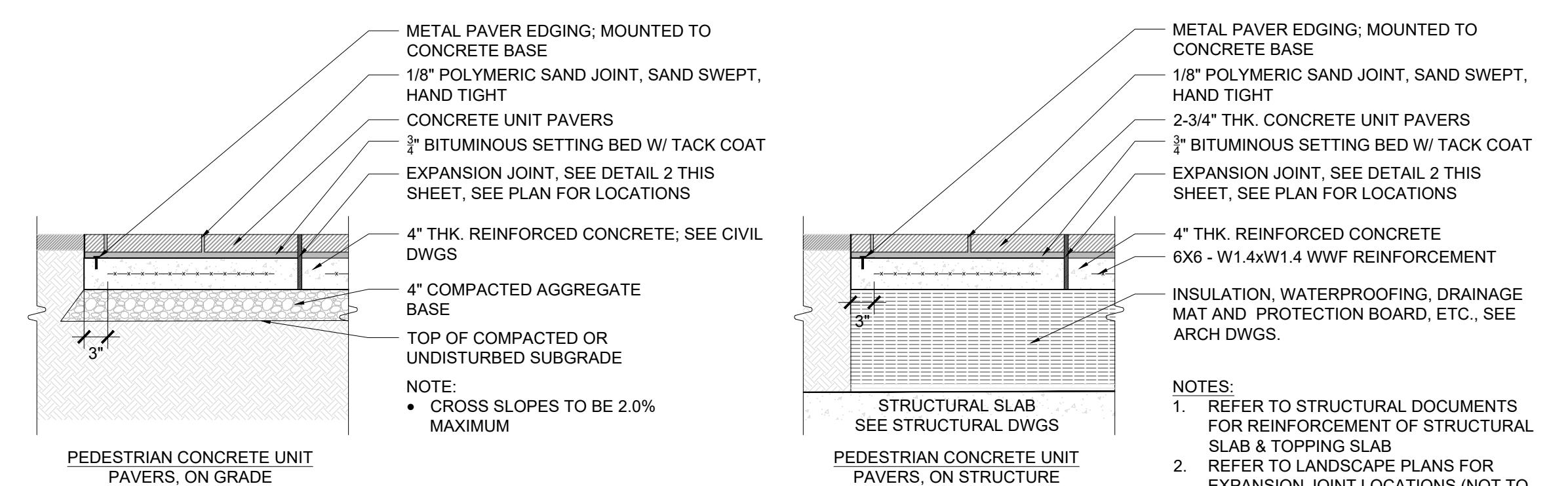
SITE PLAN SUBMISSION

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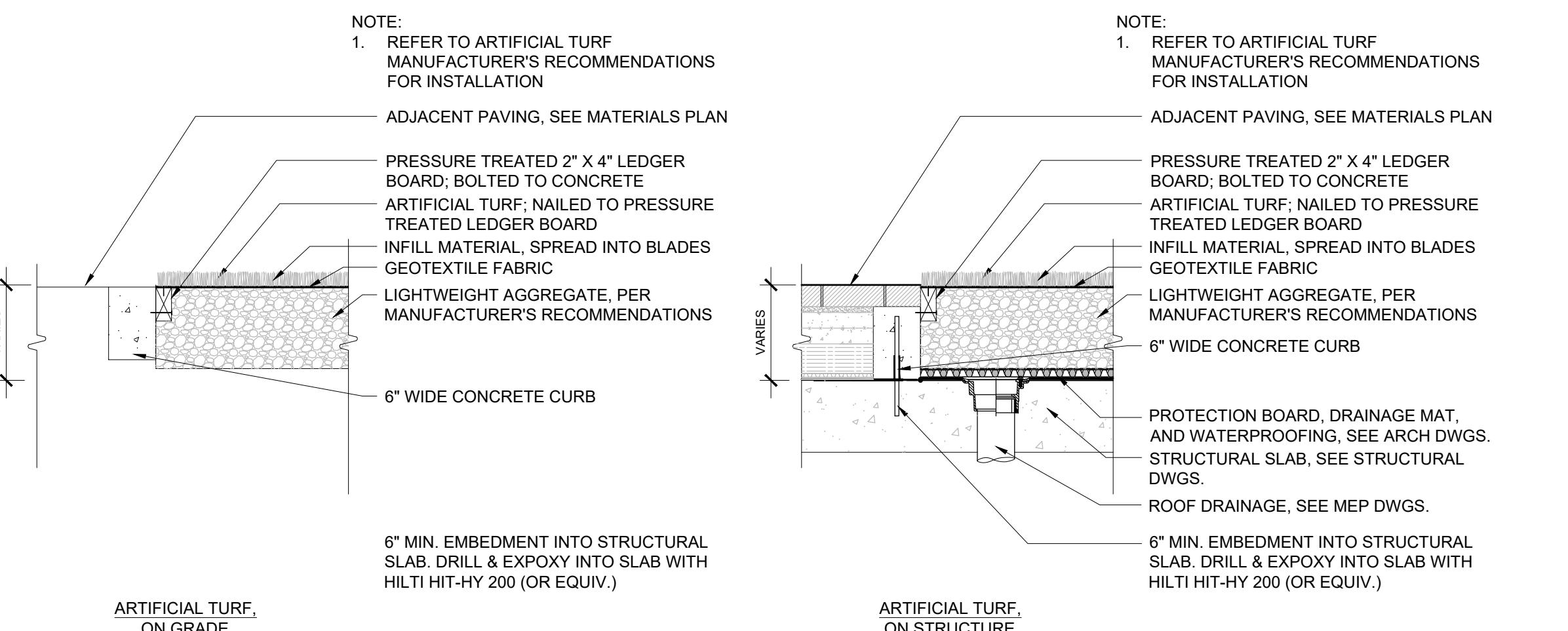
1 CONCRETE PAVING

3/4" = 1'-0"



3 CONCRETE UNIT PAVERS

3/4" = 1'-0"

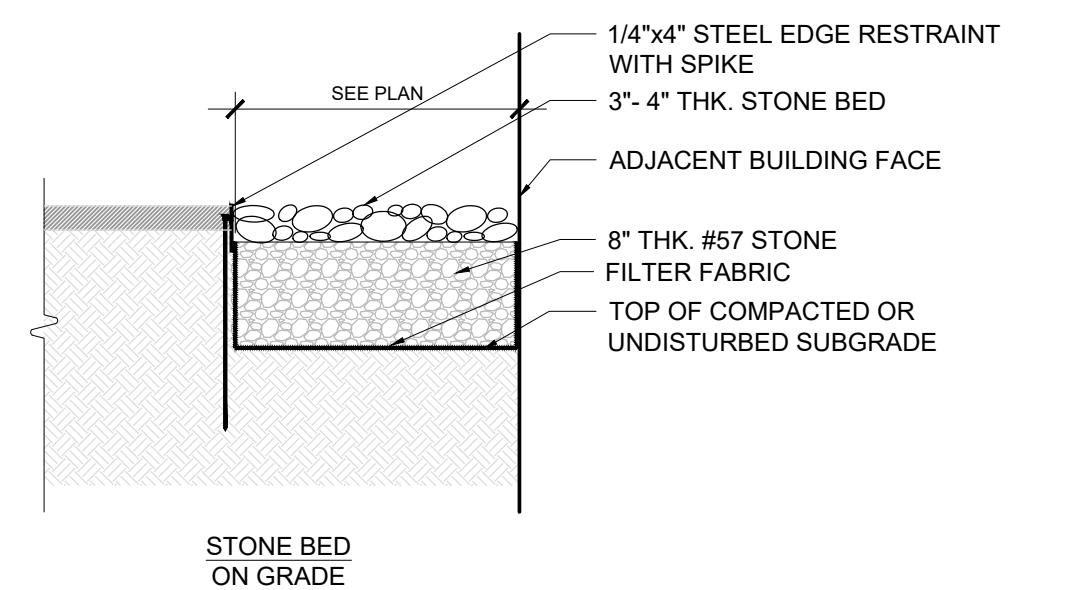
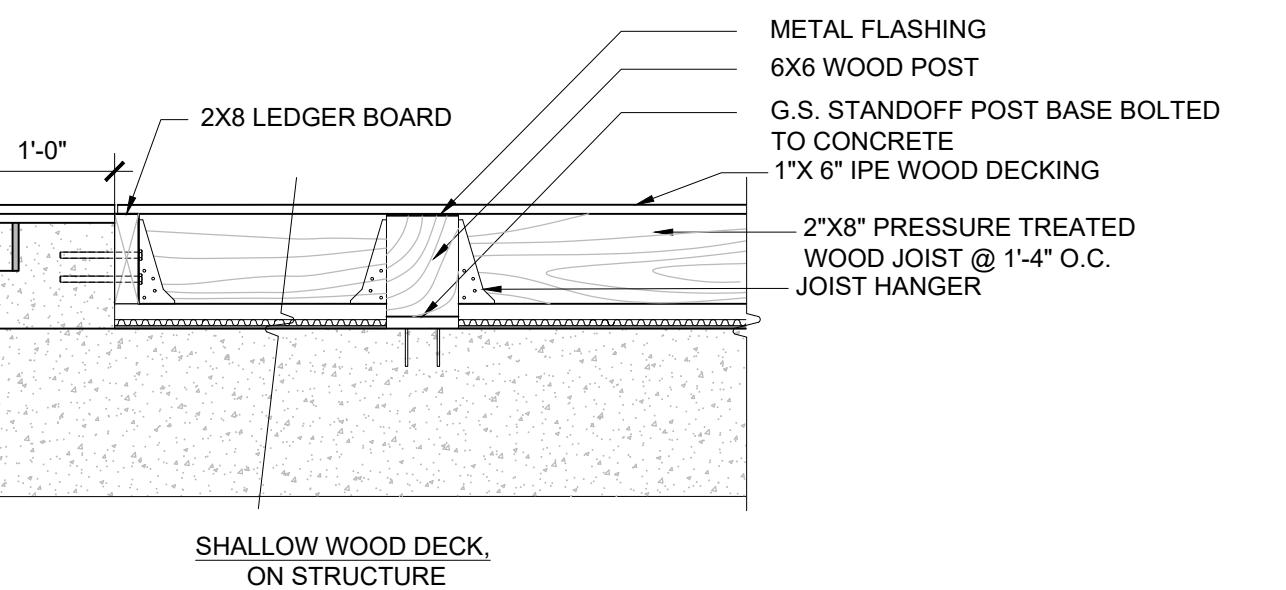


6 ARTIFICIAL TURF

3/4" = 1'-0"

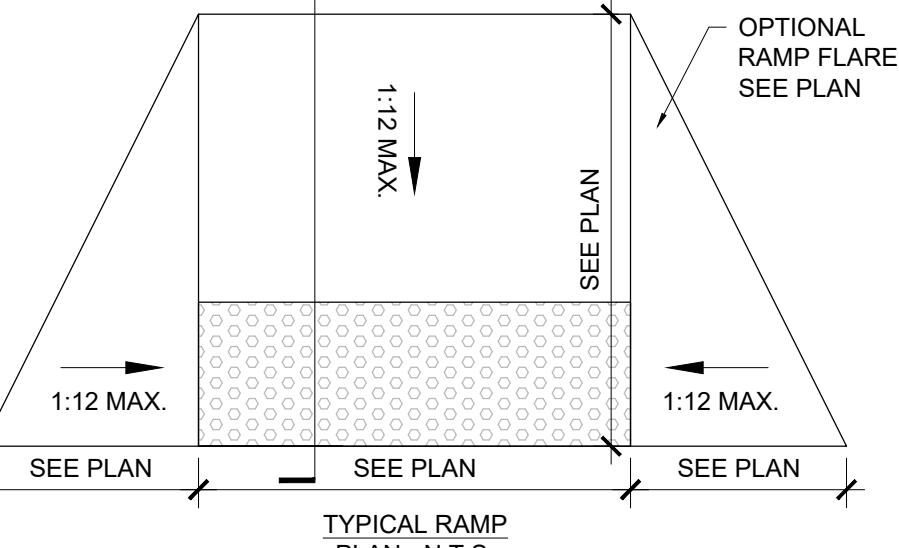
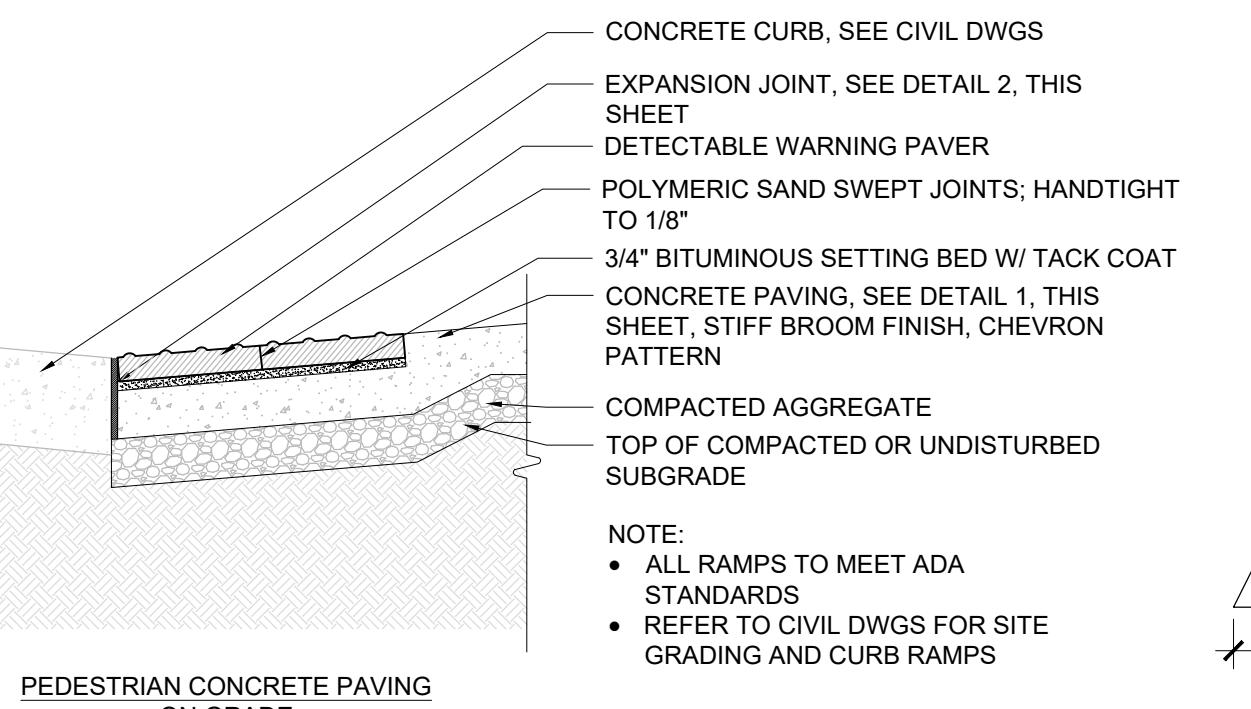
2 CONCRETE JOINTS

3/4" = 1'-0"



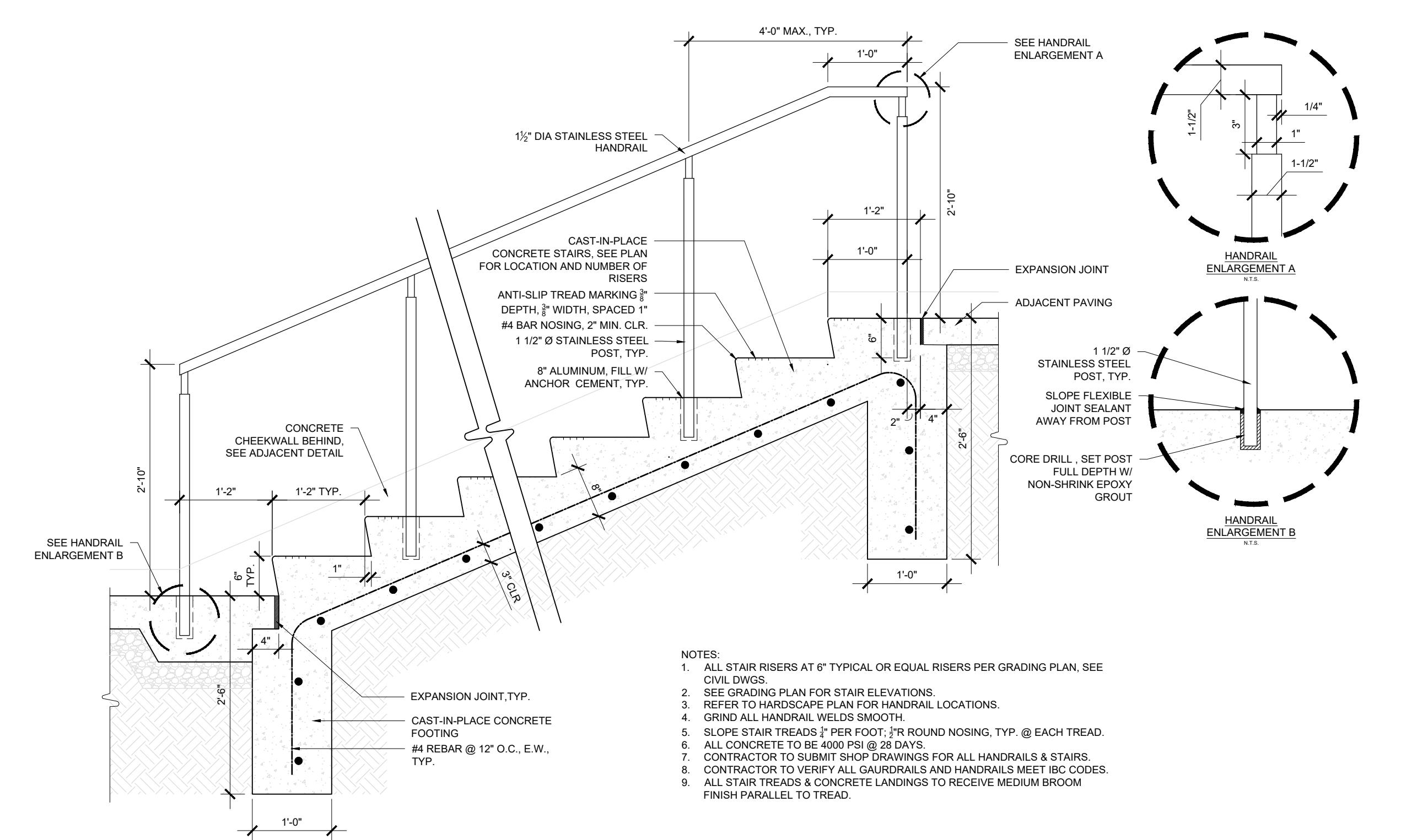
4 WOOD DECK

3/4" = 1'-0"



7 DETECTABLE WARNING PAVING

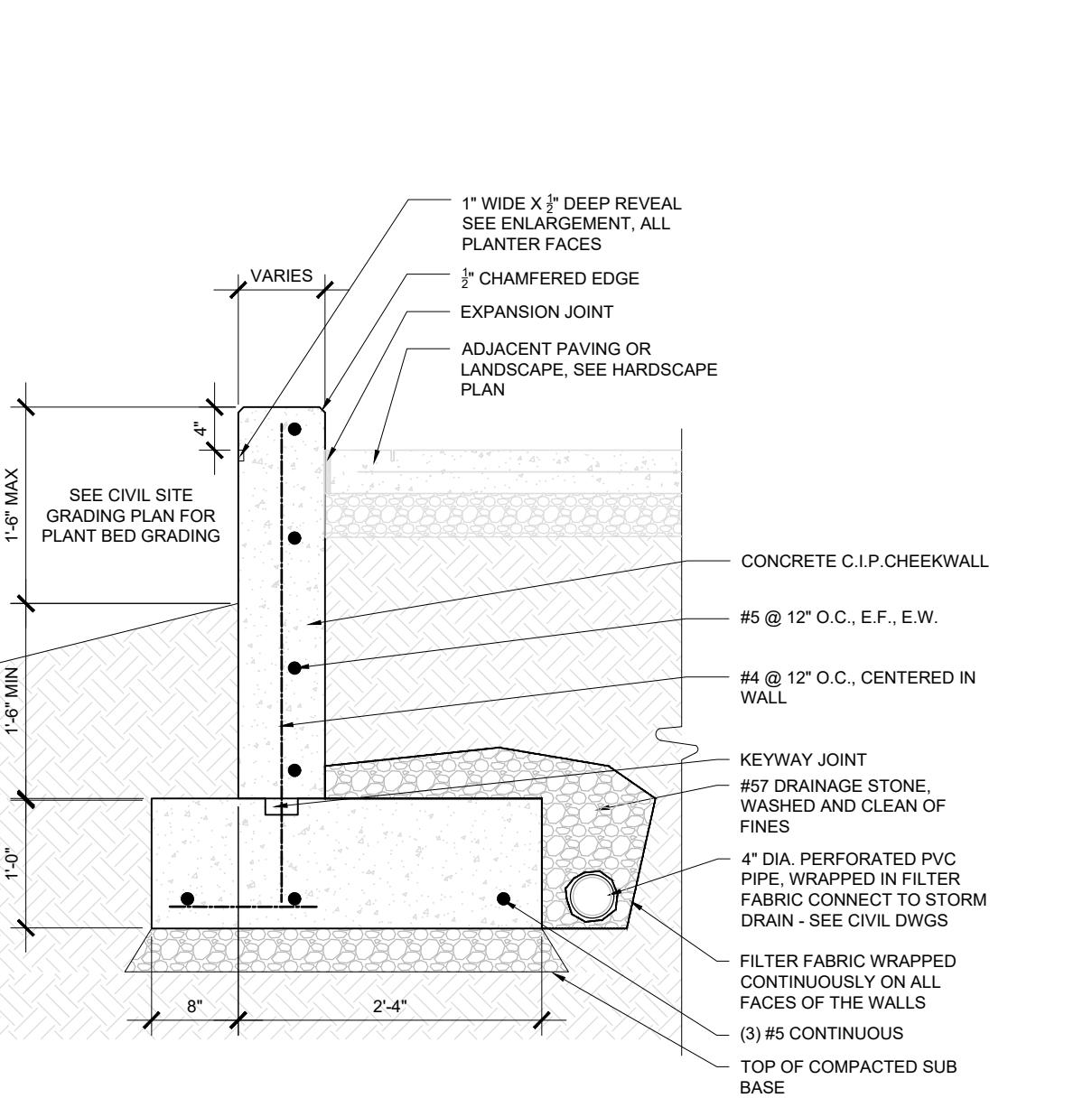
3/4" = 1'-0"



1

CIP CONCRETE STAIRS WITH HANDRAIL

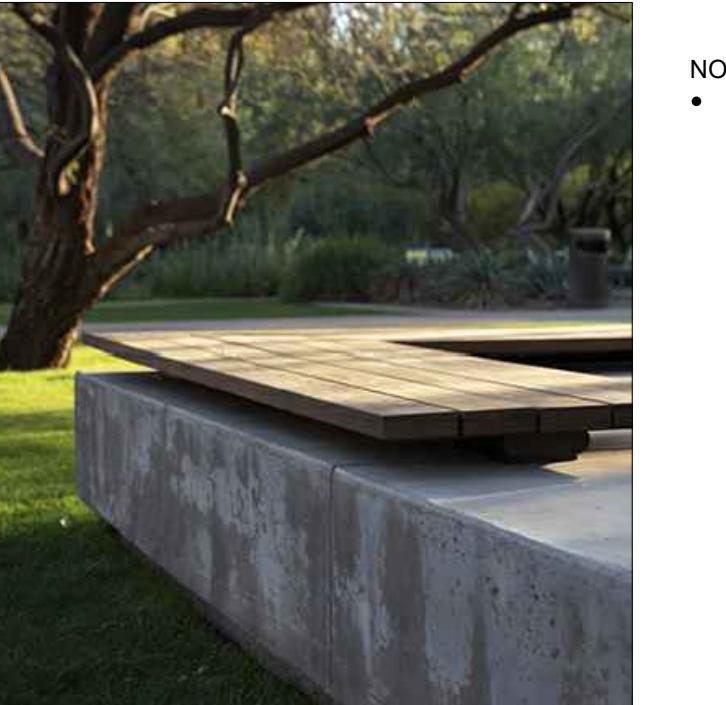
1/2" = 1'-0"



2

CIP CONCRETE WALL

1/2" = 1'-0"



NOTE:
• IMAGE SHOWN FOR REFERENCE ONLY

3

CIP CONCRETE WALL W/ BENCH

1/2" = 1'-0"

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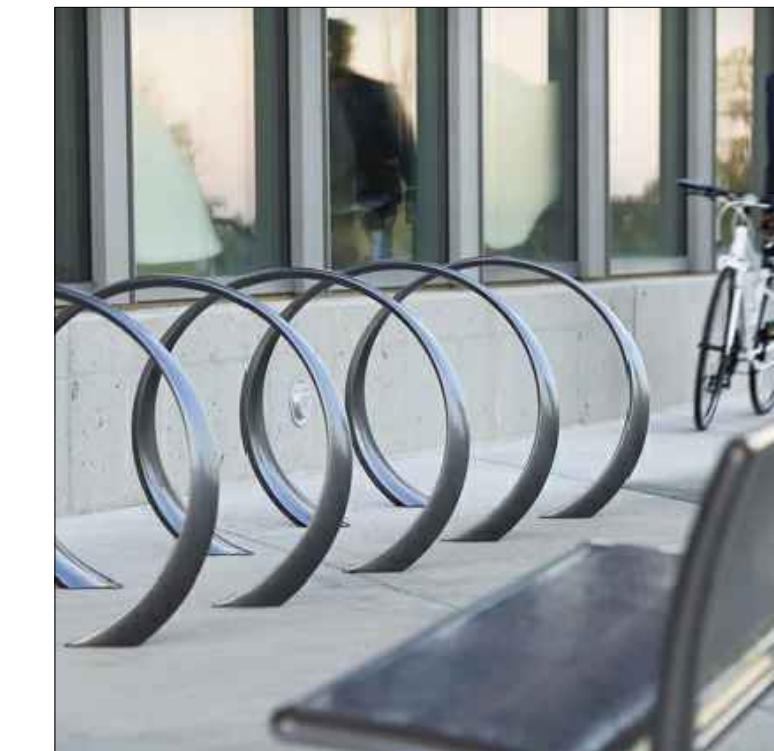
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Scale
SITE DETAILS

L-202

SITE PLAN SUBMISSION

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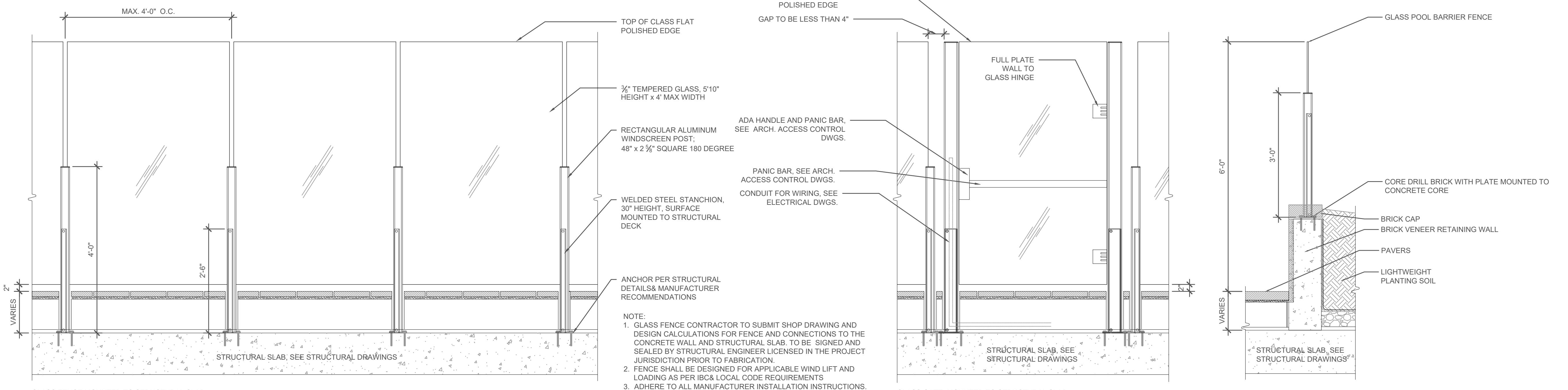
1 BENCH, TYP.
N.T.S.

2 BIKE RACK, TYP.
N.T.S.

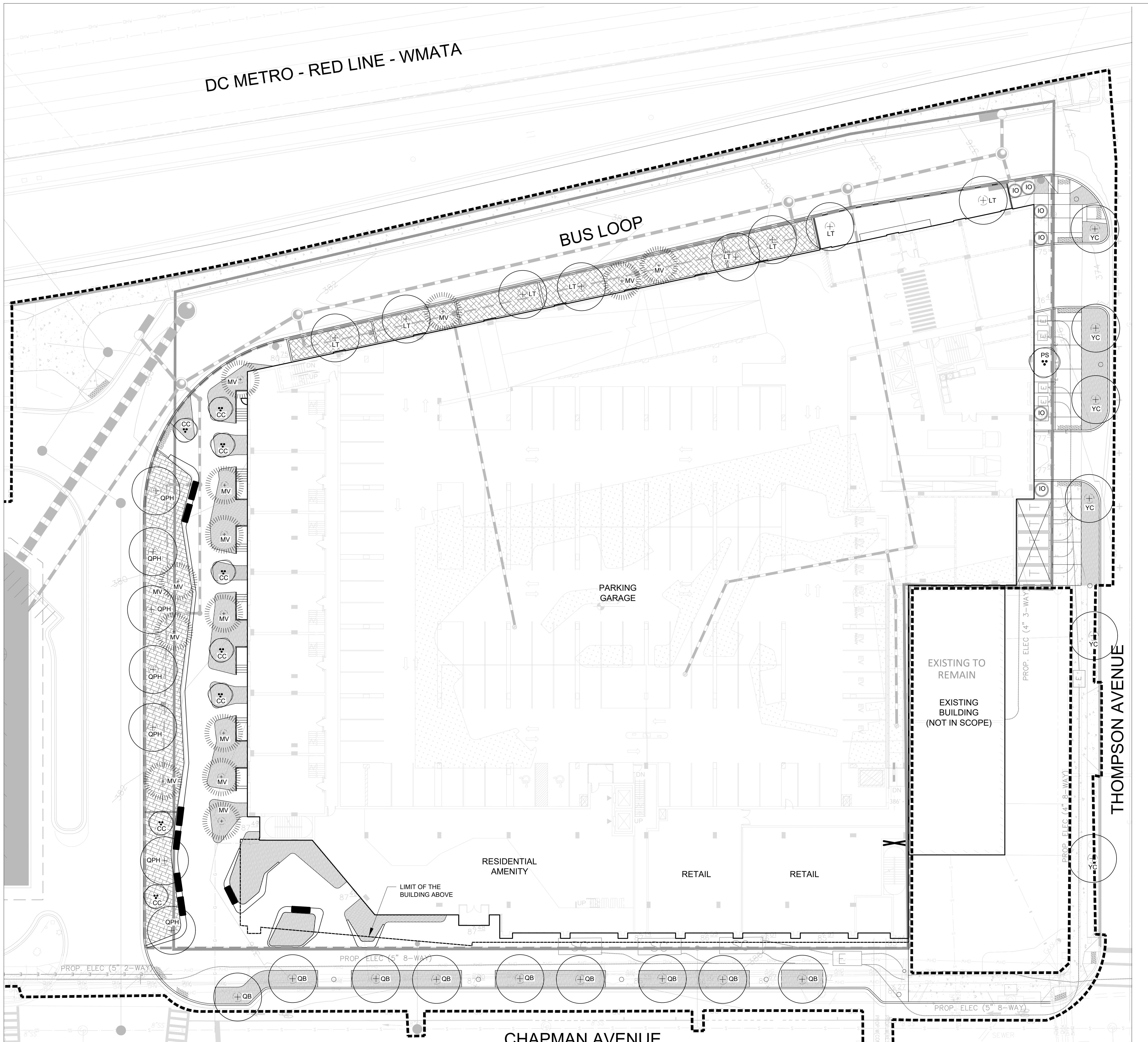
3 LITTER RECEPTACLE, TYP.
N.T.S.



4 DOG RUN FENCE
N.T.S.



5 GLASS POOL FENCE
N.T.S.



SITE PLANTING REFERENCE NOTES

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PA Planting Area
LO Limit of Work
PL Property Line
OH Overhead Architecture

PLANT LIST

ABBR.	BOTANICAL NAME	COMMON NAME
DECIDUOUS & EVERGREEN TREES		
AR	<i>Acer rubrum</i>	Red Maple
BN	<i>Betula nigra 'Dura-Heat'</i>	Dura-Heat River Birch
CC	<i>Cercis canadensis</i>	Eastern Rebdub
IO	<i>Ilex opaca</i>	American Holly
LT	<i>Liriodendron tulipifera</i>	Tulip Poplar
MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia
PS	<i>Prunus serrulata 'Kwanzan'</i>	Kwanzan Cherry
PL	<i>Platanus x acerifolia</i>	London Plane Tree
QB	<i>Quercus bicolor</i>	Swamp White Oak
QPH	<i>Quercus phellos 'Hightower'</i>	Hightower Willow Oak
YC	<i>Prucus x yedoensis</i>	Yoshino Cherry

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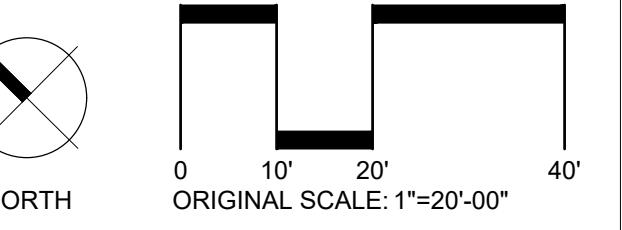
Scale

Drawing
PLANTING PLAN - GROUND FLOOR

L-301

SITE PLAN SUBMISSION

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ORIGINAL SCALE: 1"=20'-00"

I A I B I C I D I E I F I G I H I J I K I L I M I N

1 2 3 4 5 6 7



NOTE:
1. SEE SHEET L-401 FOR PLANTING
SCHEDULE

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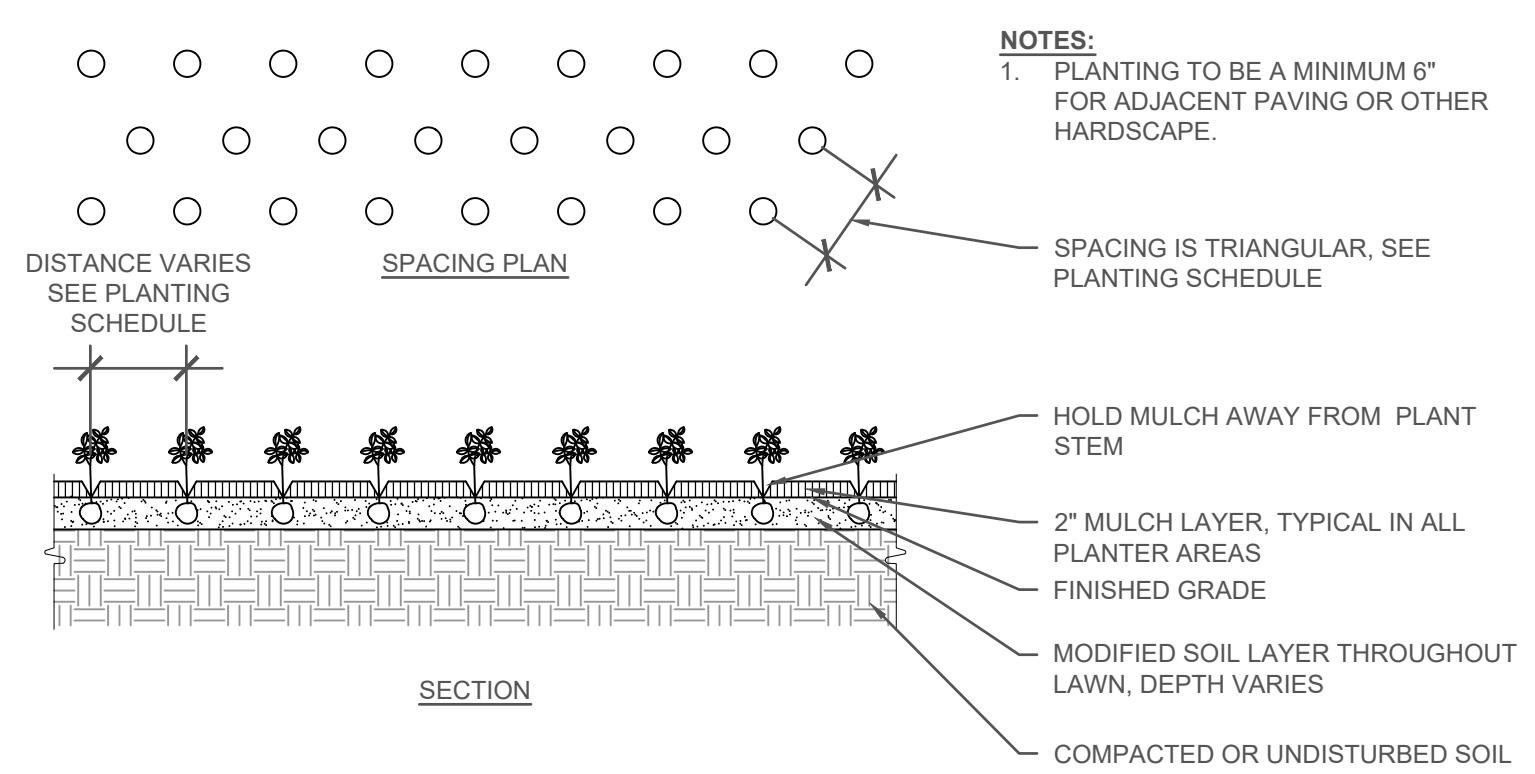
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Drawing
PLANTING PLAN - AMENITY DECK

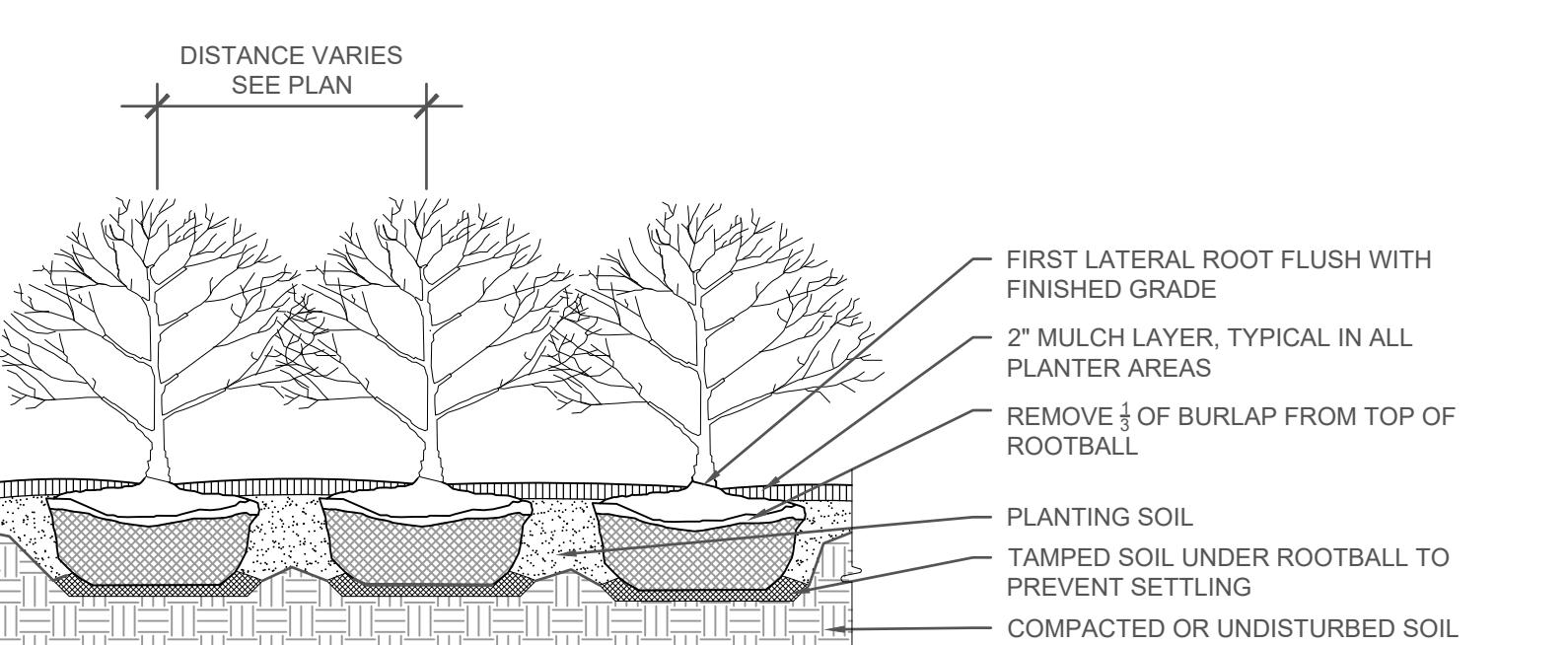
L-302

SITE PLAN SUBMISSION

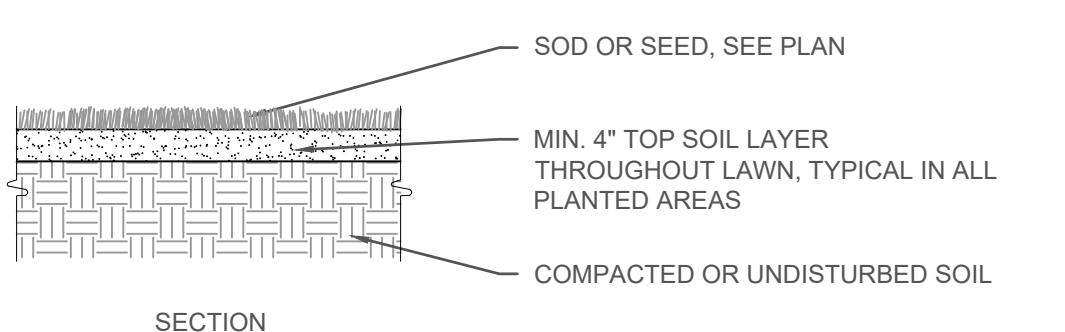
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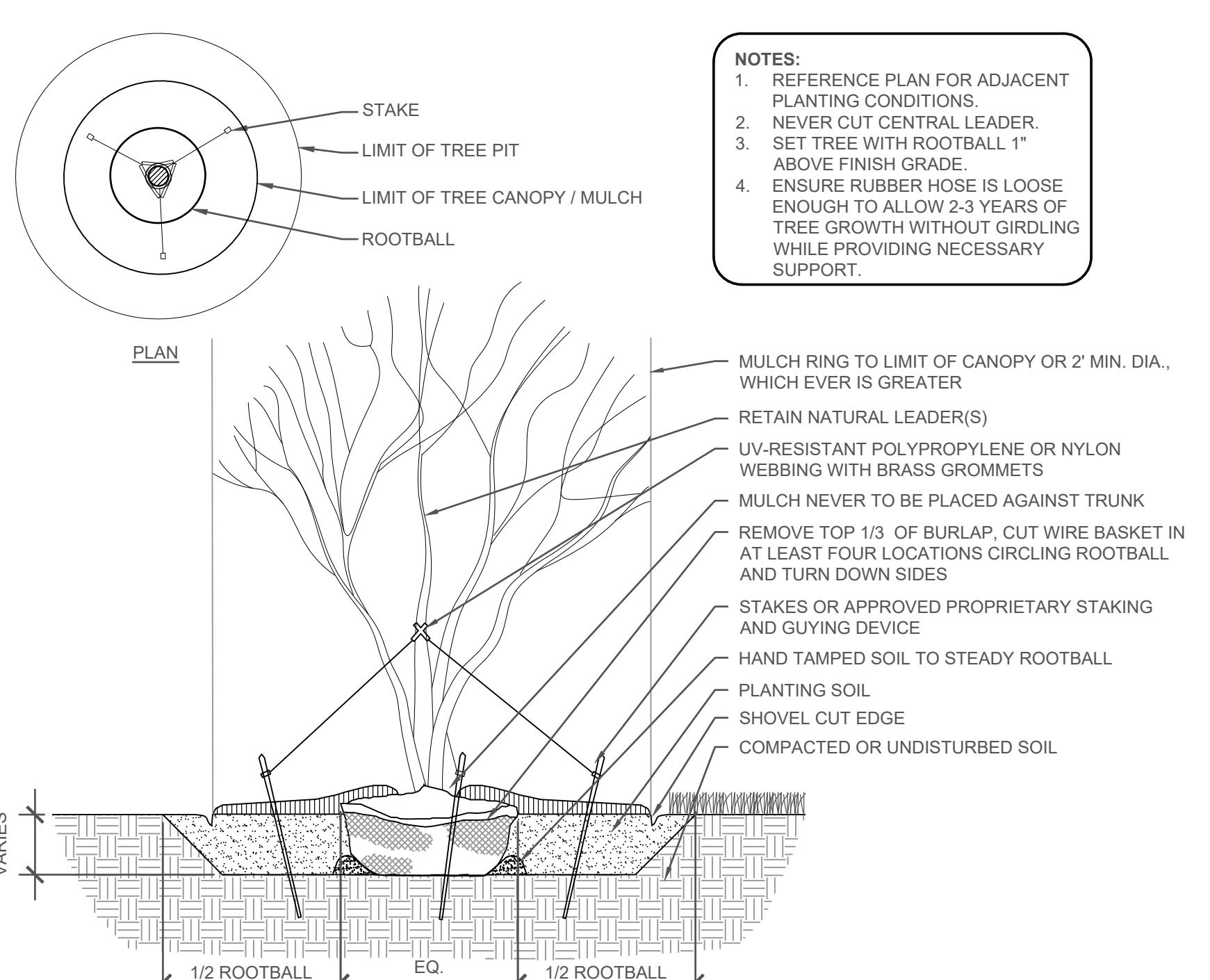
1 GROUNDCOVER PLANTING



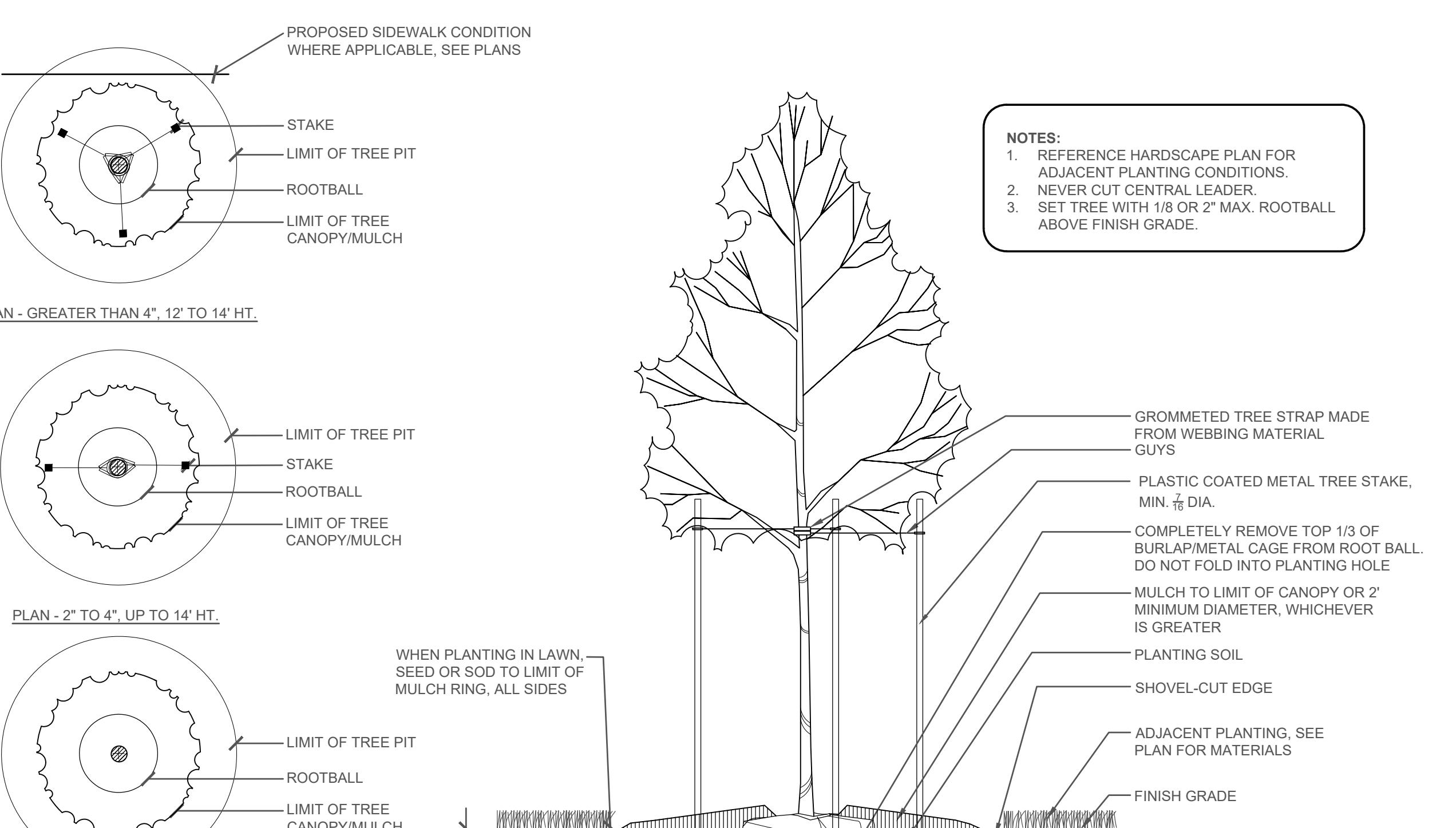
2 SHRUB PLANTING



3 LAWN PLANTING



4 MULTI-STEM TREE PLANTING



5 SHADE TREE PLANTING

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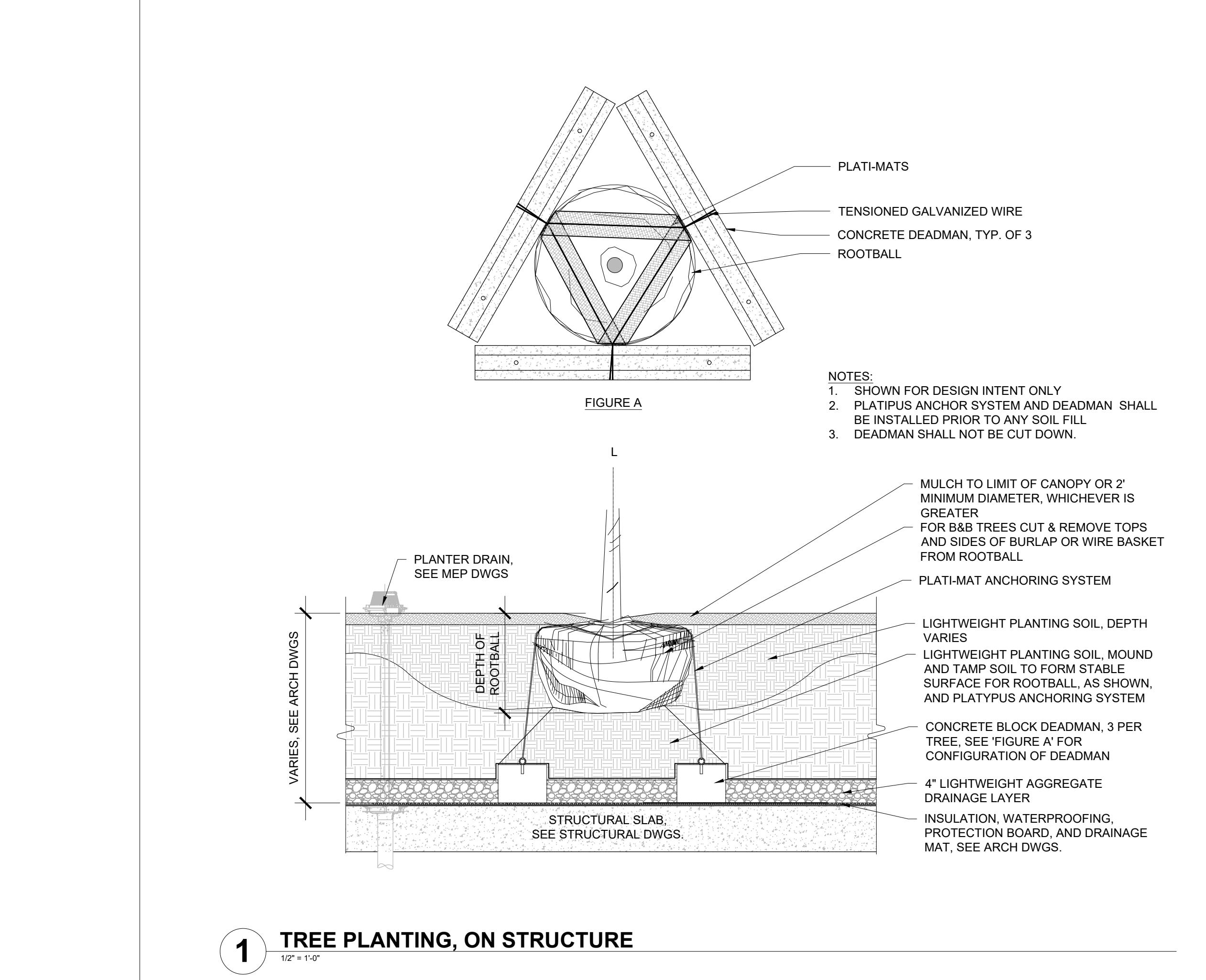
715

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1 TREE PLANTING, ON STRUCTURE

1/2" = 1'-0"

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Project Number
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Date
10.10.24

Scale _____

Drawing
PLANTING DETAILS

L-402

SITE PLAN SUBMISSION

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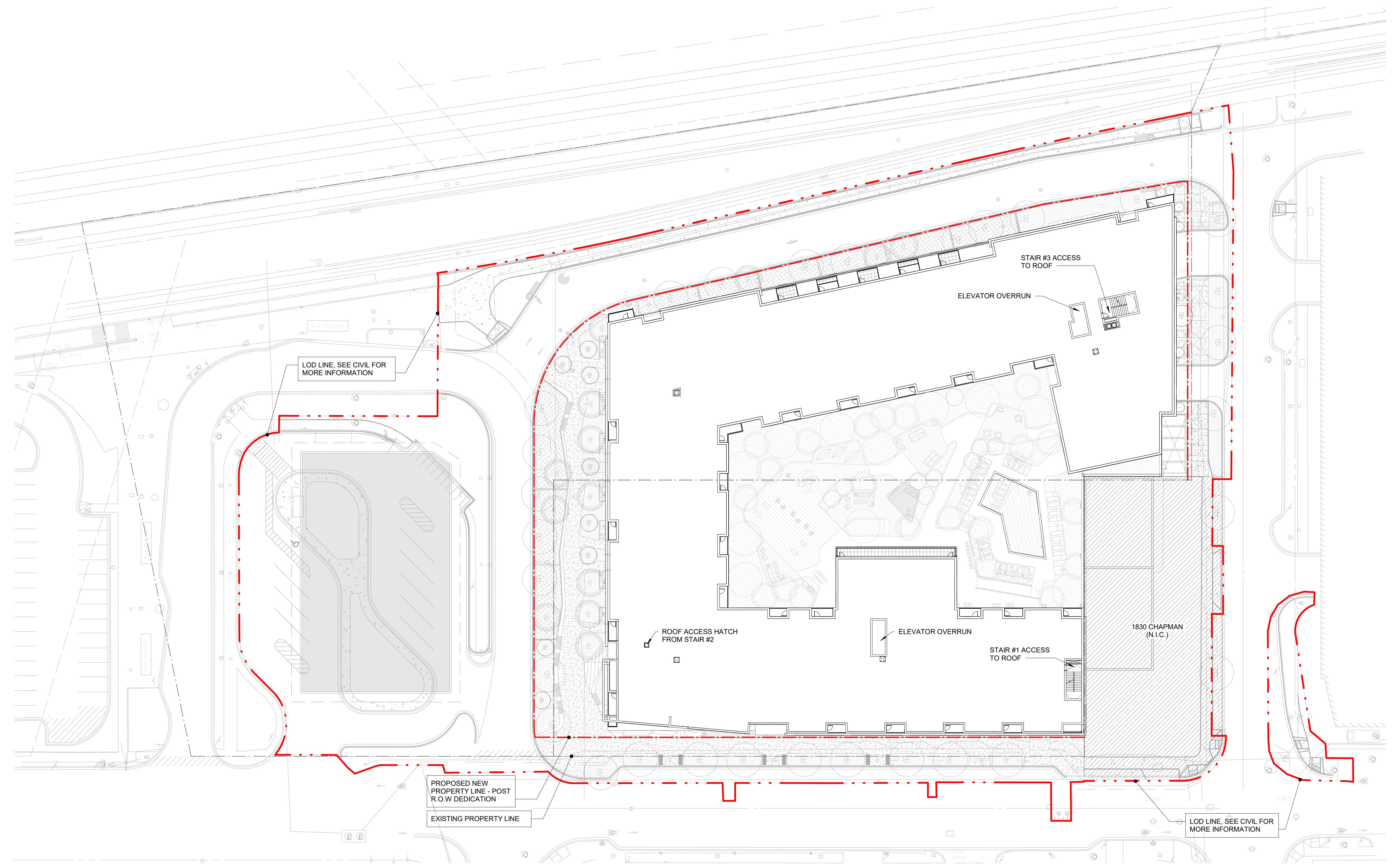
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Project Name
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Date
10.09.2024

Scale
1" = 30'-0"
Drawing
OVERALL SITE PLAN



9E OVERALL SITE PLAN

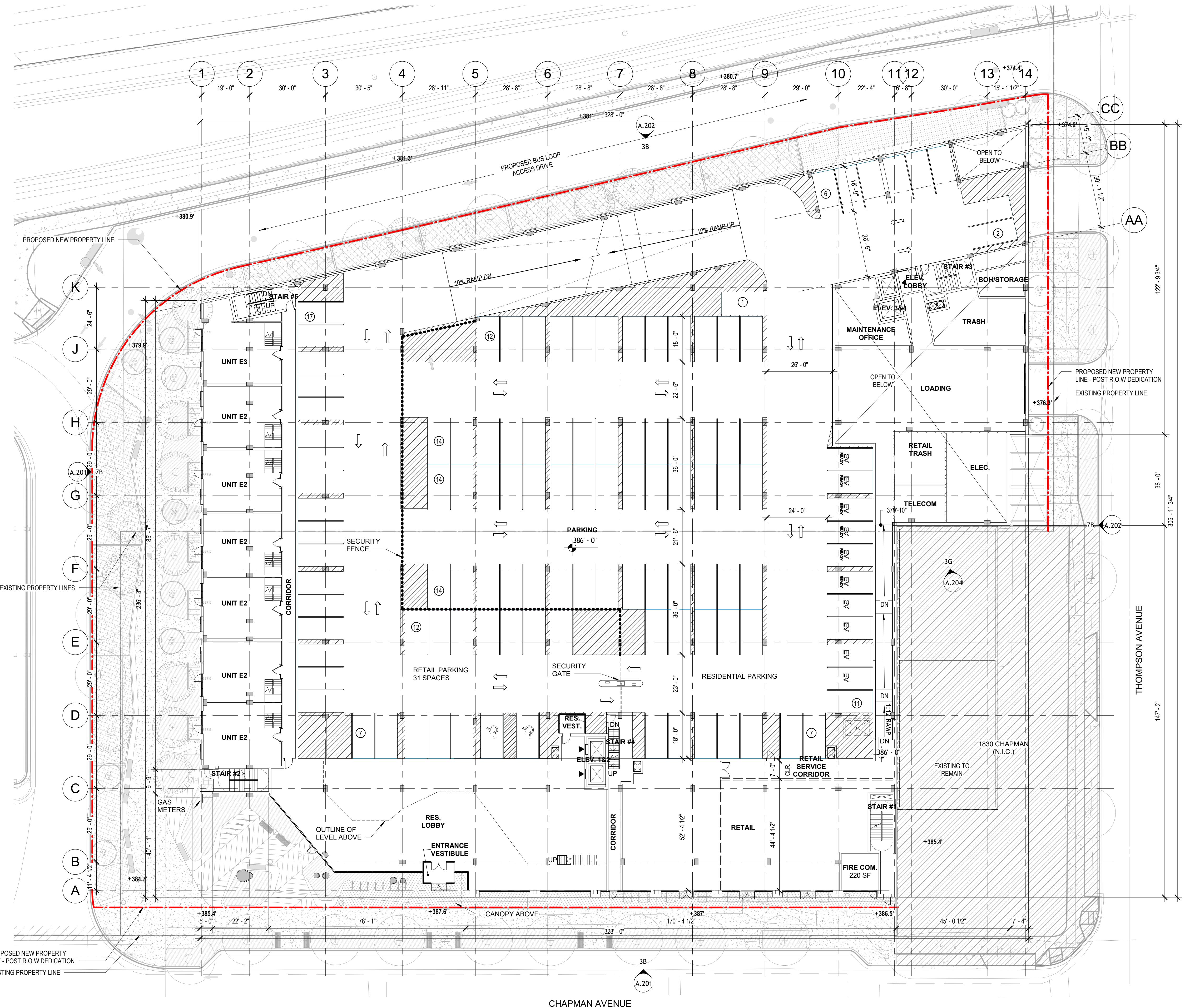
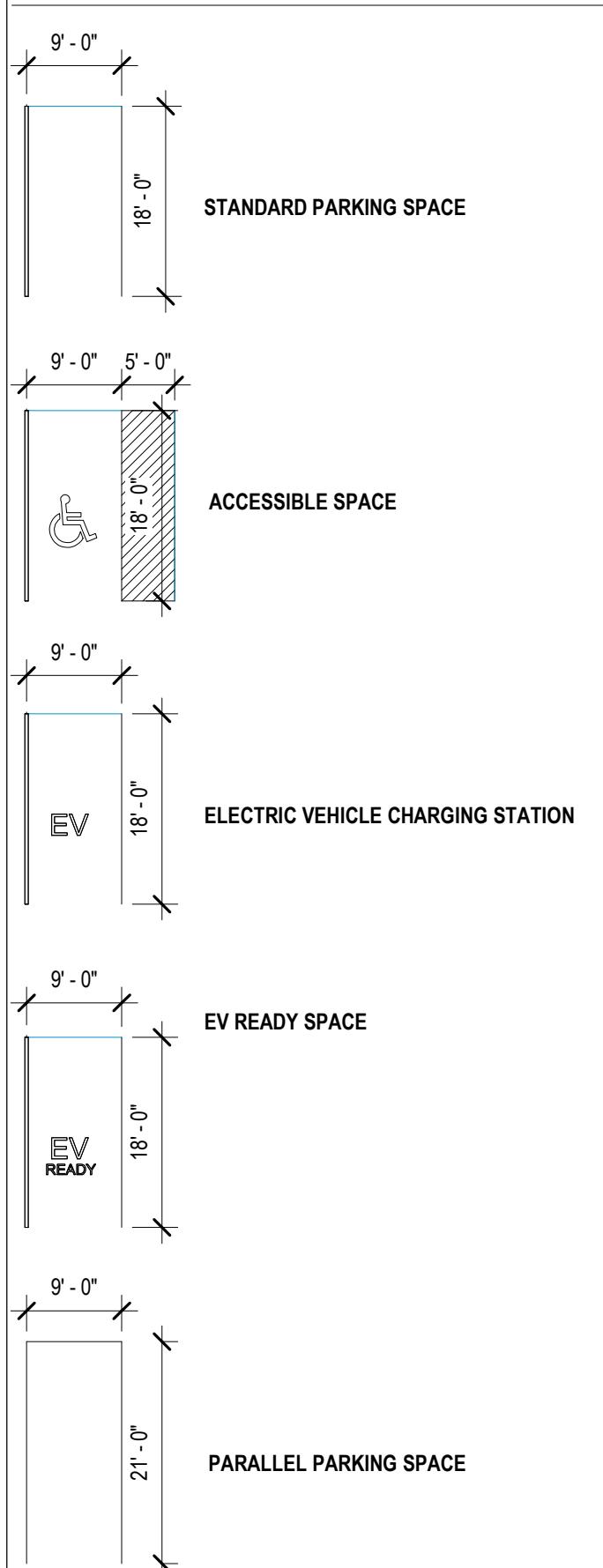
A-201 A.001 1" = 30'-0"

A.001

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RVT2022.KeseyHuntington.mnt
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PARKING SCHEDULE BY LEVEL	
PARKING TYPE	PARKING COUNT
LEVEL P1	
STANDARD	160
PARALLEL	1
EV READY SPACE	10
EV CHARGING STATION	4
ACCESSIBLE	4
LEVEL 1	
STANDARD	105
EV READY SPACE	6
EV CHARGING STATION	4
ACCESSIBLE	2
LEVEL 2	
STANDARD	127
PARALLEL	1
EV READY SPACE	8
EV CHARGING STATION	2
ACCESSIBLE	3
	437

PARKING LEGEND



7B FLOOR PLAN - GROUND FLOOR

A-102 A.101 1" = 20'-0"



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FLOOR PLAN - LEVEL 03

A.103

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= 20'-0"
wing

A. 104

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7B | FLOOR PLAN - LEVEL 04

A-201	A.104	1" = 20'-0"
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Scale
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FLOOR PLAN - TYPICAL (LEVELS
5 - 8)

A.105

SITE PLAN RESUBMISSION

7B FLOOR PLAN - TYPICAL (LEVELS 5 - 8)

A-201 A-105

1" = 20'-0"

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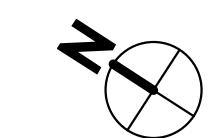
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Date
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Scale
1" = 20'-0"
Drawing

FLOOR PLAN - LEVEL 09

7B FLOOR PLAN - LEVEL 09
A-201 A-109 1" = 20'-0"



A.109

SITE PLAN RESUBMISSION

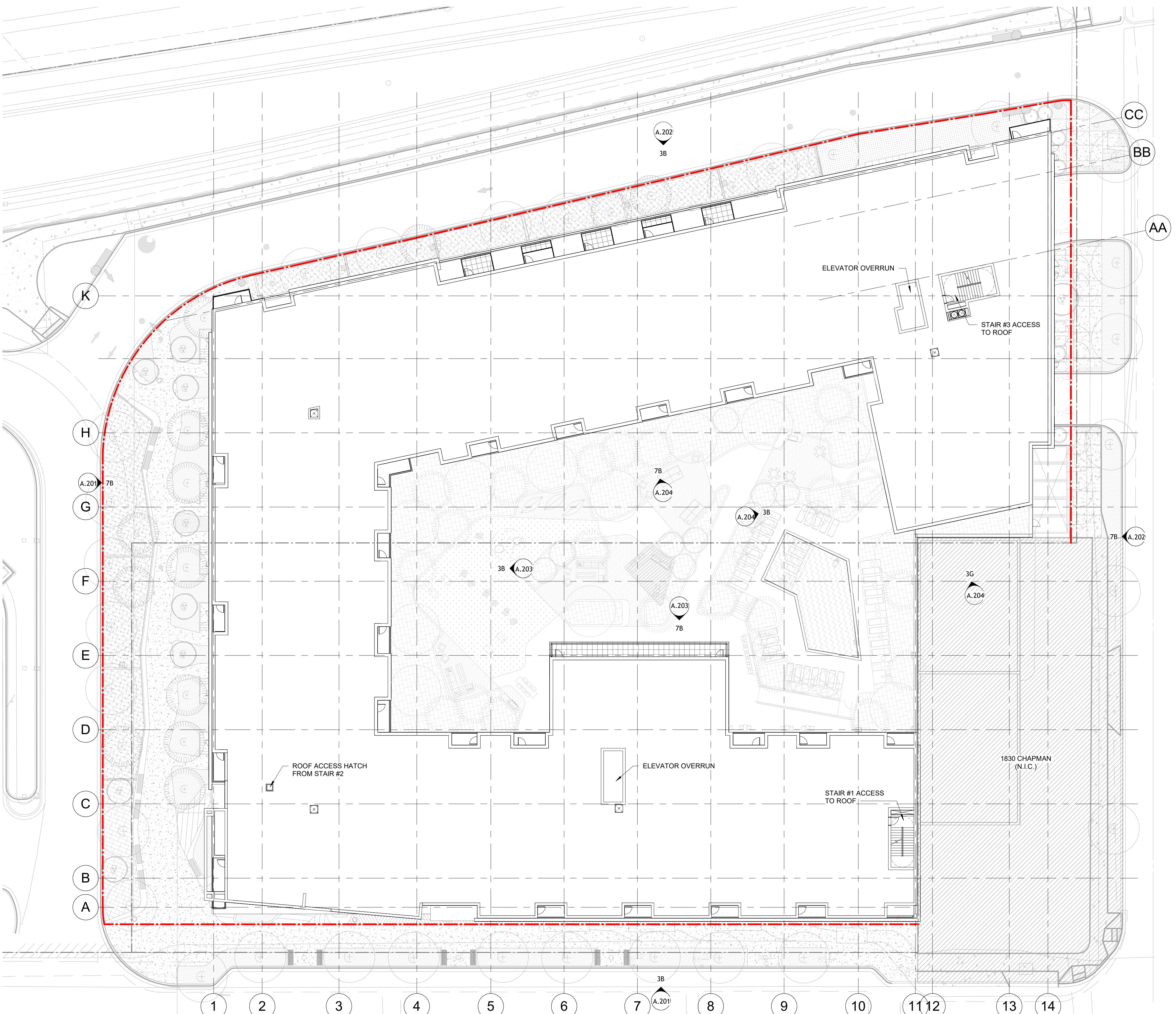
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7B ROOF PLAN

A compass rose icon with a large 'N' pointing upwards and a circle divided into four quadrants.

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A.111

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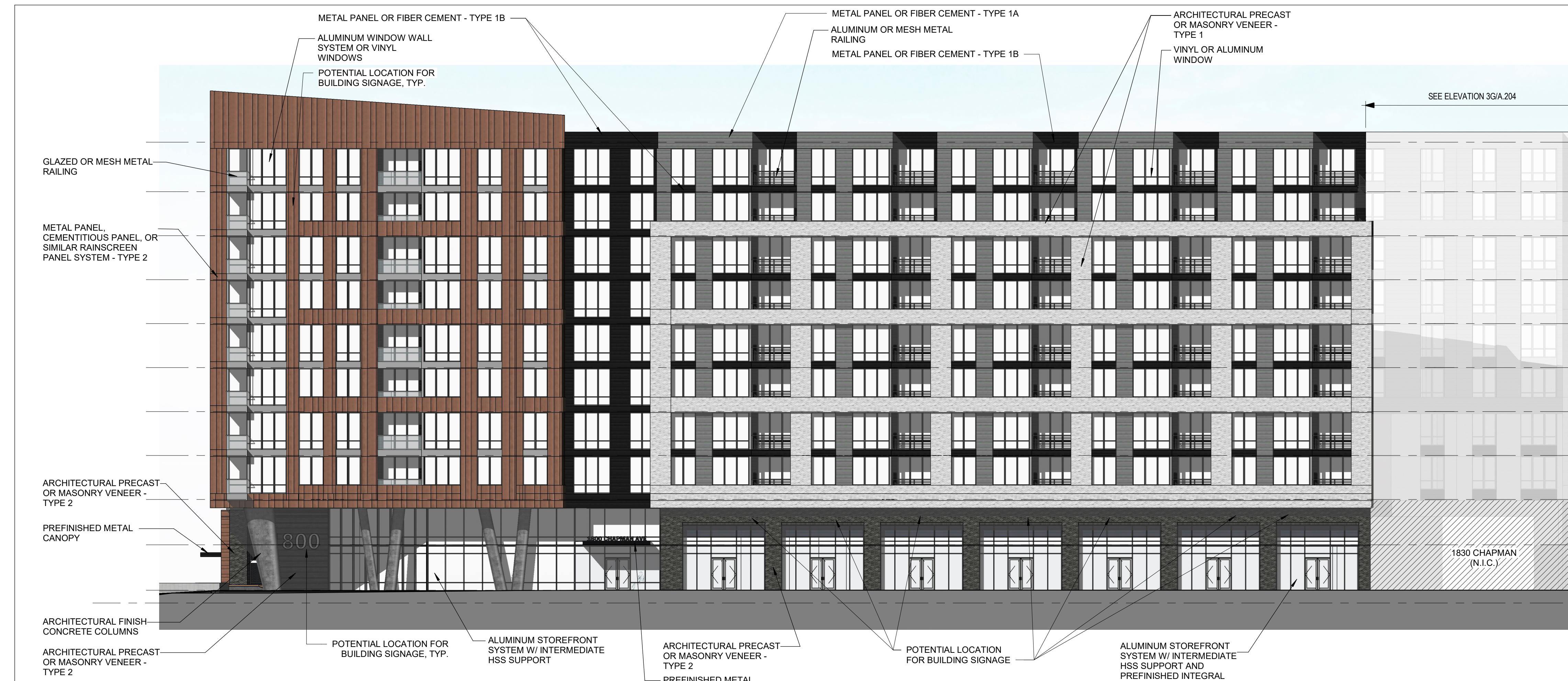
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Project Number: 0252.00
Date: 09.2024
Scale: = 20'-0"
Drawing: ROOF PLAN

A.111

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3B|WEST BUILDING ELEVATION

A-100 A.201 1/16" = 1'-0"



7B|NORTH BUILDING ELEVATION

A-100 A.201 1/16" = 1'-0"

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Drawing

EXTERIOR ELEVATIONS

A.201

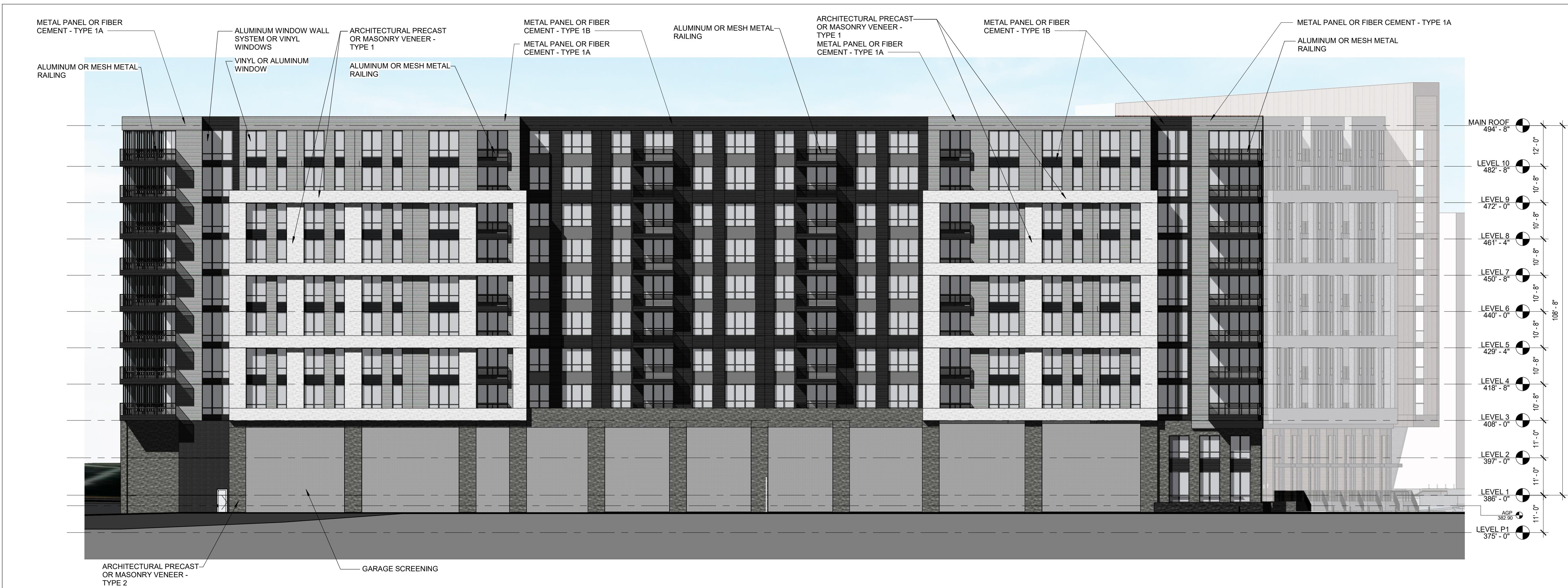
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RT2022 KeyesHuntington.mrt



3B EAST BUILDING ELEVATION

A-100 A.202 1/16" = 1'-0"



7B SOUTH BUILDING ELEVATION

A-100 A.202 1/16" = 1'-0"

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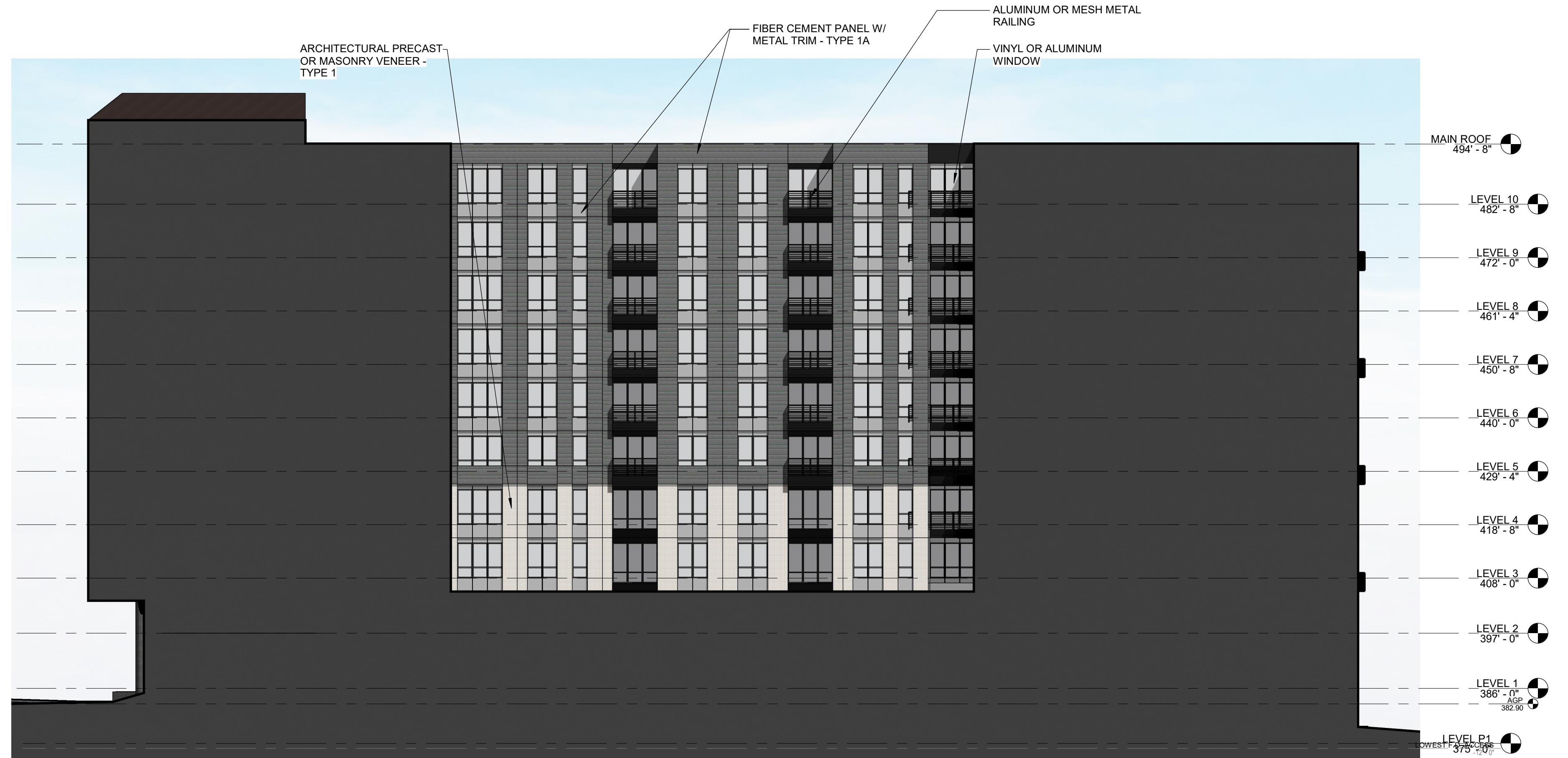
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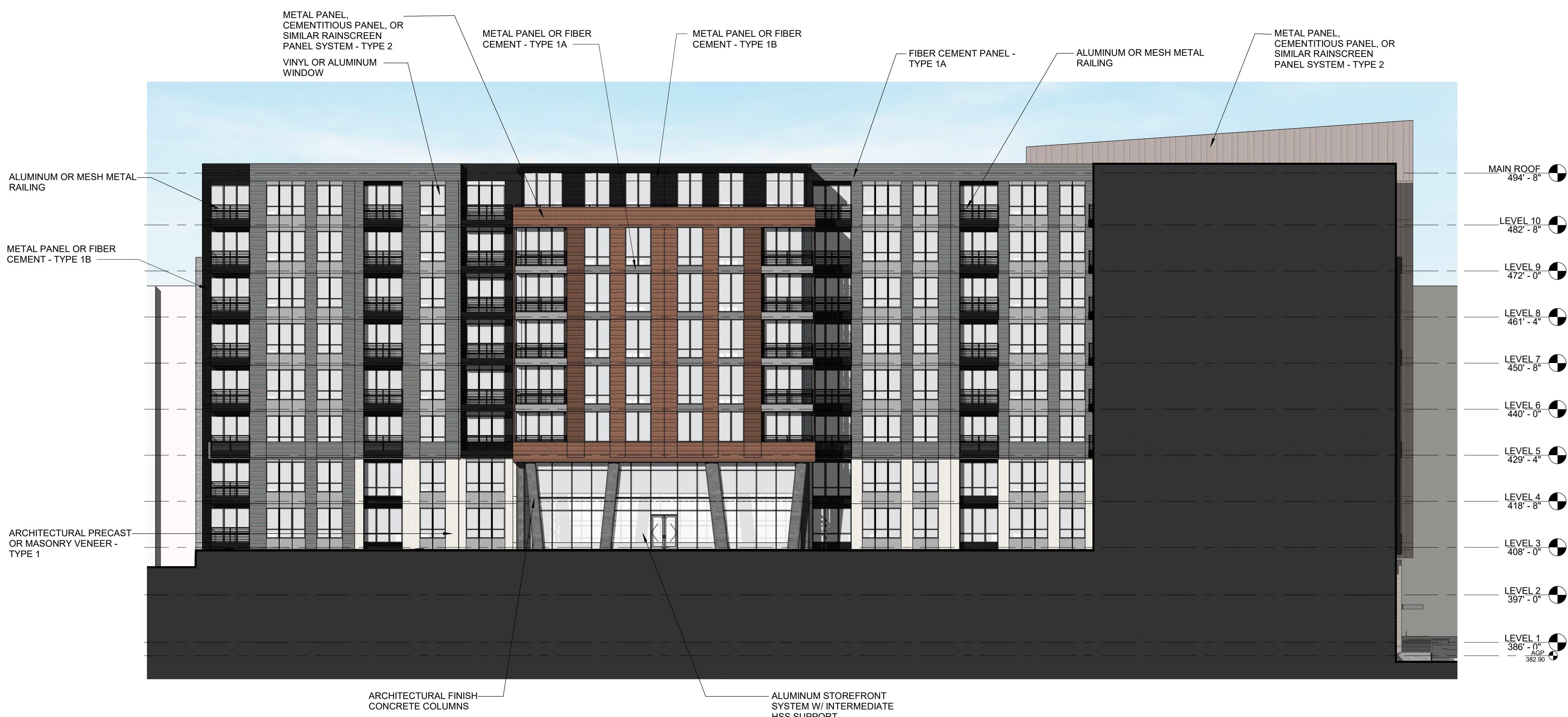
EXTERIOR ELEVATIONS

A.202



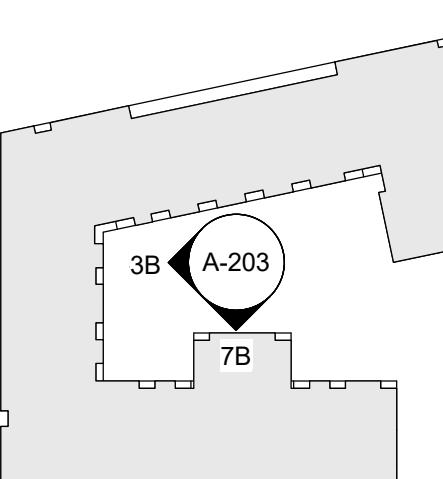
3B| NORTH COURTYARD ELEVATION

A-103 A-203 1/16" = 1'-0"



7B| WEST COURTYARD ELEVATION

A-103 A-203 1/16" = 1'-0"



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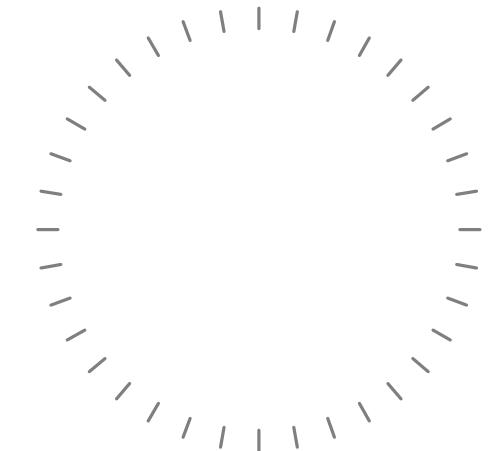
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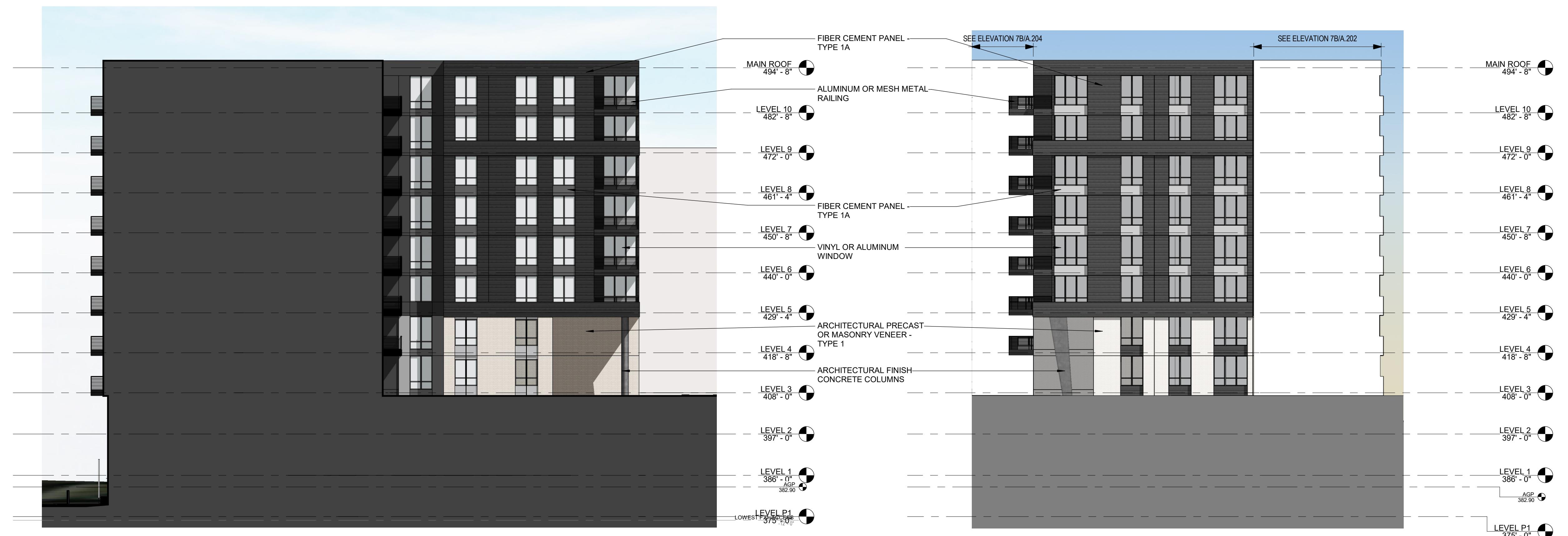
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EXTERIOR ELEVATIONS - COURTYARD

A.203

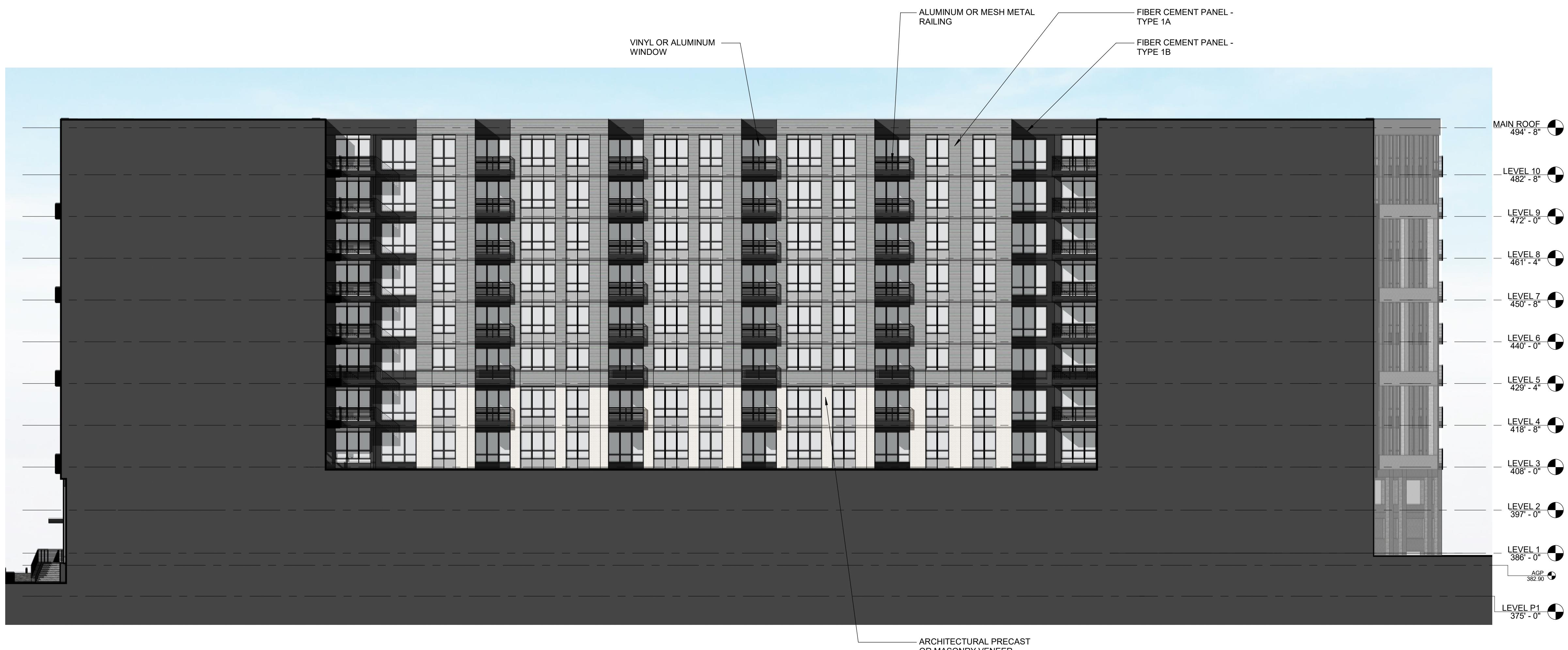


3B SOUTH COURTYARD ELEVATION

A-103 A.204 1/16" = 1'-0"

3G SITE PLAN - SOUTH EAST COURTYARD ELEVATION

A-100 A.204 1/16" = 1'-0"



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7B EAST COURTYARD ELEVATION

A-103 A.204 1/16" = 1'-0"

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HINES

**TWINBROOK
MULTIFAMILY**
1800 CHAPMAN AVE, ROCKVILLE
MD 20852

hord | coplan | macht

ARCHITECTURE
LANDSCAPE ARCHITECTURE
PLANNING
INTERIOR DESIGN



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE:

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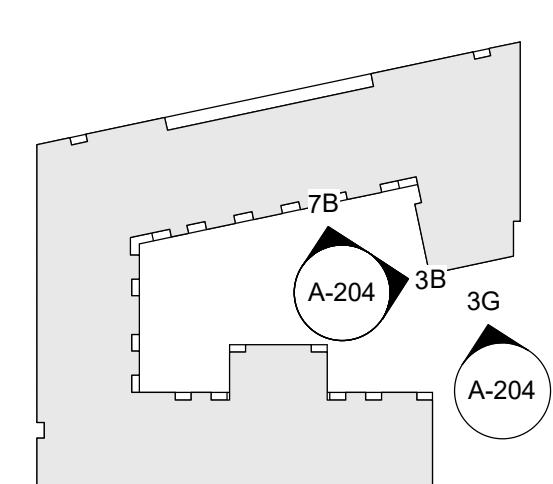
Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
10.09.2024

Scale
1/16" = 1'-0"
Drawing

EXTERIOR ELEVATIONS - COURTYARD



A.204

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