

PLAN LEGEND	
CTV	PROPERTY LINES
E	EXISTING CABLE TELEVISION CONDUIT
E	EXISTING ELECTRICAL CONDUIT
E	EXISTING EDGE OF PAVEMENT
X	EXISTING FENCE LINE
G	EXISTING NATURAL GAS CONDUIT
OHW	EXISTING OVERHEAD WIRES
T	EXISTING TELEPHONE CONDUIT
S	EXISTING PUBLIC UTILITIES EASEMENTS
SD	EXISTING SANITARY SEWER CONDUIT
W	EXISTING STORM DRAIN CONDUIT
W	EXISTING WATER CONDUIT
W	EXISTING ZONE LIMITS
W	EXISTING SANITARY CLEANOUT
W	EXISTING STORM DRAIN MANHOLE
W	EXISTING ELECTRICAL JUNCTION BOX
W	EXISTING FIRE DEPARTMENT CONNECTION
W	EXISTING FIRE HYDRANT
W	EXISTING GAS MANHOLE
W	EXISTING GUY POLE
W	EXISTING GAS VALVE
W	EXISTING LIGHT POLE
W	EXISTING PHONE PEDESTAL
W	EXISTING PHONE MANHOLE
W	EXISTING UTILITY POLE
W	EXISTING SANITARY MANHOLE
W	EXISTING TRAFFIC CONTROL BOX
W	EXISTING TRAFFIC SIGNAL POLE
W	EXISTING TREE
W	EXISTING CABLE TELEVISION PEDESTAL
W	EXISTING UNKNOWN UTILITY MANHOLE
W	EXISTING WATER METER
W	EXISTING WATER MANHOLE
W	EXISTING WATER VALVE
W	EXISTING BOLLARD
W	EXISTING SIGN POST
W	EXISTING WOOD POST
W	EXISTING INLETS
W	EXISTING CURB INLET
W	EXISTING CONCRETE
W	EXISTING CURB AND GUTTER
W	EXISTING BUILDING
W	EXISTING STORY
W	EXISTING ELECTRICAL TRANSFORMER
W	EXISTING ASPHALT
W	EXISTING EASEMENT
W	EXISTING REINFORCED CONCRETE PIPE
W	EXISTING CORRUGATED METAL PIPE
W	EXISTING BUILDING RESTRICTION LINE
W	EXISTING RIGHT-OF-WAY

Vika
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20251 Century Blvd., Suite 400
Germantown, MD 20874
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PREPARED FOR:
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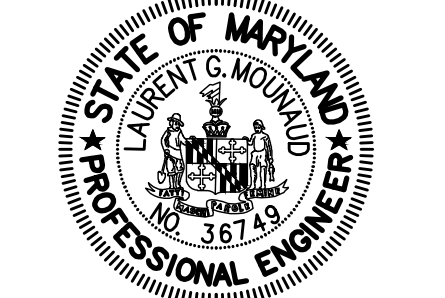
LANDSCAPE ARCHITECT:
DESIGN WORKSHOP
SUITE 109
RALEIGH, NC 27603
919.973.6254
CONTACT: BENJAMIN BOYD

REVISIONS	DATE
Resubmission	9/30/2022
Resubmission	12/08/2022
Resubmission	09/08/2023

1800 CHAPMAN
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

EXISTING CONDITIONS SITE PLAN

PROFESSIONAL SEAL



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
NAME: LAURENT J. MOUDOU
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2025

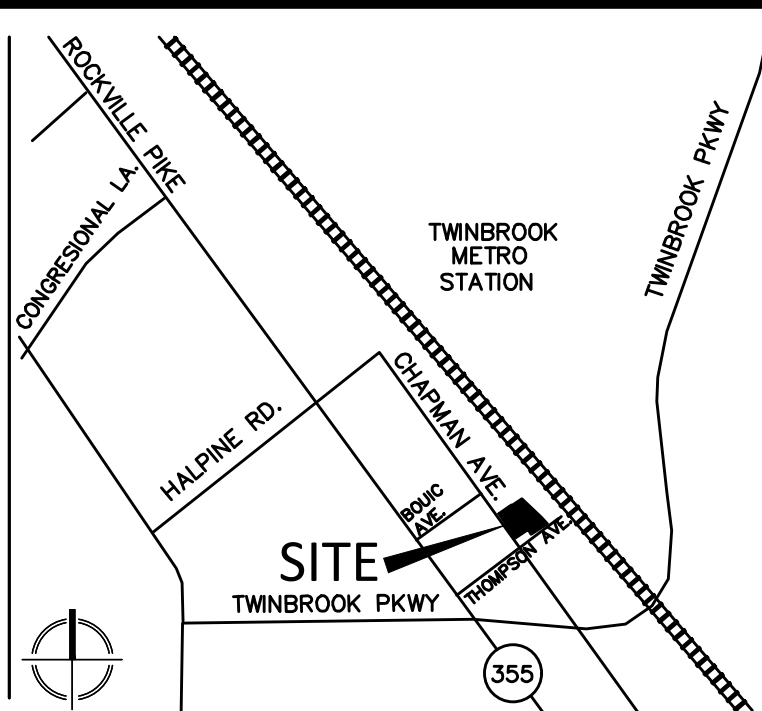
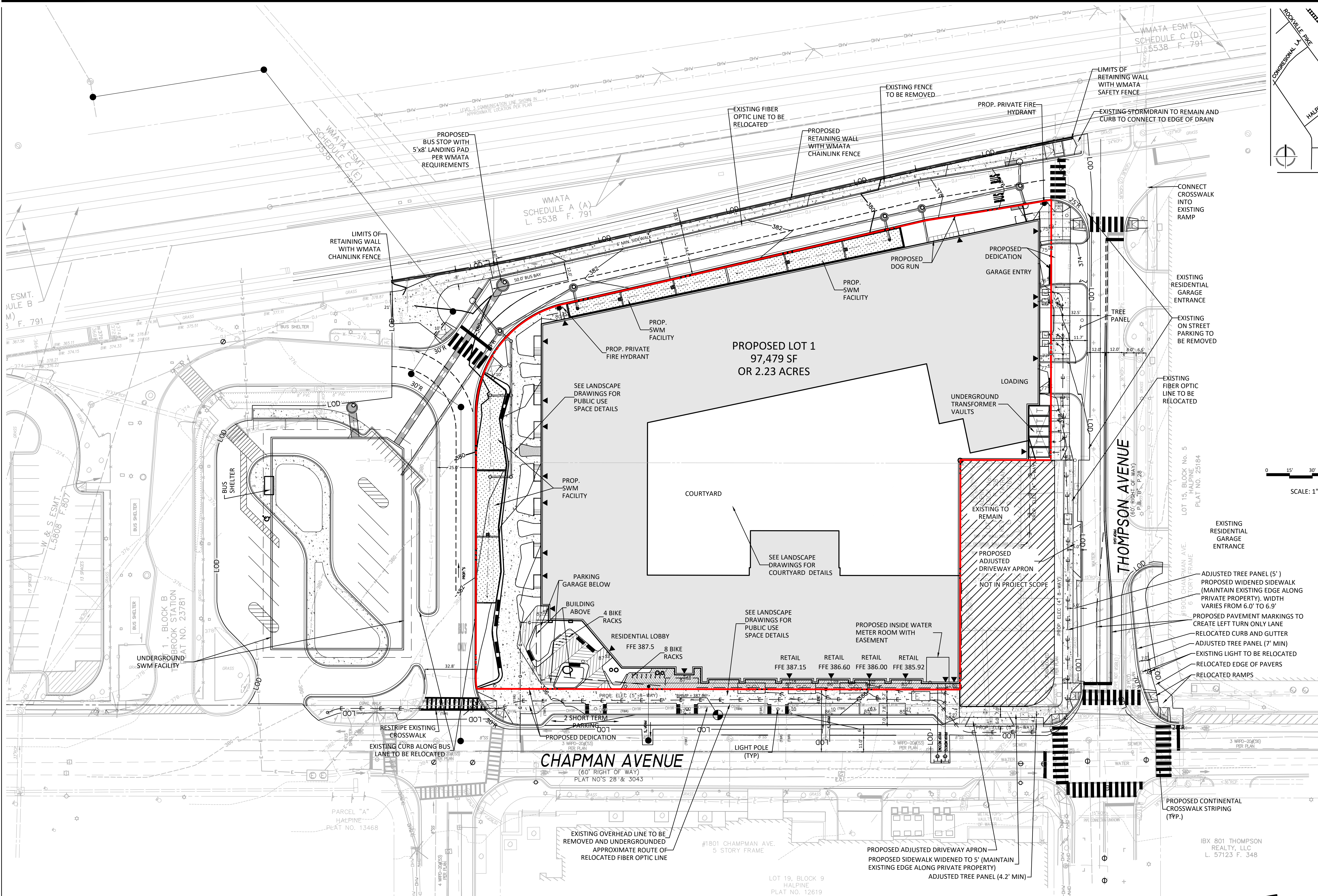
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Vika PROJECT VM50024
DRAWING NO. SP-2
SHEET NO.

Community Planning & Development Services
Received
November 4, 2024

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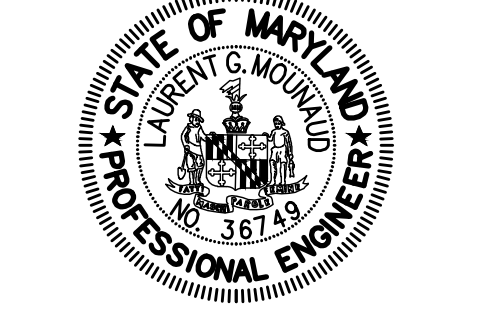
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MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

**LEVEL 2
SITE PLAN**

PROFESSIONAL SEAL



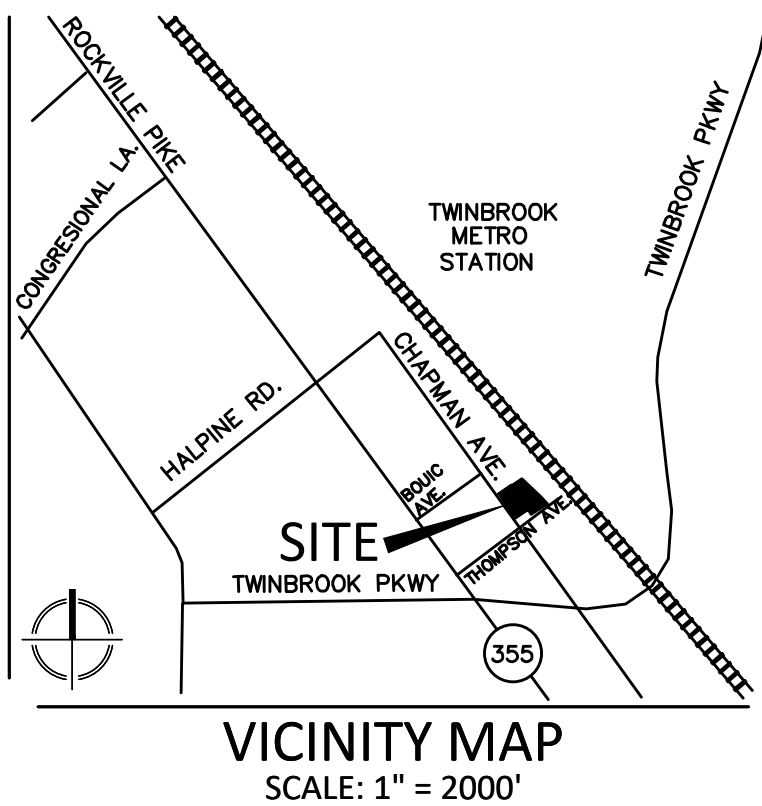
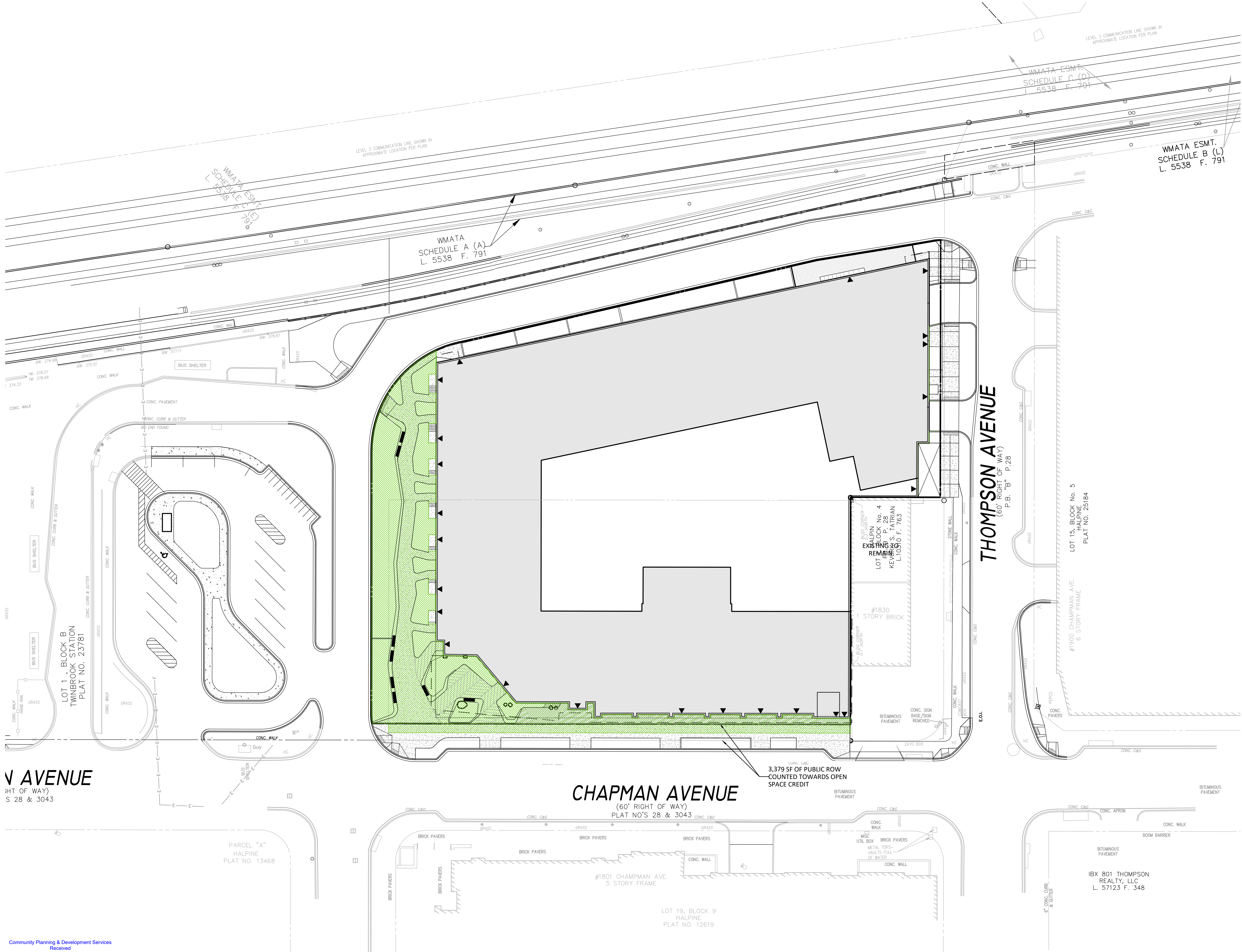
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NAME: LAURENT S. MOUNOUD
LICENSE NO.: 36749
EXPIRATION DATE: JANUARY 31, 2025

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SHEET NO.

PLAN LEGEND

CTV	PROPERTY LINES	EXISTING SANITARY CLEANOUT	EXISTING SANITARY MANHOLE	EXISTING CURB INLET	PROPOSED PARKING LABELS
CTV	EXISTING CABLE TELEVISION CONDUIT	EXISTING STORM DRAIN MANHOLE	EXISTING TRAFFIC CONTROL BOX	EXISTING CONCRETE	DOOR LOCATION
E	EXISTING ELECTRICAL CONDUIT	EXISTING TRAFFIC SIGNAL POLE	EXISTING CABLE TELEVISION PEDestal	EXISTING CURB AND GUTTER	PROPOSED BIO RETENTION
E	EXISTING EDGE OF PAVEMENT	EXISTING ELECTRICAL MANHOLE	EXISTING UNKNOWN UTILITY MANHOLE	EXISTING BUILDING	UNDERGROUND TRANSFORMER
X	EXISTING FENCE LINE	EXISTING FIRE DEPARTMENT CONNECTION	EXISTING WATER METER	EXISTING STORY	
X	EXISTING NATURAL GAS CONDUIT	EXISTING FIRE HYDRANT	EXISTING WATER MANHOLE	EXISTING ELECTRICAL TRANSFORMER	
OHW	EXISTING OVERHEAD WIRES	EXISTING GAS MANHOLE	EXISTING BOLLARD	EXISTING ASPHALT	
T	EXISTING TELEPHONE CONDUIT	EXISTING GUY POLE	EXISTING SIGN POST	EXISTING EASEMENT	
T	EXISTING PUBLIC UTILITIES EASEMENTS	EXISTING LIGHT POLE	EXISTING WOOD POST	EXISTING REINFORCED CONCRETE PIPE	
S	EXISTING SANITARY SEWER CONDUIT	EXISTING PHONE PEDestal	EXISTING INLETS	EXISTING CORRUGATED METAL PIPE	
SD	EXISTING STORM DRAIN CONDUIT	EXISTING UTILITY POLE		EXISTING BUILDING RESTRICTION LINE	
W	EXISTING WATER CONDUIT			EXISTING RIGHT-OF-WAY	
W	EXISTING ZONE LIMITS				



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**1800
CHAPMAN**
SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

**OPEN AREA
SITE PLAN**

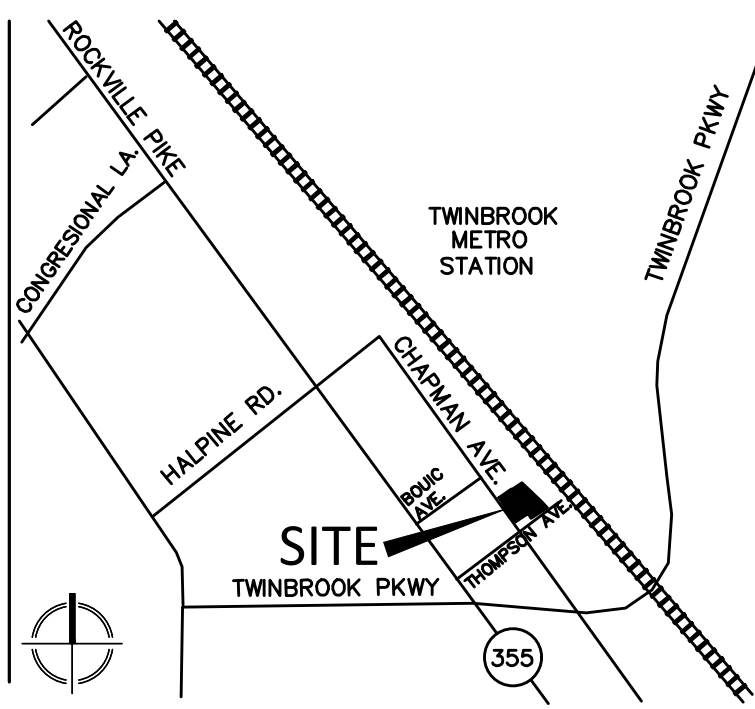
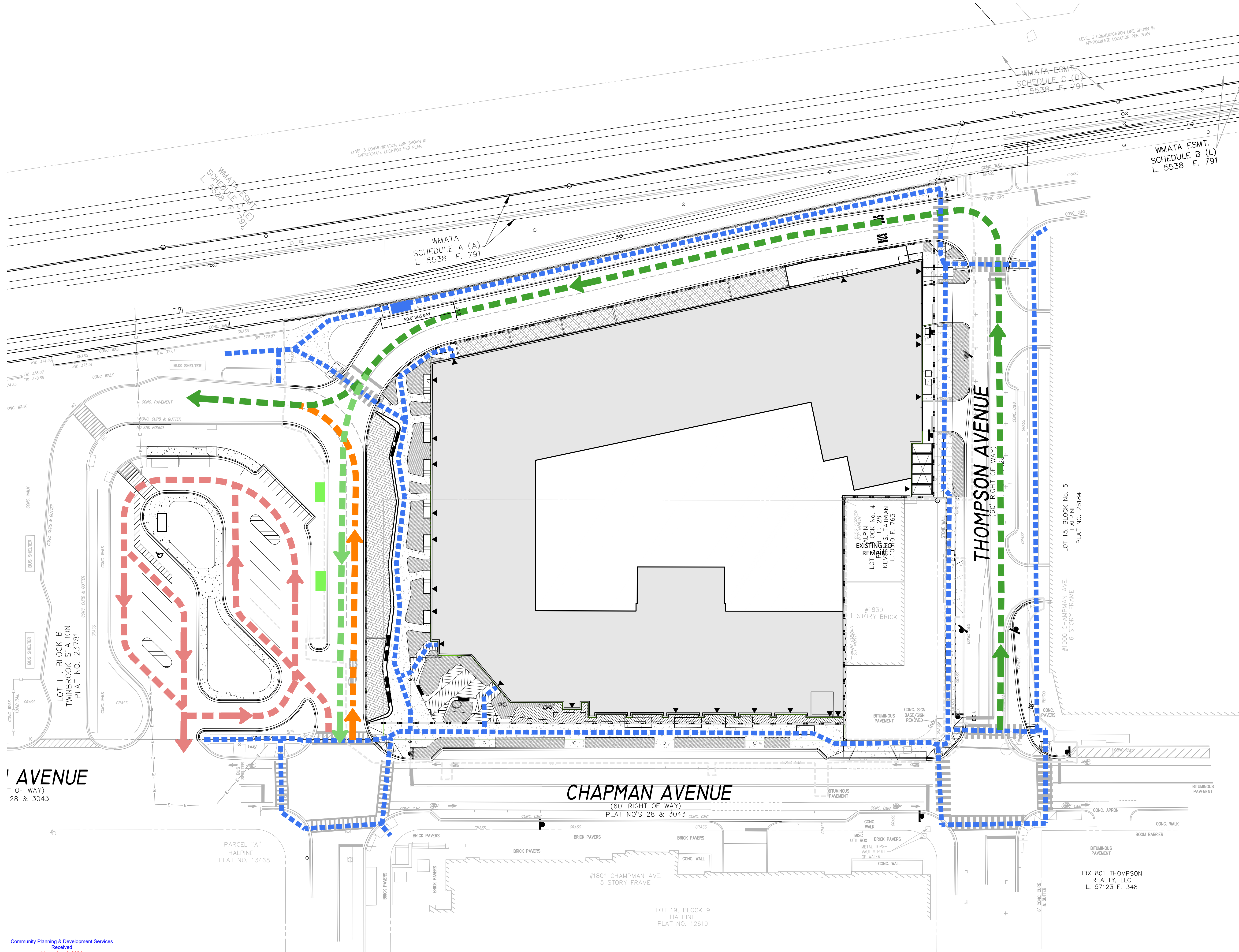
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VIKA PROJECT: VM50024
DRAWING NO.: SP-4
SHEET NO.:

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The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

LEGEND				
	OPEN AREA/PUBLIC USE	14,622 SQ. FT. REQUIRED	13,000 SQ. FT. ON-SITE PROVIDED	1,800 SQ. FT. ROW PROVIDED
				14,800 SQ. FT. TOTAL PROVIDED



LEGEND



INTERIM BUS CIRCULATION



FUTURE BUS CIRCULATION



EXISTING KISS & RIDE



EXISTING BUS CIRCULATION



PEDESTRIAN CIRCULATION



PROPOSED BUS STOP



FUTURE BUS STOPS

0 15' 30' 60'

SCALE: 1" = 30'



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1800
CHAPMAN

SITE PLAN
APPLICATION
4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP: GQ63

BUS
CIRCULATION
PLAN

PROFESSIONAL SEAL



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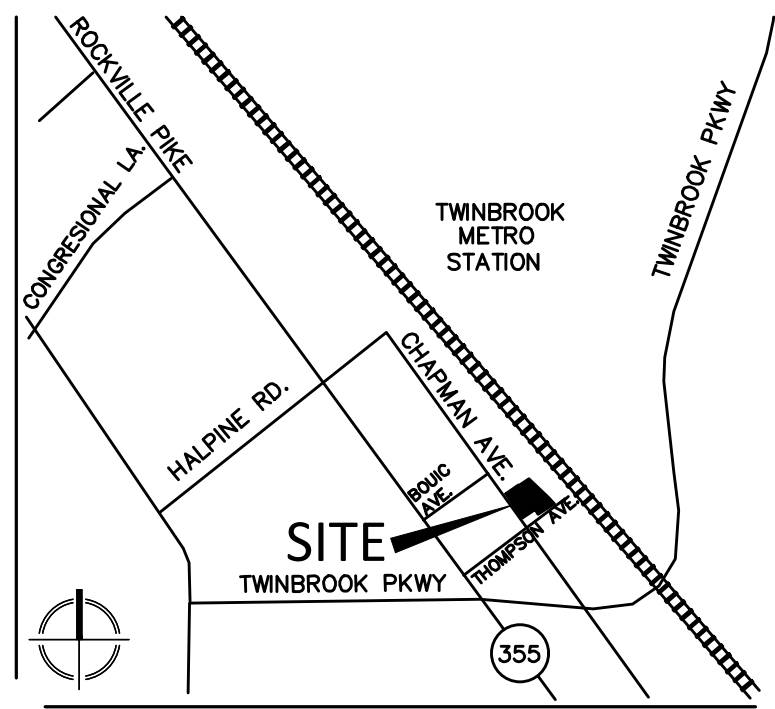
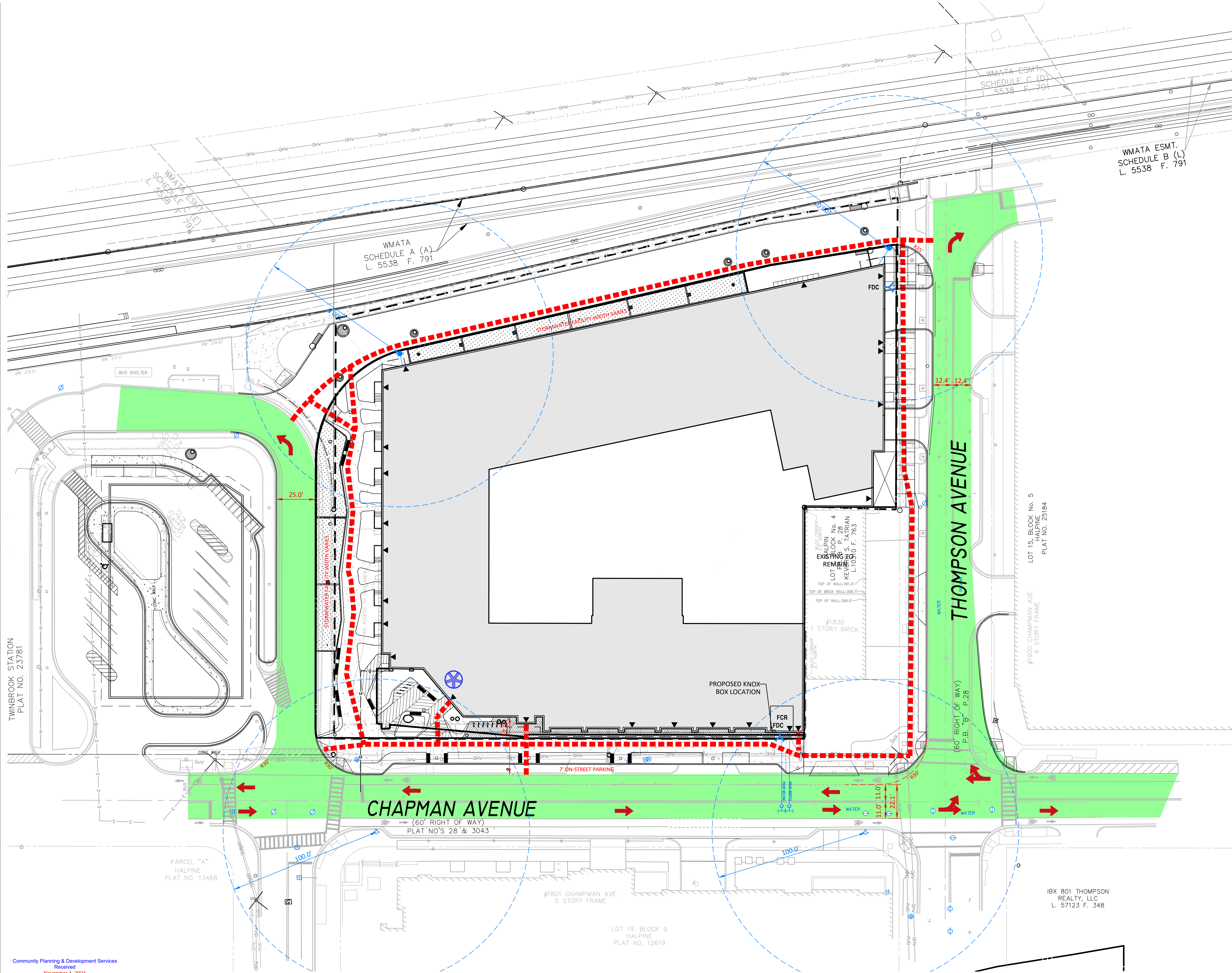
VIKA PROJECT VM50024
DRAWING NO. SP-5

SHEET NO.

Community Planning & Development Services
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November 4, 2024

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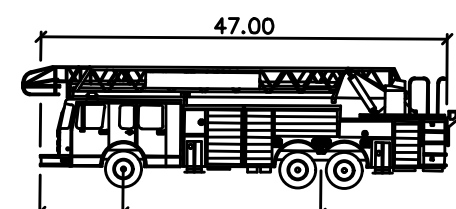
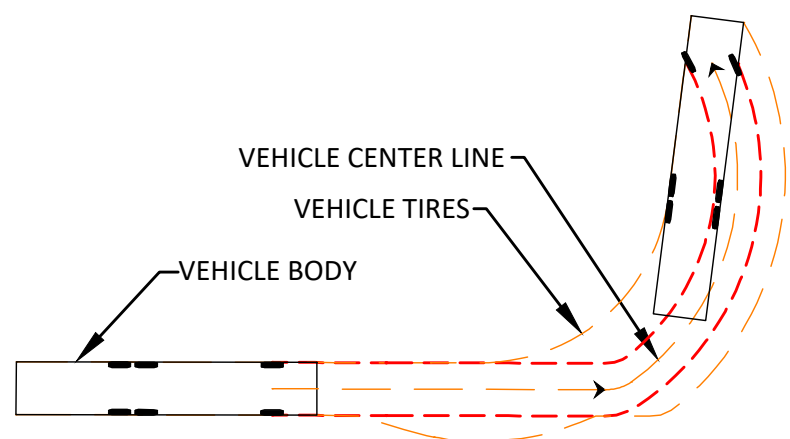
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VICINITY MAP
SCALE: 1" = 2000'

LEGEND

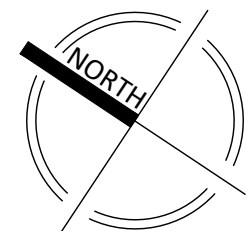
- MAIN ENTRANCE
- WATER LINE AND FITTING
- FIRE DEPARTMENT CONNECTION
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- BUILDING ENTRY
- FIRE TRUCK MOVEMENT (AT 729 TRUCK)
- FIRE CONTROL ROOM
- FIRE ACCESS PATH
- FIRE ACCESS FOOT PATH
- TYPICAL FIRE LANE SIGNAGE



AT29
Width : 8.25
Track : 8.25
Lock to Lock Time : 6.00
Steering Angle : 33.20

0 15' 30' 60'

SCALE: 1" = 30'



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LAYOUT: SP-6 Fire, Plotted By: Mounoud

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4TH ELECTION DISTRICT
MONTGOMERY COUNTY,
MARYLAND
WSSC GRID: 216NW06
TAX MAP:GQ63

PRE-APPLICATION
SITE PLAN
FIRE ACCESS
PLAN

PROFESSIONAL SEAL



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VIKA PROJECT VM50024
DRAWING NO. SP-6
SHEET NO.

SITE KEYNOTES:		DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
1.0	PAVEMENTS, RAMPS, CURBS			
1.1	CIP Concrete Paving	1 / L-01	0 / L0-01	000000
1.2	Concrete Pavers	2 / L-01	0 / L0-01	000000
1.3	Wood Deck	4 / L-01	0 / L0-01	000000
1.4	Stone Bed	5 / L-01	0 / L0-01	000000
1.5	Artificial Turf	6 / L-01	0 / L0-01	000000
1.6	Detectable Warning Paving	7 / L-01	0 / L0-01	000000

2.0 JOINTING				
2.1	Control Joint	2 / L-201	0 / L0-01	000000
2.2	Expansion Joint	2 / L-201	0 / L0-01	000000

3.0 STEPS			
3.1	CIP Concrete Stair	1 / 1-202	0 / 1.0-01 000000

4.0	SITE WALLS/ EMBANKMENTS
4.1	CIP Concrete Wall 2 / L-202 0 / L0-01 000000
4.2	CIP Concrete Wall with Seat 3 / L-202 0 / L0-01 000000

5.0	SITE FURNITURE	
5.1	Bench	1 / L203
5.2	Bike Rack	2 / L203
5.3	Litter Receptacle	3 / L203

6.0 RAILINGS, BARRIERS, FENCING				
6.1	Handrail / Guard Rail		0 / L0-01	000000
6.2	Fence - Dog Run	4 / L-203	0 / L0-01	000000
6.3	Fence - Glass Pool Fence and Gates	5 / L-203	0 / L0-01	000000

7.0 SITE LIGHTING

8.0 DRAINAGE

Refer to Civil Drawings

9.0 PLANTING AND LANDSCAPE

Refer to Site Planting Series Drawings

10.0 MISCELLANEOUS ELEMENTS



PA Planting Area
MBR Micro-Bioretention Area

SITE MATERIAL REFERENCE NOTES

- 1 Light poles, see electrical engineering drawings
- 2 Micro-Bioretenction, see civil drawings
- 3 Refer to Sheet SP-3 for site improvements

Allied scopes and documentation:

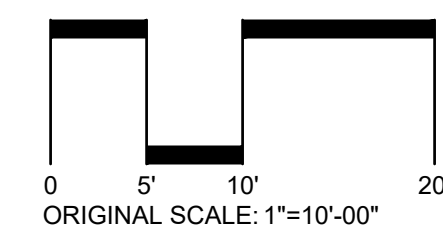
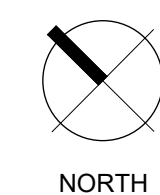
- See Civil Engineering dwgs for all curb and gutters, curb ramps, vehicular aprons, roadways and markings, etc.
- See Architecture dwgs for the building, columns, site walls, garage paving, etc except where noted.
- See Electrical Engineering dwgs for all light fixtures.
- See Civil Engineering or Signage/Wayfinding dwgs for all road signs, branding, etc.
- See Interior Design dwgs for all furnishings/fixtures in outdoor seating areas except where noted.

 Limit of Work
 Property Line
 Overhead Architecture

THOMPSON AVENUE

EXISTING
BUILDING
(NOT IN SCOPE)

CHAPMAN AVENUE



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INTERIOR DESIGNER
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HINES

TWINBROOK
MULTIFAMILY

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MD 20852

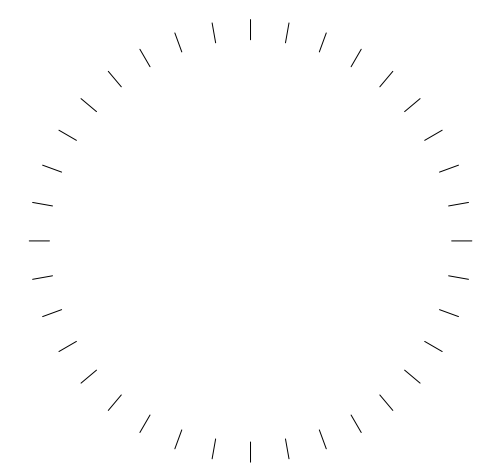
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ARCHITECTURE

LANDSCAPE ARCHITECTURE

PLANNING

INTERIOR DESIGN



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no.	date	revision
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Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
10.10.24

Scale

Drawing

LANDSCAPE MATERIALS PLAN -
STREETSCAPE

L-101

SITE PLAN SUBMISSION

SITE KEYNOTES:

		DETAILS / SHEET	RELATED DETAILS	SPEC. SECTION
1.0	PAVEMENTS, RAMPS, CURBS			
1.1	CIP Concrete Paving	1 / L-201	0 / L0-01	000000
1.2	Concrete Pavers	2 / L-201	0 / L0-01	000000
1.3	Wood Deck	4 / L-201	0 / L0-01	000000
1.4	Stone Bed	5 / L-201	0 / L0-01	000000
1.5	Artificial Turf	6 / L-201	0 / L0-01	000000
1.6	Detectable Warning Paving	7 / L-201	0 / L0-01	000000
2.0	JOINTING			
2.1	Control Joint	2 / L-201	0 / L0-01	000000
2.2	Expansion Joint	2 / L-201	0 / L0-01	000000
3.0	STEPS			
3.1	CIP Concrete Stair	1 / L-202	0 / L0-01	000000
4.0	SITE WALLS/ EMBANKMENTS			
4.1	CIP Concrete Wall	2 / L-202	0 / L0-01	000000
4.2	CIP Concrete Wall with Seat	3 / L-202	0 / L0-01	000000
5.0	SITE FURNITURE			
5.1	Bench		1 / L203	
5.2	Bike Rack		2 / L203	
5.3	Litter Receptacle		3 / L203	
6.0	RAILINGS, BARRIERS, FENCING			
6.1	Handrail / Guard Rail		0 / L0-01	000000
6.2	Fence - Dog Run	4 / L-203	0 / L0-01	000000
6.3	Fence - Glass Pool Fence and Gates	5 / L-203	0 / L0-01	000000
7.0	SITE LIGHTING			
Refer to Site Lighting Series Drawings				
8.0	DRAINAGE			
Refer to Civil Drawings				
9.0	PLANTING AND LANDSCAPE			
Refer to Site Planting Series Drawings				
10.0	MISCELLANEOUS ELEMENTS			
PA	Planting Area			
MBR	Micro-Bioretenention Area			

SITE MATERIAL REFERENCE NOTES

- 1 Light poles, see electrical engineering drawings
- 2 Micro-Bioretention, see civil drawings
- 3 Refer to Sheet SP-3 for site improvements

Allied scopes and documentation:

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- — — — — Limit of Work
- — — — — Property Line
- — — — — Overhead Architecture

POOL CALCULATIONS:

Pool Capacity:

- 1 person for each 10sf of water surface where depth is less than 5'
- 242sf total / 10sf = 24 people
- 1 person for each 24sf of water surface where depth is more than 5'
- 765sf total / 10sf = 76 people
- Total current capacity = 100 people

Minimum deck size:

- 20sf per person multiplied by capacity
- Current deck size 2445sf
- Current pool capacity x 20sf = 2000 sf
- Current design meets minimum deck size

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HINES

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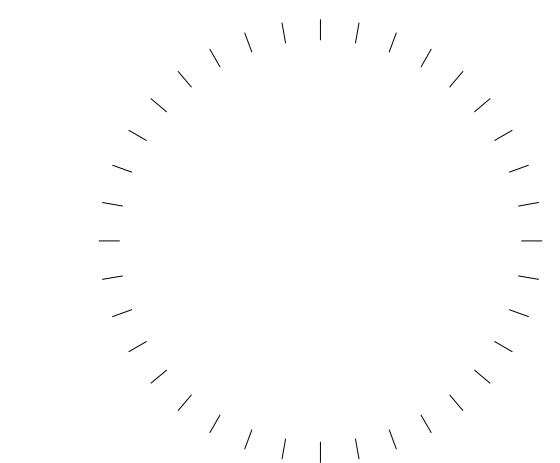
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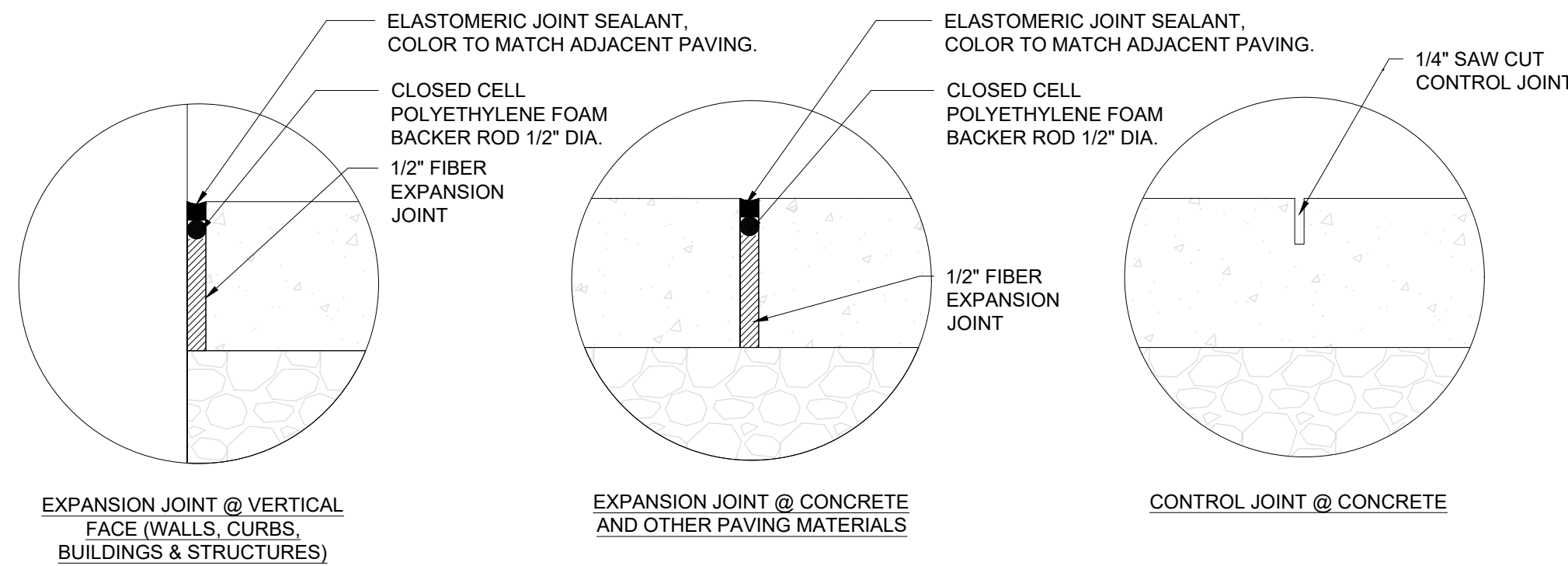
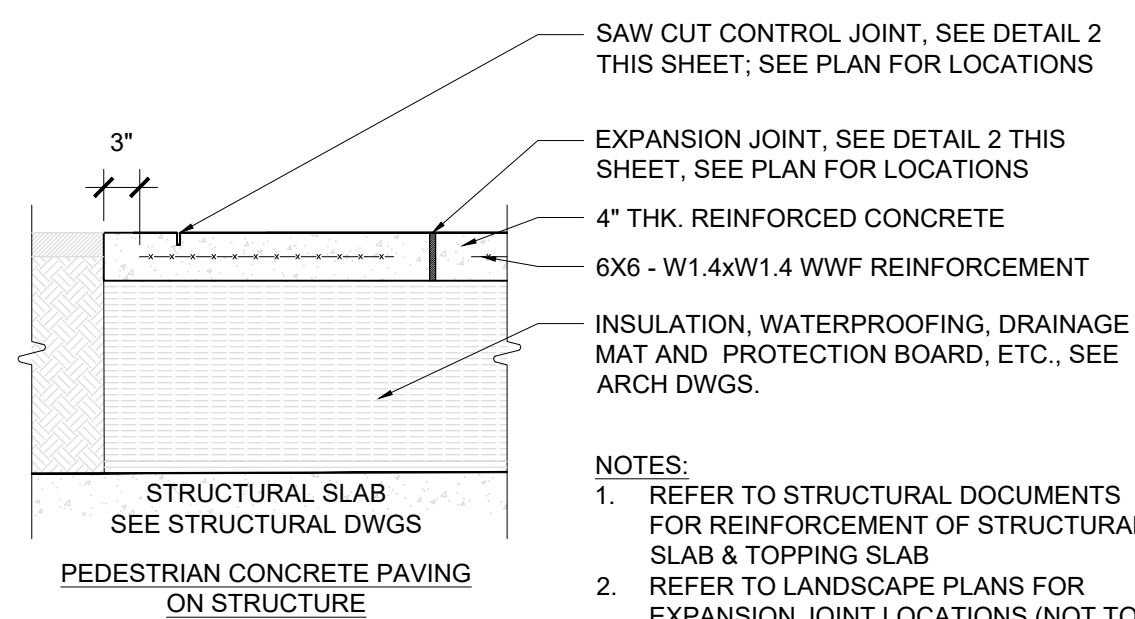
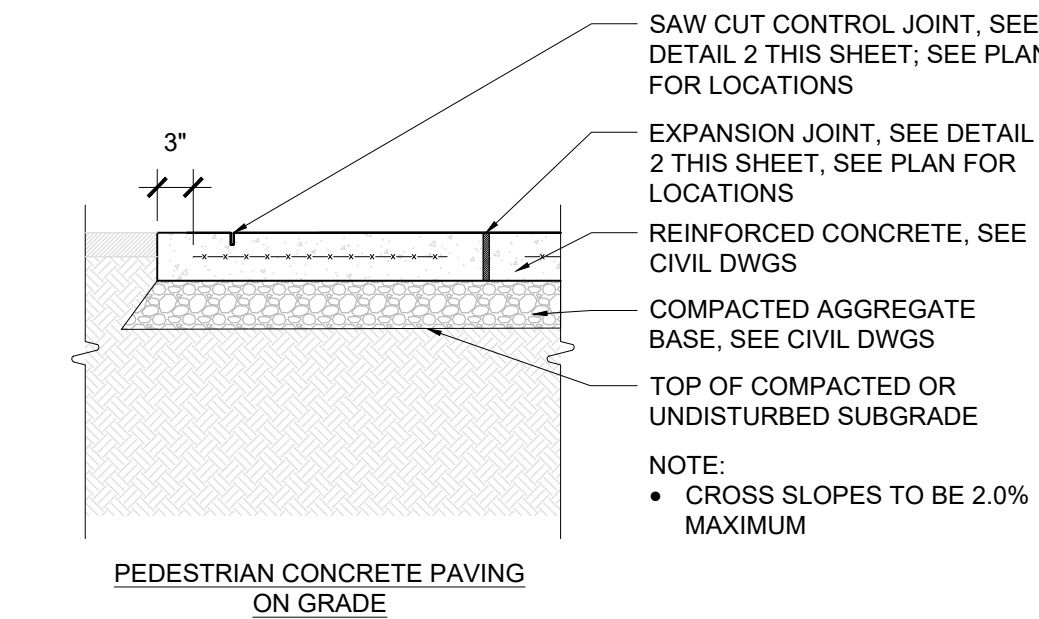
Scale

Drawing

LANDSCAPE MATERIALS PLAN -
AMENITY DECK

L-102

SITE PLAN SUBMISSION

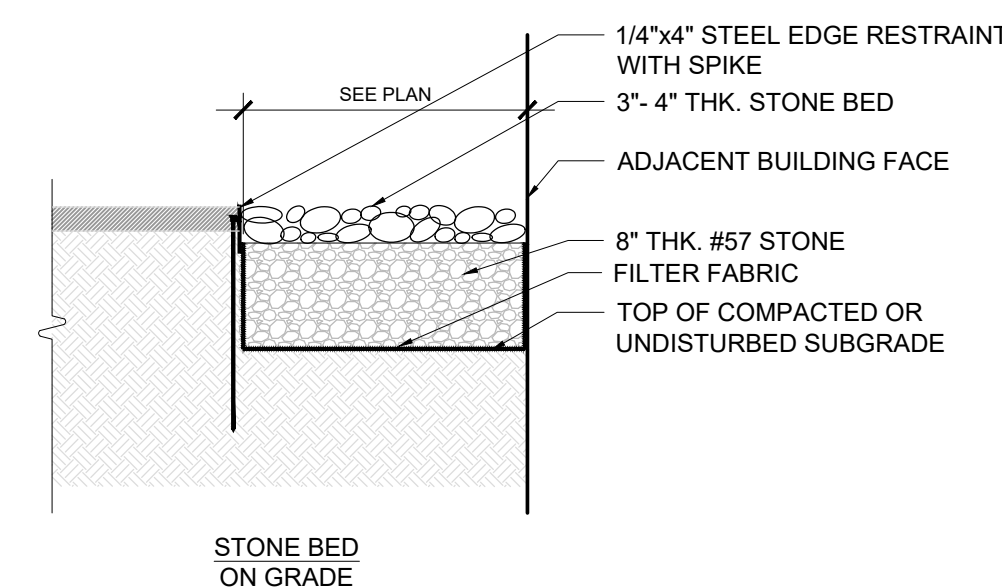
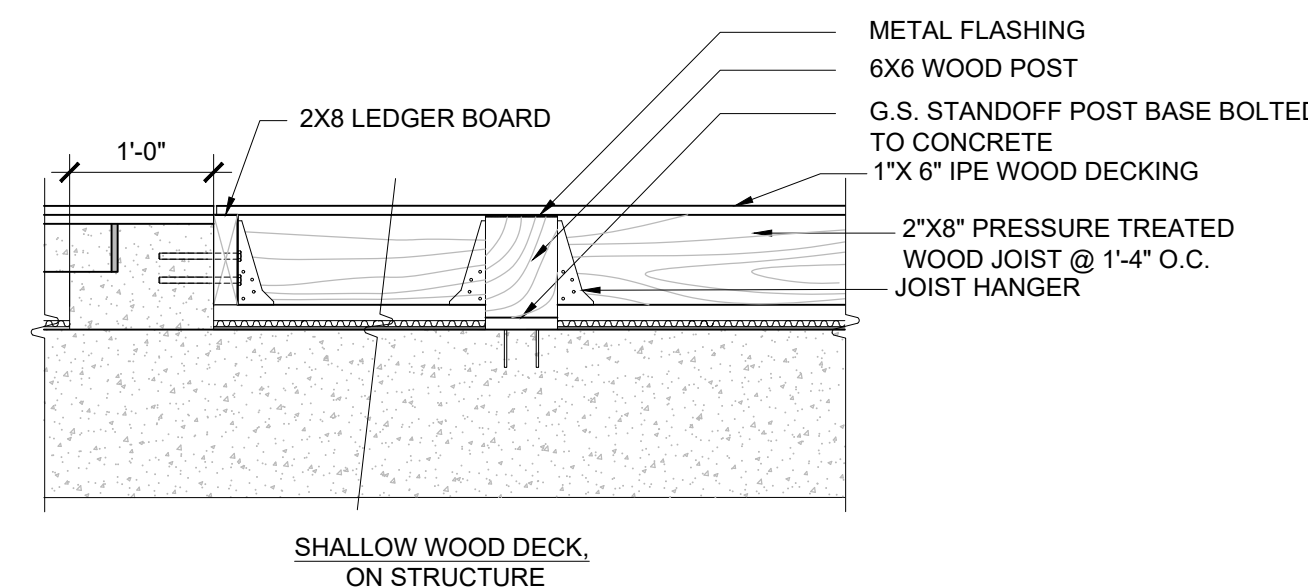
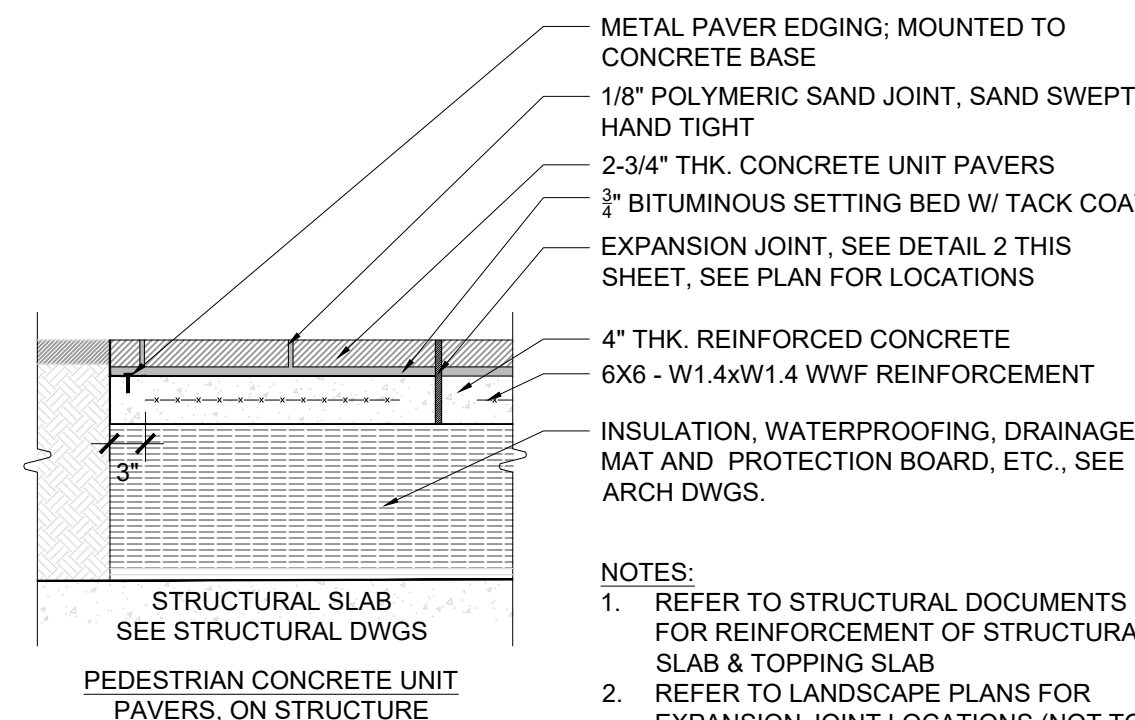
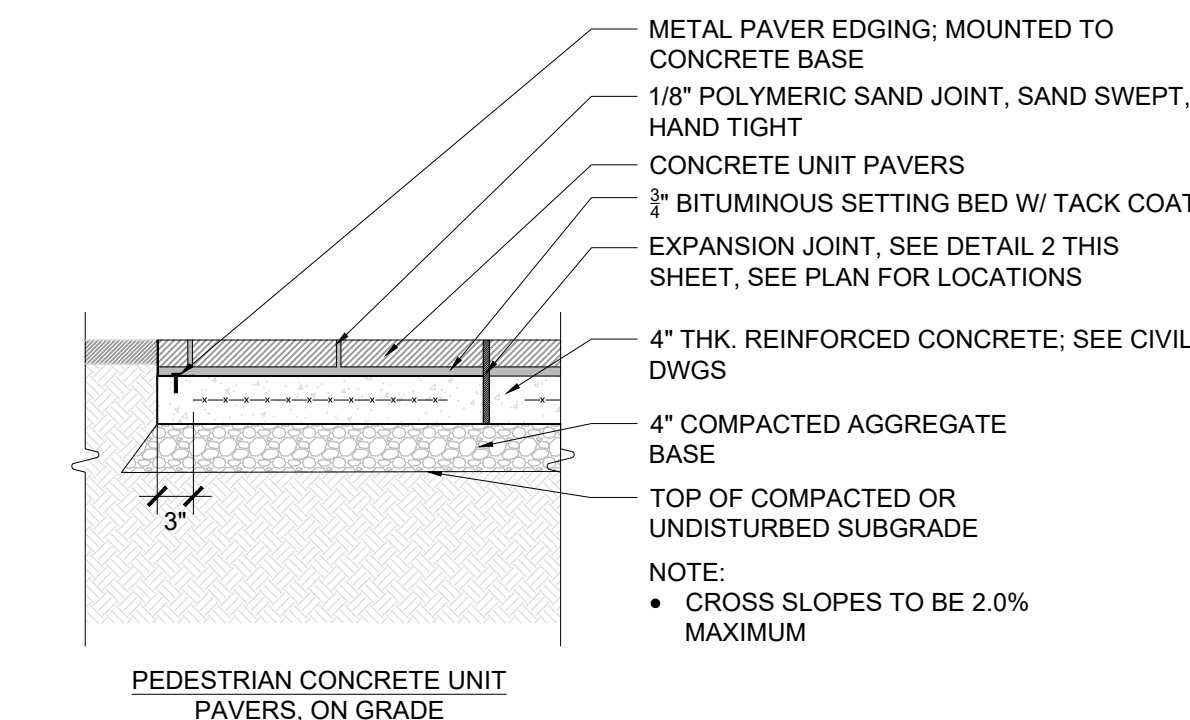


1 CONCRETE PAVING

3/4" = 1'-0"

2 CONCRETE JOINTS

3/4" = 1'-0"



3 CONCRETE UNIT PAVERS

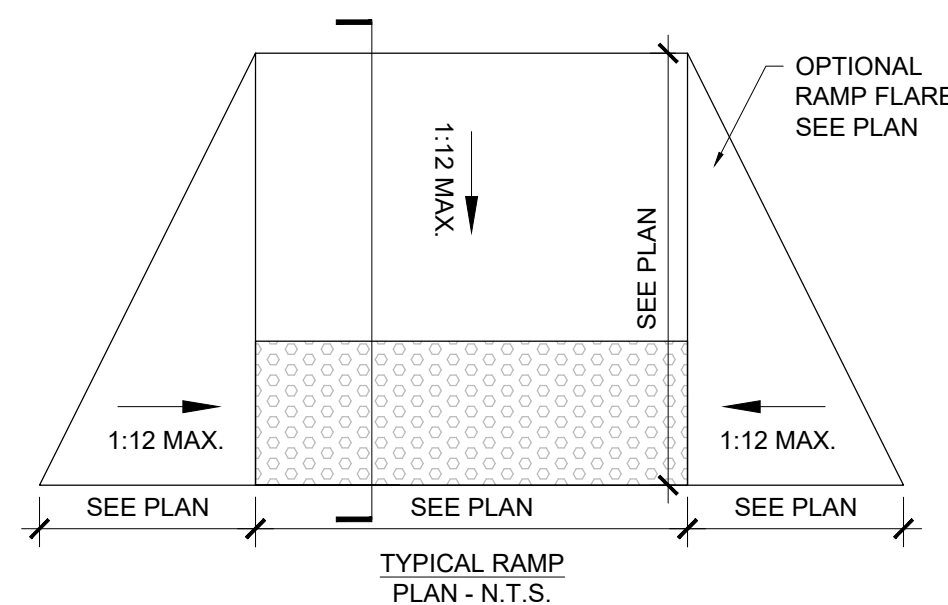
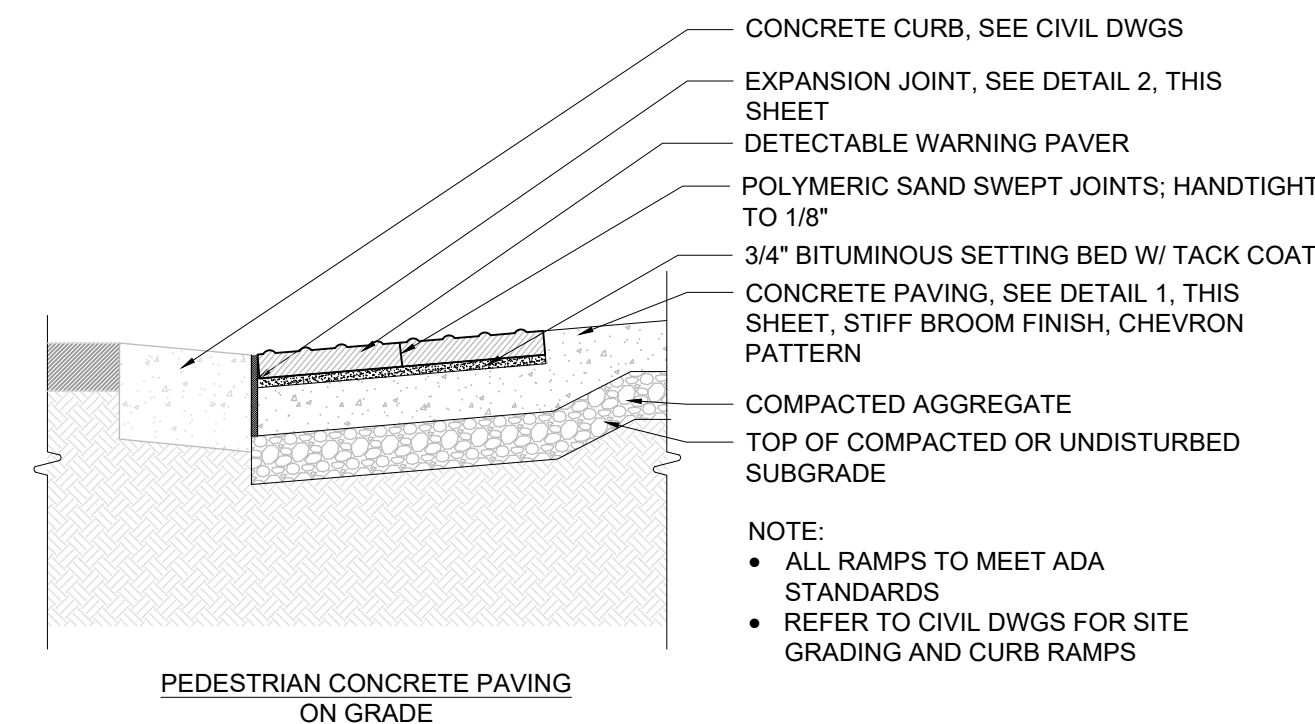
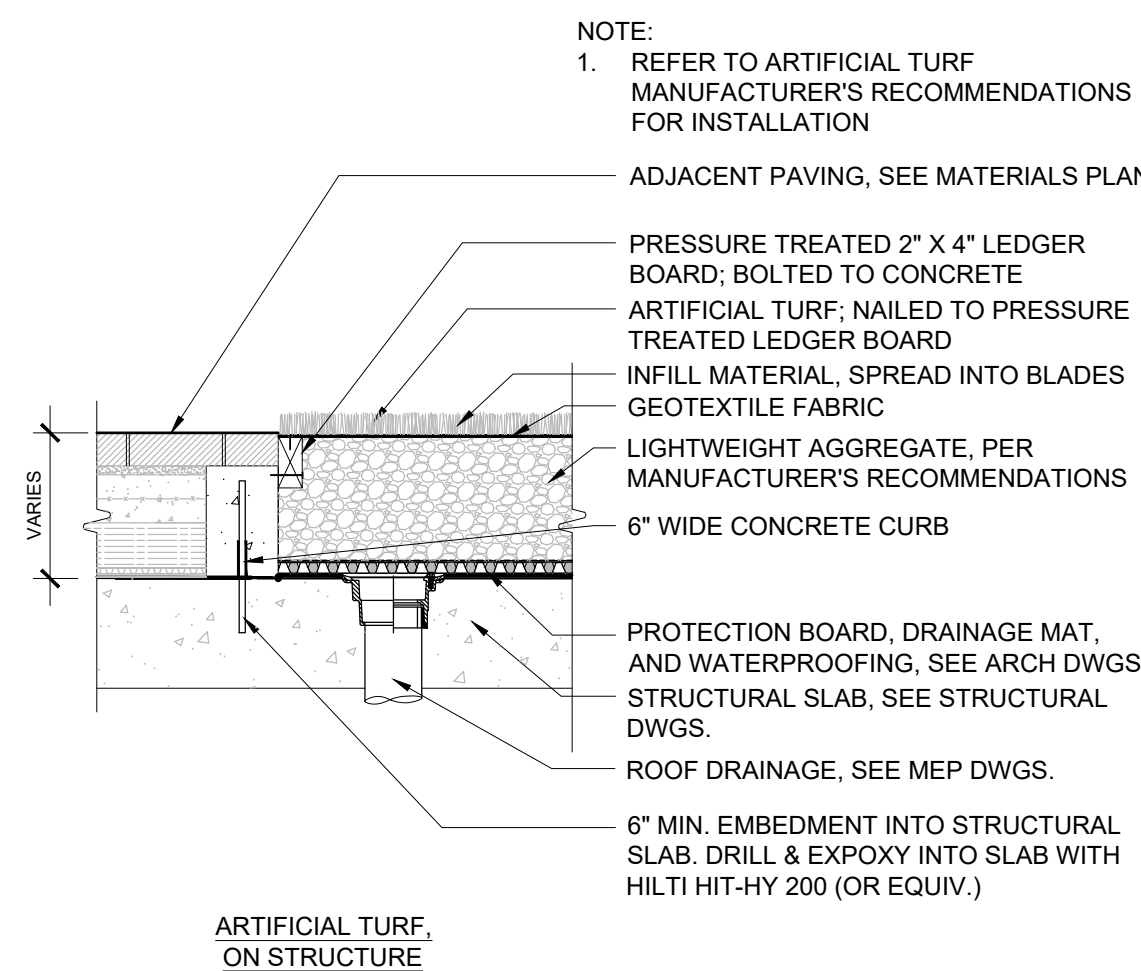
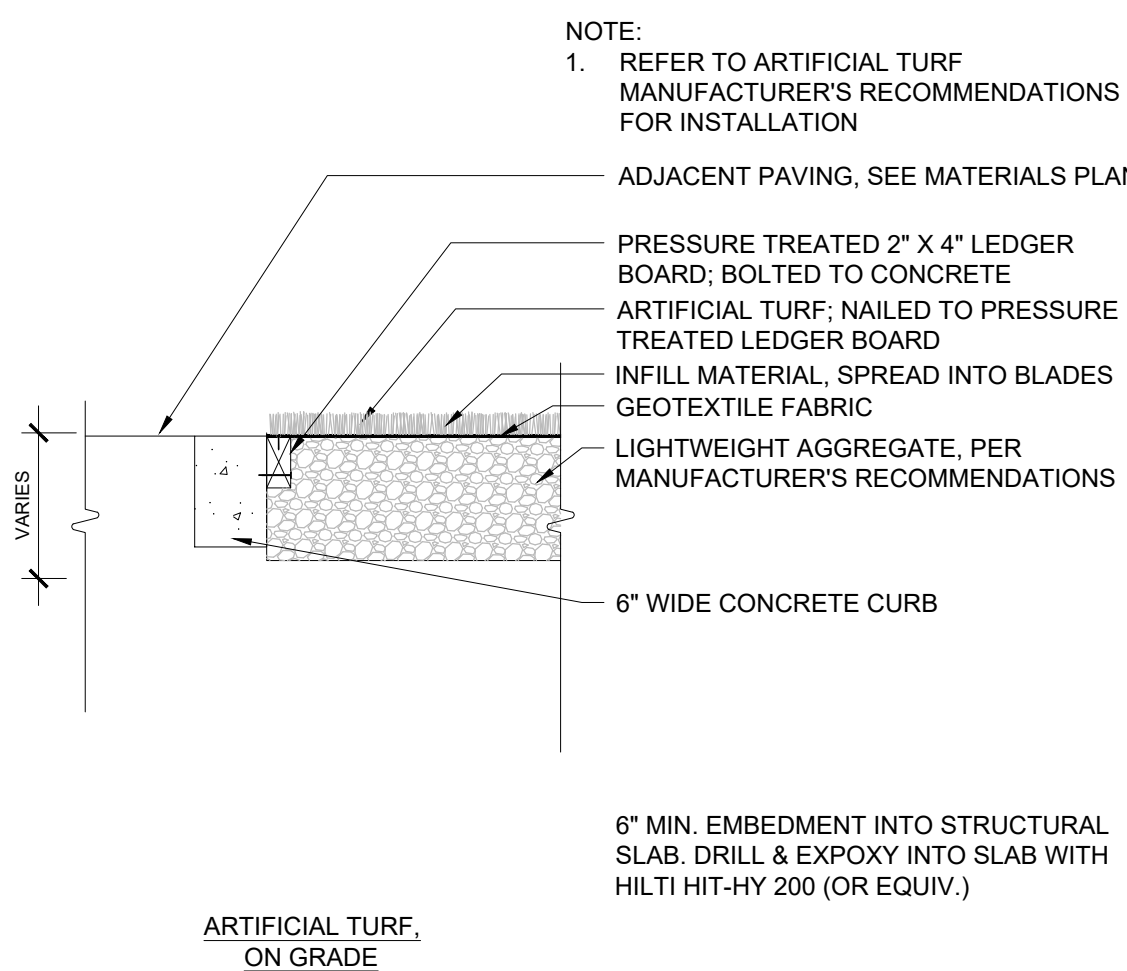
3/4" = 1'-0"

4 WOOD DECK

3/4" = 1'-0"

5 STONE BED

3/4" = 1'-0"



6 ARTIFICIAL TURF

3/4" = 1'-0"

7 DETECTABLE WARNING PAVING

3/4" = 1'-0"

TWINBROOK MULTIFAMILY

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Project Name
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Scale

Drawing
SITE DETAILS



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p. 443.602.9520

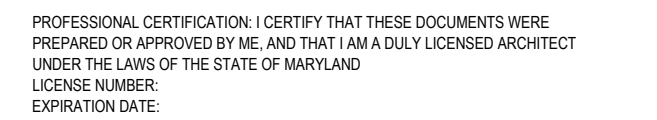
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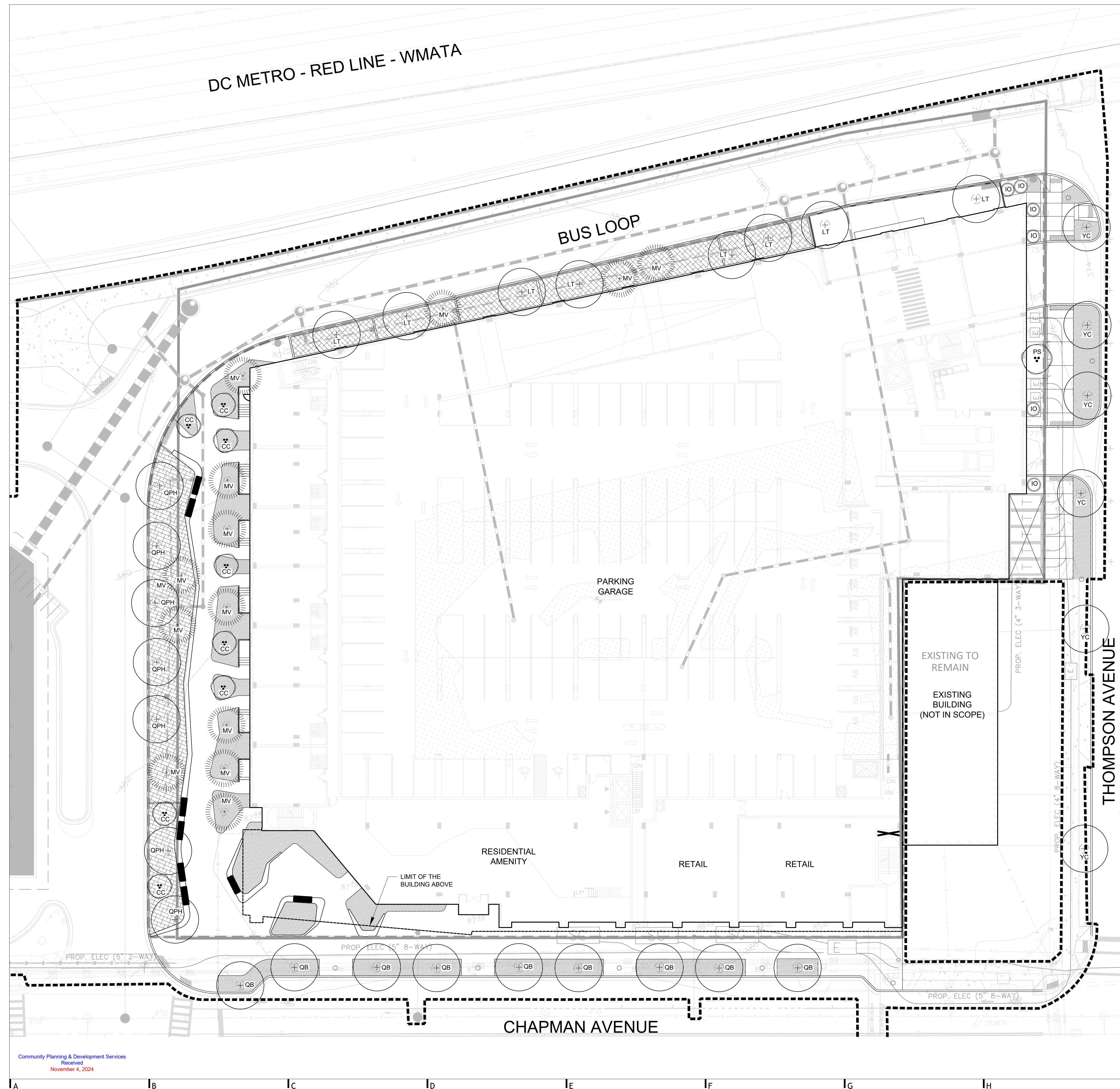
Project Number
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Date _____
10.10.24

Drawing _____

SITE DETAILS

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SITE PLANTING REFERENCE NOTES

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PA Planting Area
 ■ ■ Limit of Work
 ■ || ■ Property Line
 - - - - Overhead Architecture

PLANT LIST

ABBR.	BOTANICAL NAME	COMMON NAME
DECIDUOUS & EVERGREEN TREES		
AR	<i>Acer rubrum</i>	Red Maple
BN	<i>Betula nigra</i> 'Dura-Heat'	Dura-Heat River Birch
CC	<i>Cercis canadensis</i>	Eastern Redbud
IO	<i>Ilex opaca</i>	American Holly
LT	<i>Liriodendron tulipifera</i>	Tulip Poplar
MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia
PS	<i>Prunus serotina</i> 'Kwanzan'	Kwanzan Cherry
PL	<i>Platanus x acerifolia</i>	London Plane Tree
QB	<i>Quercus bicolor</i>	Swamp White Oak
QPH	<i>Quercus phellos</i> 'Hightower'	Hightower Willow Oak
YC	<i>Quercus x yedoensis</i>	Yoshino Cherry

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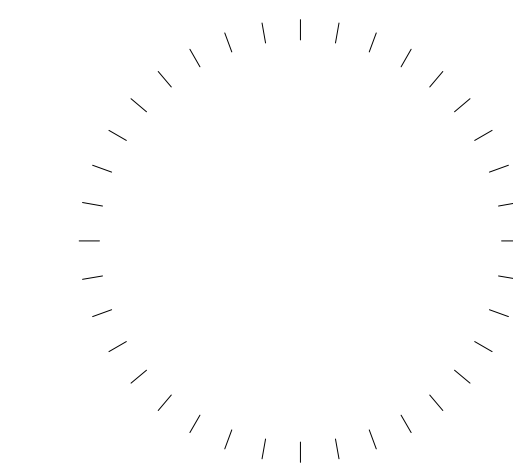
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Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
10.10.24

Scale

Drawing

PLANTING PLAN - GROUND FLOOR

L-301

SITE PLAN SUBMISSION

NOTE:
1. SEE SHEET L-401 FOR PLANTING
SCHEDULE

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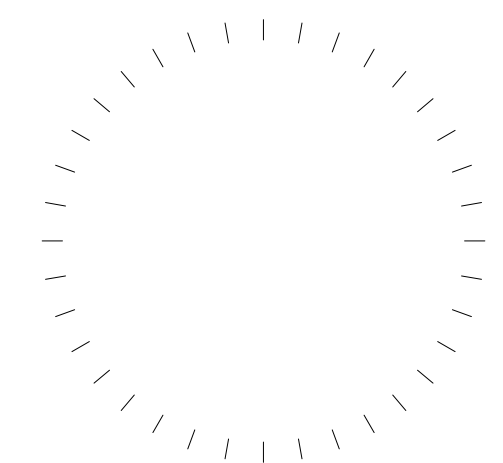
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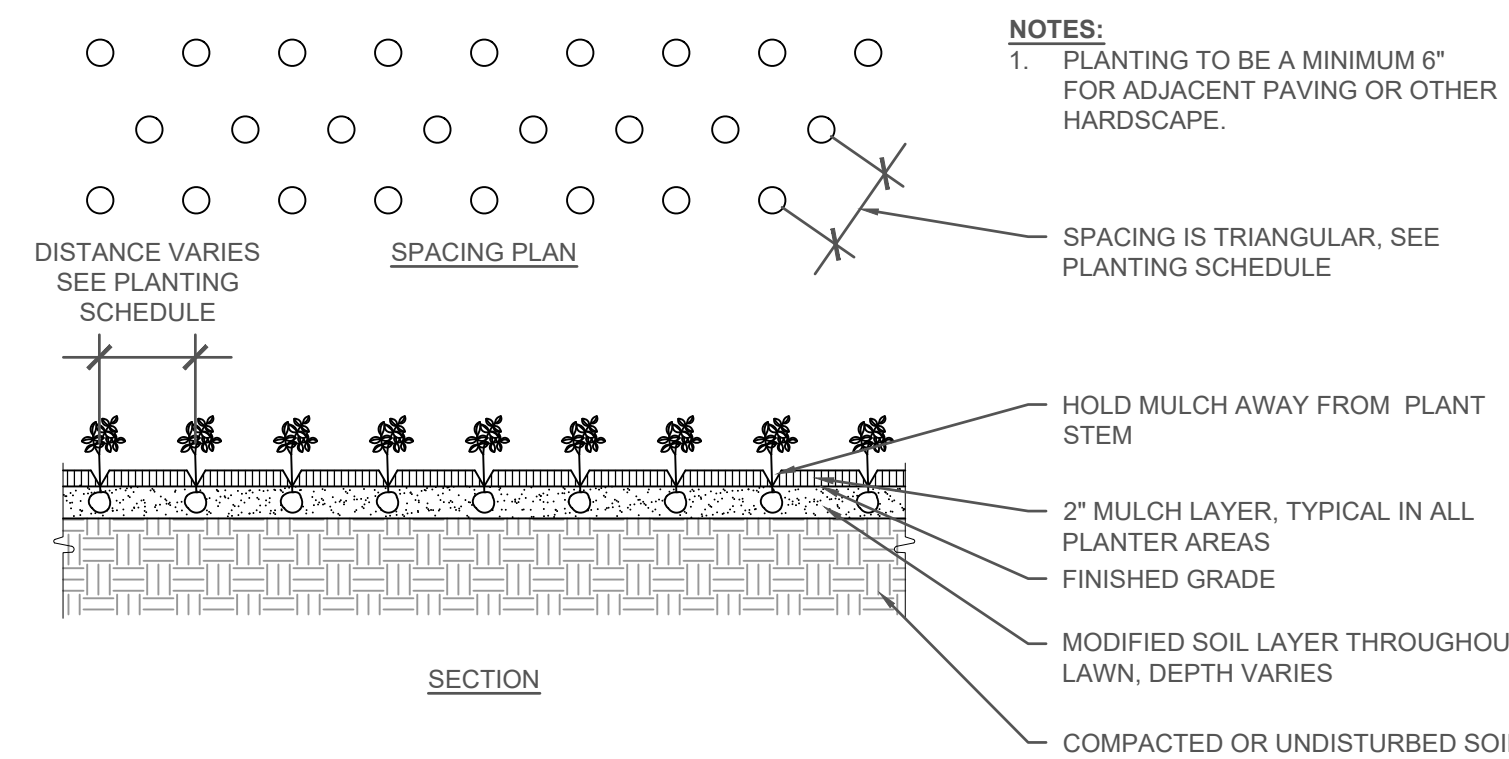
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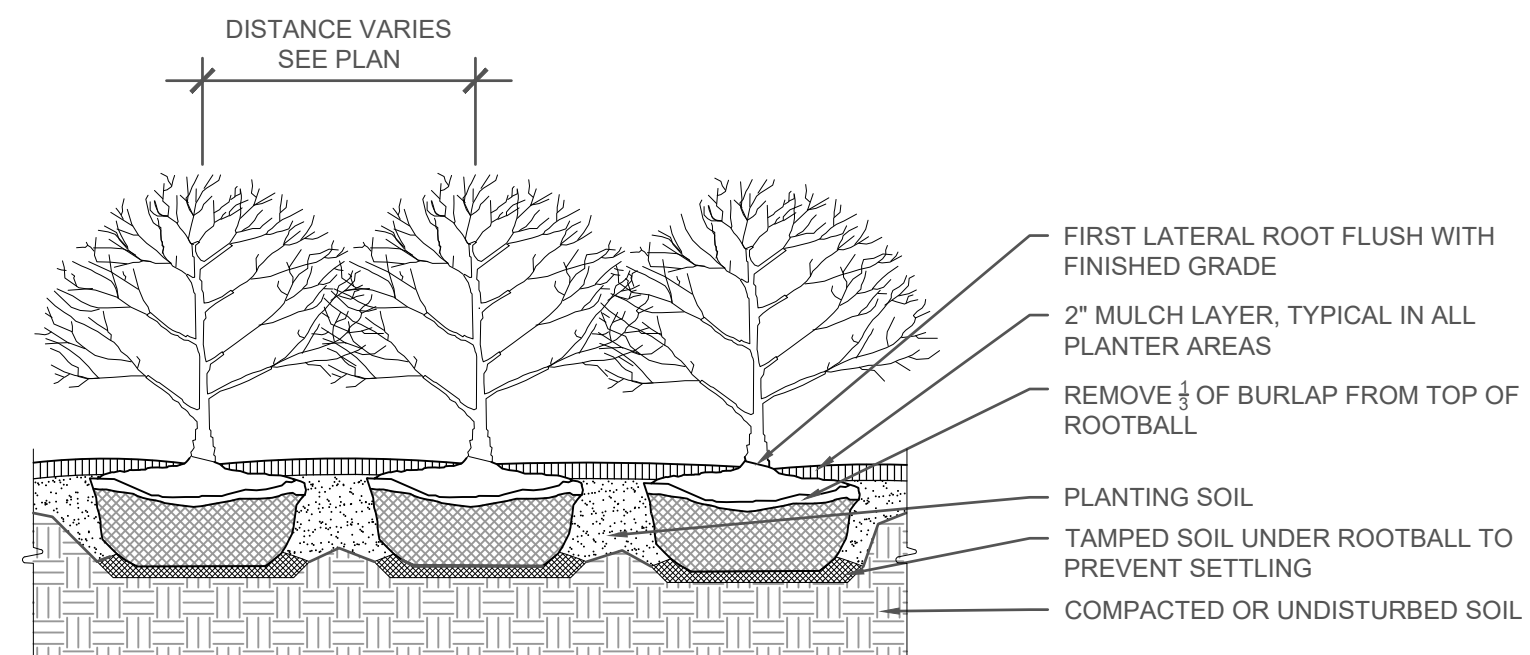
PLANTING PLAN - AMENITY DECK

L-302

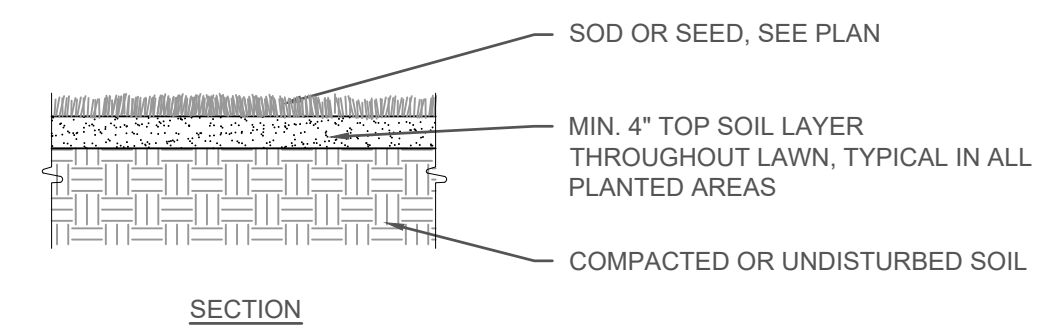
SITE PLAN SUBMISSION



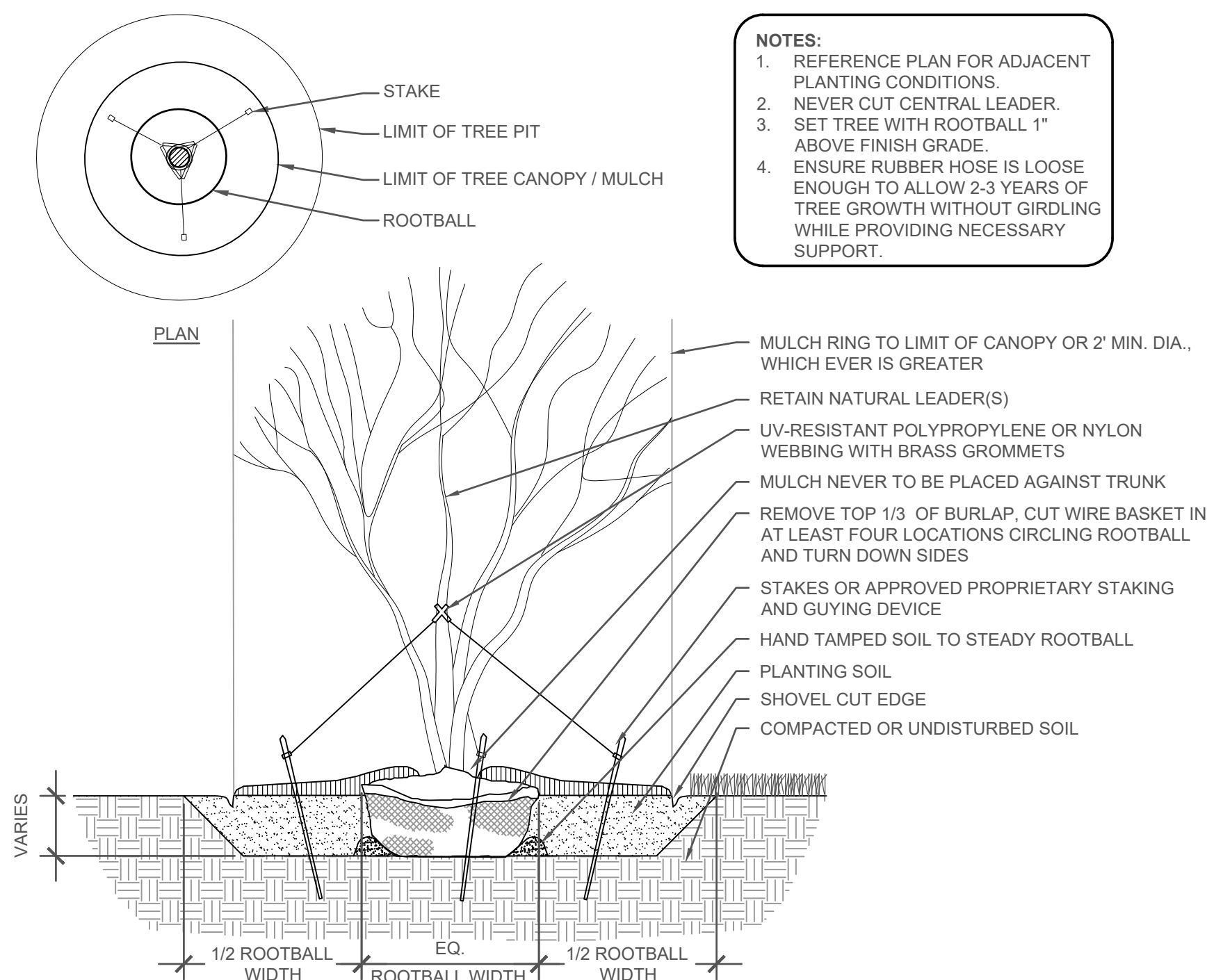
1 GROUND COVER PLANTING



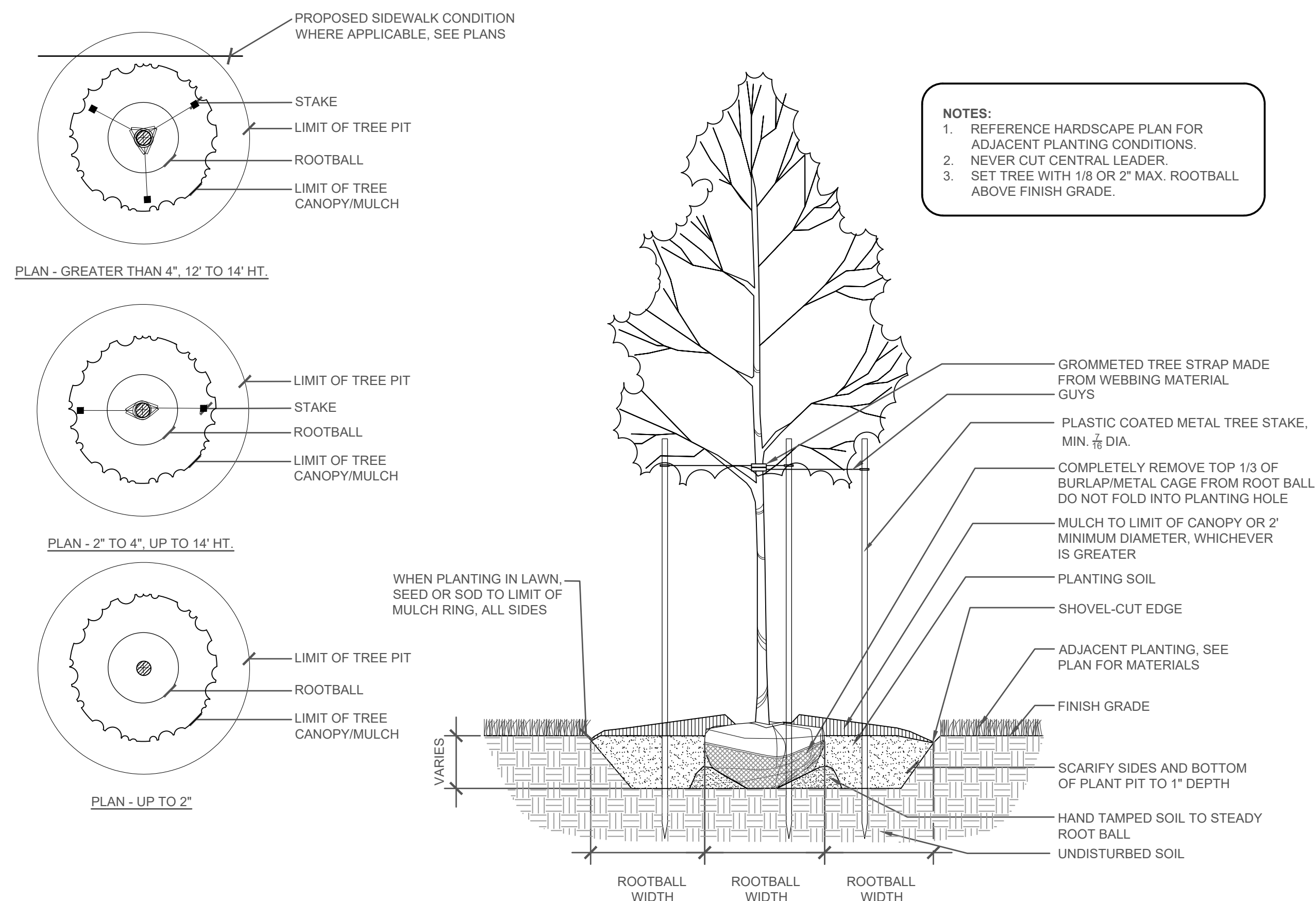
2 SHRUB PLANTING



2 LAWN PLANTING



4 MULTI-STEM TREE PLANTING



5 SHADE TREE PLANTING



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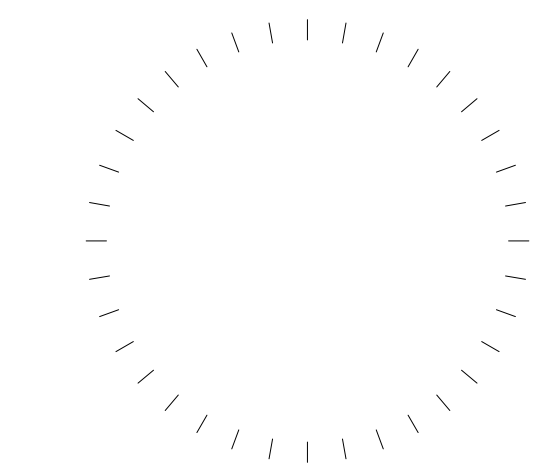
HINES

TWINBROOK MULTIFAMILY

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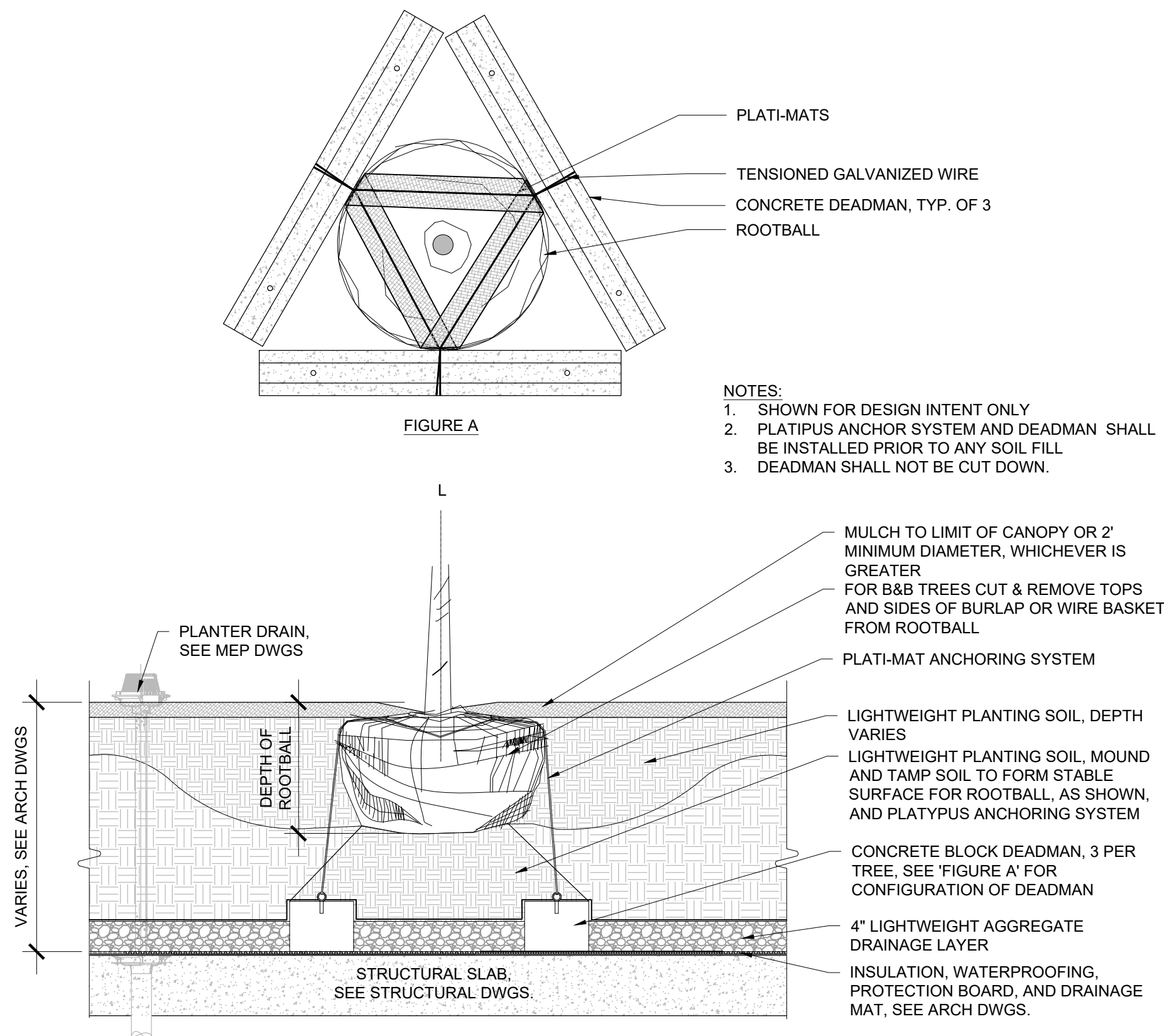
Scale

Drawing

PLANTING DETAILS

L-401

SITE PLAN SUBMISSION



1 TREE PLANTING, ON STRUCTURE

1/2" = 1'-0"

ARCHITECT
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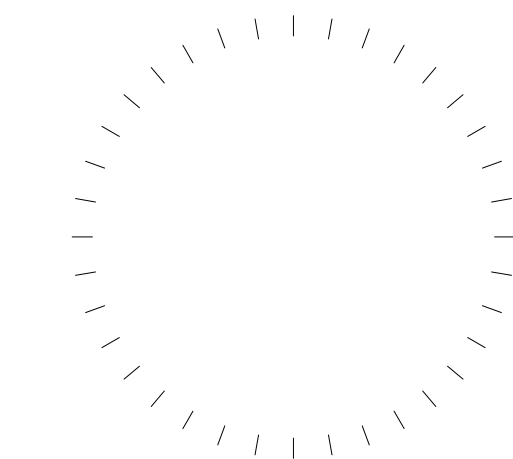
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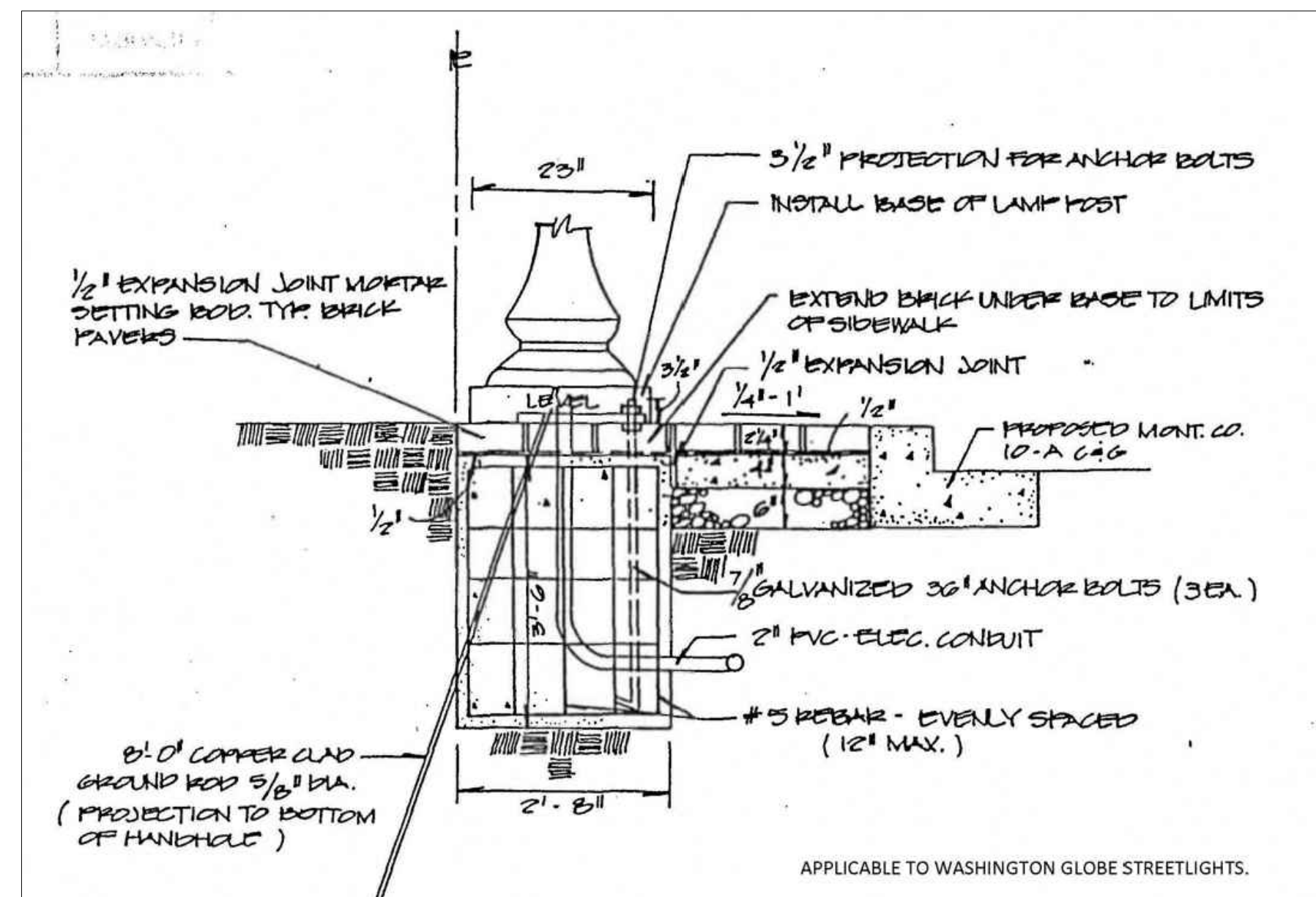
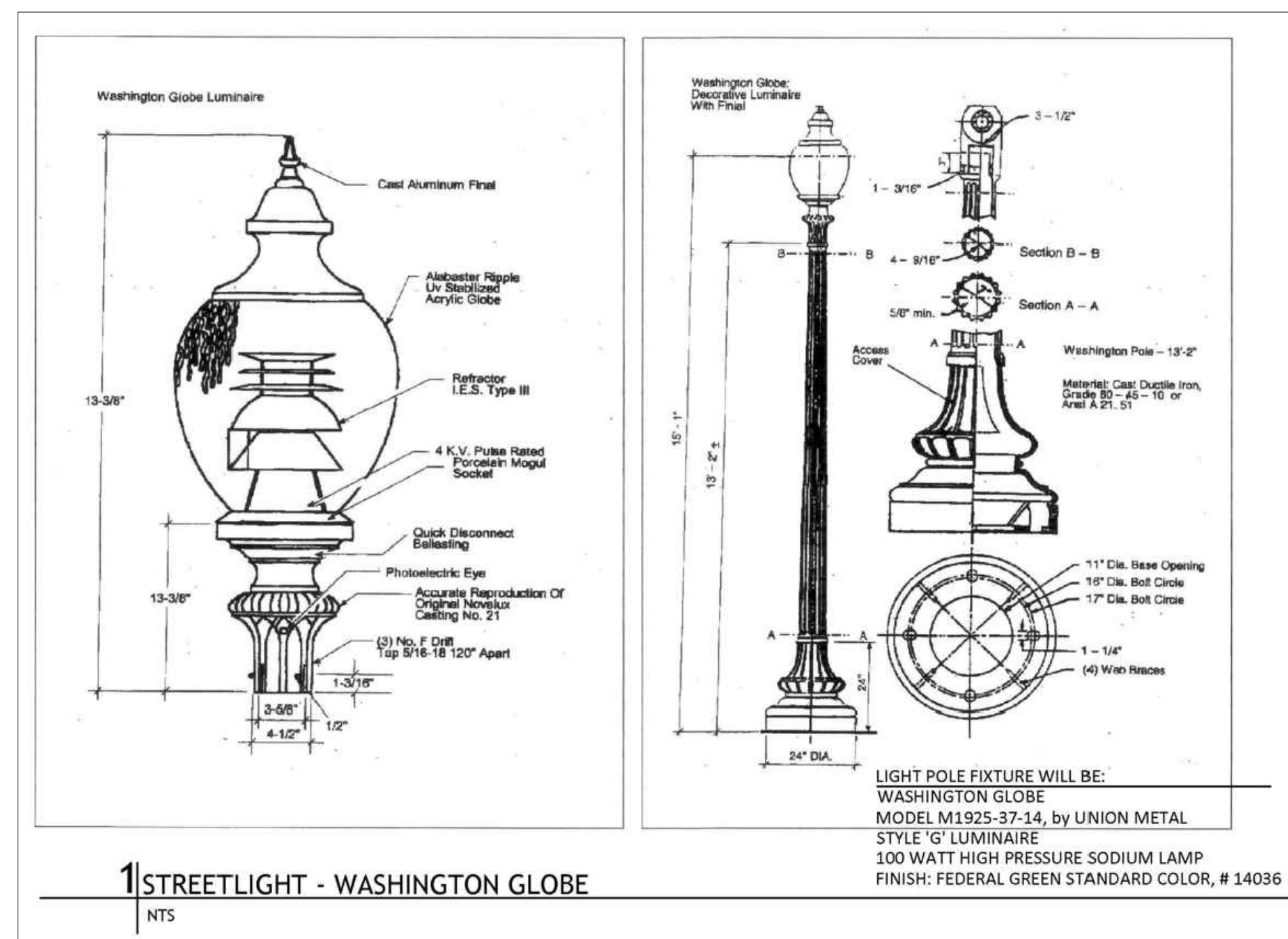
Scale

Drawing
PLANTING DETAILS

L-402

SITE PLAN SUBMISSION





1 STREETLIGHT, TYPICAL



3 BOLLARD LIGHT, TYPICAL



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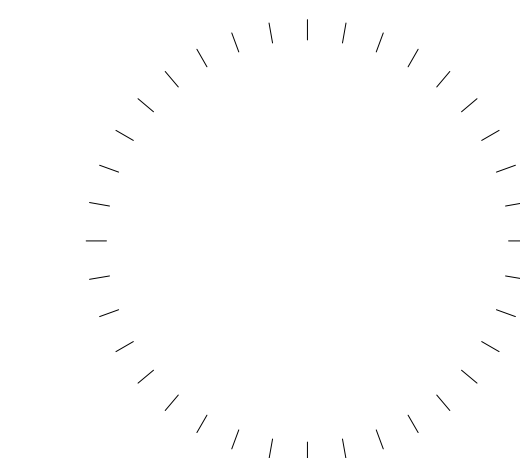
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HINES

**TWINBROOK
MULTIFAMILY**
1800 CHAPMAN AVE, ROCKVILLE
MD 20852

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EXPIRATION DATE:

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Project Name
TWINBROOK MULTIFAMILY
Project Number
220252.00
Date
10.10.24
Scale
Drawing
LIGHTING DETAILS

L-601

SITE PLAN SUBMISSION

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OVERALL SITE PLAN PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY
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DESIGN WORKSHOP
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p. 919.973.6254

INTERIOR DESIGNER
NILES BOLTON ASSOCIATES
 3060 Peachtree Rd NW, Suite 600 Atlanta, GA 30305
 p. 404.365.7600

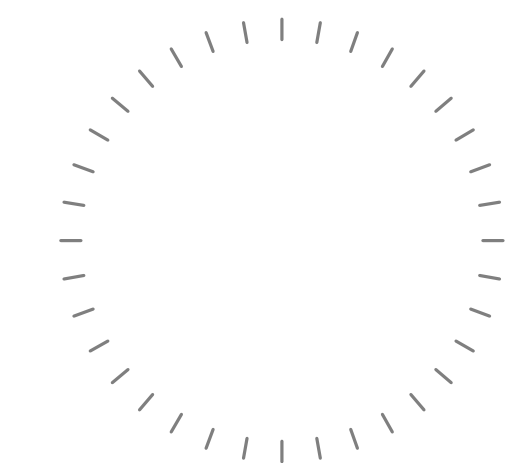
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no.	date	revision
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Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
10.09.2024

Scale
1" = 30'-0"

Drawing
OVERALL SITE PLAN

A.001

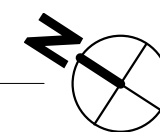
SITE PLAN RESUBMISSION

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Community Planning & Development Services
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November 4, 2024

9E | OVERALL SITE PLAN

A-201	A.001	1" = 30'-0"
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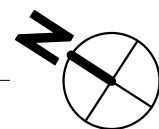
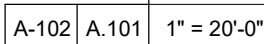
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04/07/2025 - Koori & Associates, Inc.

LEVEL 2	
STANDARD	127
PARALLEL	1
EV READY SPACE	8
EV CHARGING STATION	2
ACCESSIBLE	3
	437

9'-0"

1'-0"

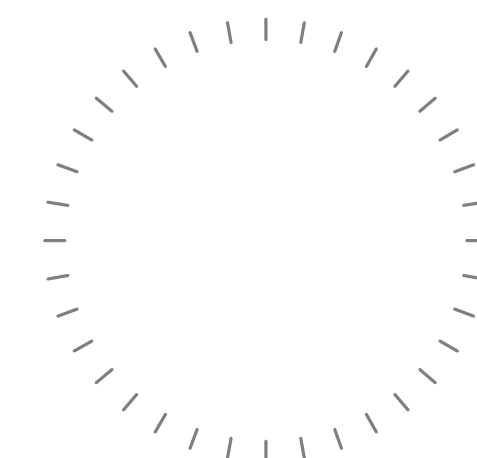
PARALLEL PARKING SPACE



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Drawing

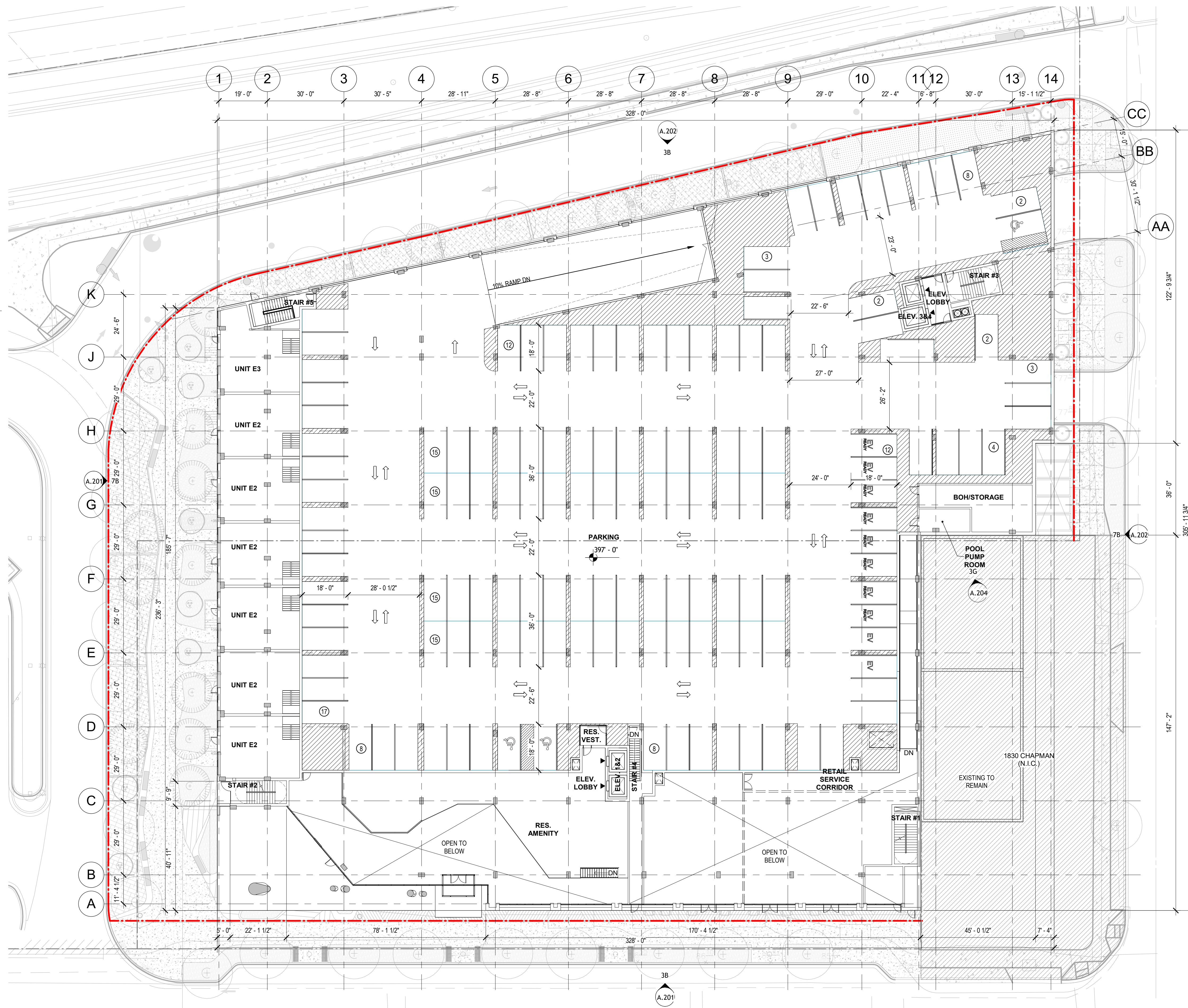
FLOOR PLAN - LEVEL 01

SITE PLAN RESUBMISSION

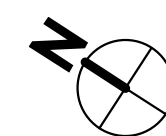
LEVEL 2	
STANDARD	127
PARALLEL	1
EV READY SPACE	8
EV CHARGING STATION	2
ACCESSIBLE	3
	437

The diagram illustrates four types of parking spaces with their dimensions and features:

- STANDARD PARKING SPACE:** A rectangular space with a width of 9'-0" and a length of 18'-0".
- ACCESSIBLE SPACE:** A rectangular space with a width of 9'-0" and a length of 18'-0". It includes a blue wheelchair icon on the left side and a hatched area on the right side.
- ELECTRIC VEHICLE CHARGING STATION:** A rectangular space with a width of 9'-0" and a length of 18'-0". It includes a blue "EV" icon on the left side.
- EV READY SPACE:** A rectangular space with a width of 9'-0" and a length of 18'-0". It includes a blue "EV READY" icon on the left side.
- PARALLEL PARKING SPACE:** A rectangular space with a width of 9'-0" and a length of 21'-0".



7B FLOOR PLAN - LEVEL 02



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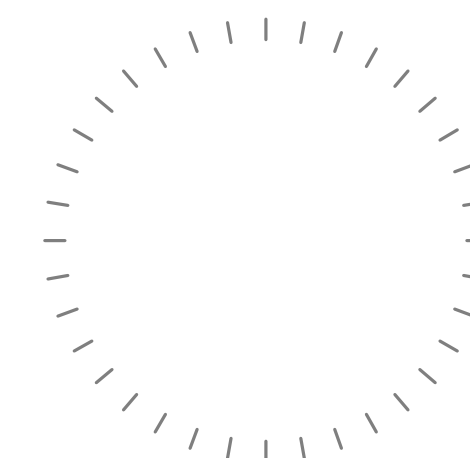
INTERIOR DESIGNER
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no.	date	revision
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Project Name
TWINBROOK MULTIFAMILY

Project Number
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Date
10.09.2024

Scale
As indicated

Drawing _____
FLOOR PLAN - LEVEL 02

A.102

SITE PLAN RESUBMISSION

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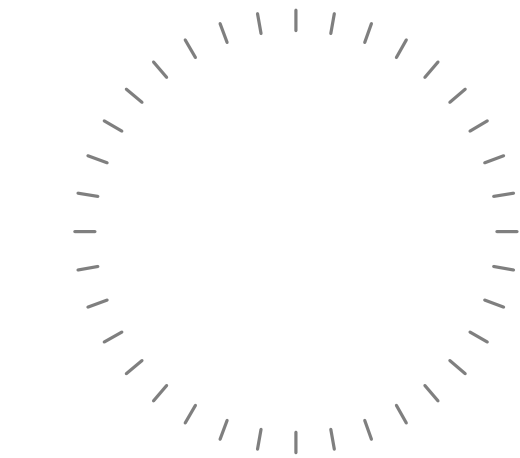
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no.	date	revision
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Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
10.09.2024

Scale
1" = 20'-0"

Drawing

FLOOR PLAN - LEVEL 03

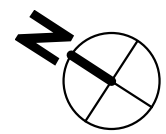
SITE PLAN RESUBMISSION

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7B | FLOOR PLAN - LEVEL 03

A-102	A.103	1" = 20'-0"
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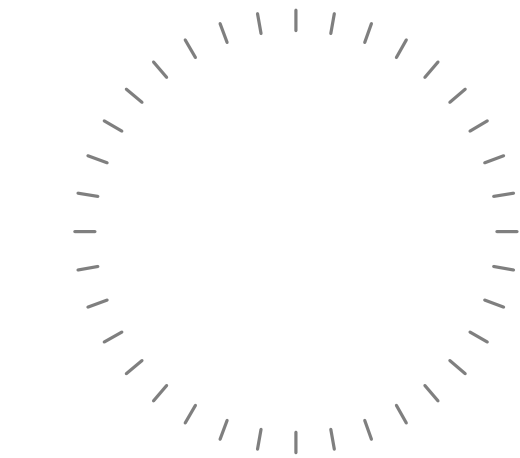
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Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
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Scale
1" = 20'-0"

Drawing

FLOOR PLAN - LEVEL 04

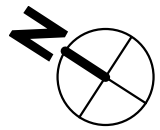
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7B | FLOOR PLAN - LEVEL 04

A-201	A.104	1" = 20'-0"
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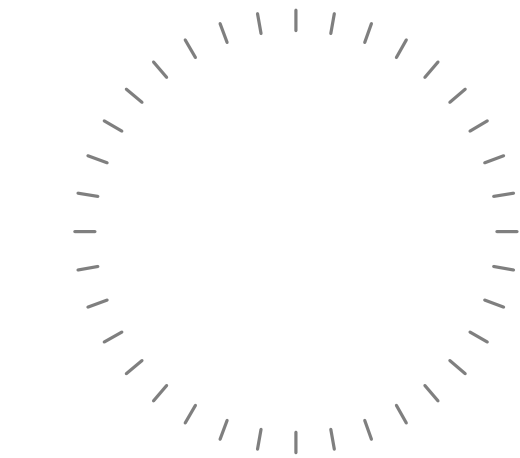
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Scale
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Drawing

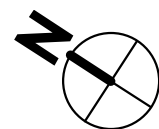
FLOOR PLAN - TYPICAL (LEVELS 5 - 8)

SITE PLAN RESUBMISSION

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7B FLOOR PLAN - TYPICAL (LEVELS 5 - 8)

$$1^{\circ} = 20' - 0''$$


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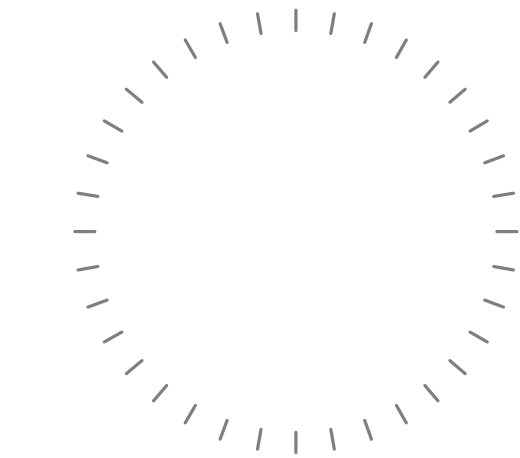
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Project Name
TWINBROOK MULTIFAMILY

Project Number
220252.00

Date
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Scale
1" = 20'-0"

Drawing

FLOOR PLAN - LEVEL 09

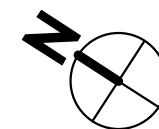
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7B FLOOR PLAN - LEVEL 09





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Drawing
FLOOR PLAN - LEVEL 10

A.110

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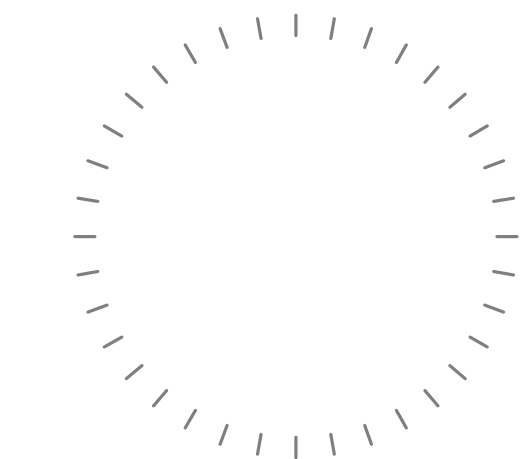
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Project Name
TWINBROOK MULTIFAMILY

Project Number
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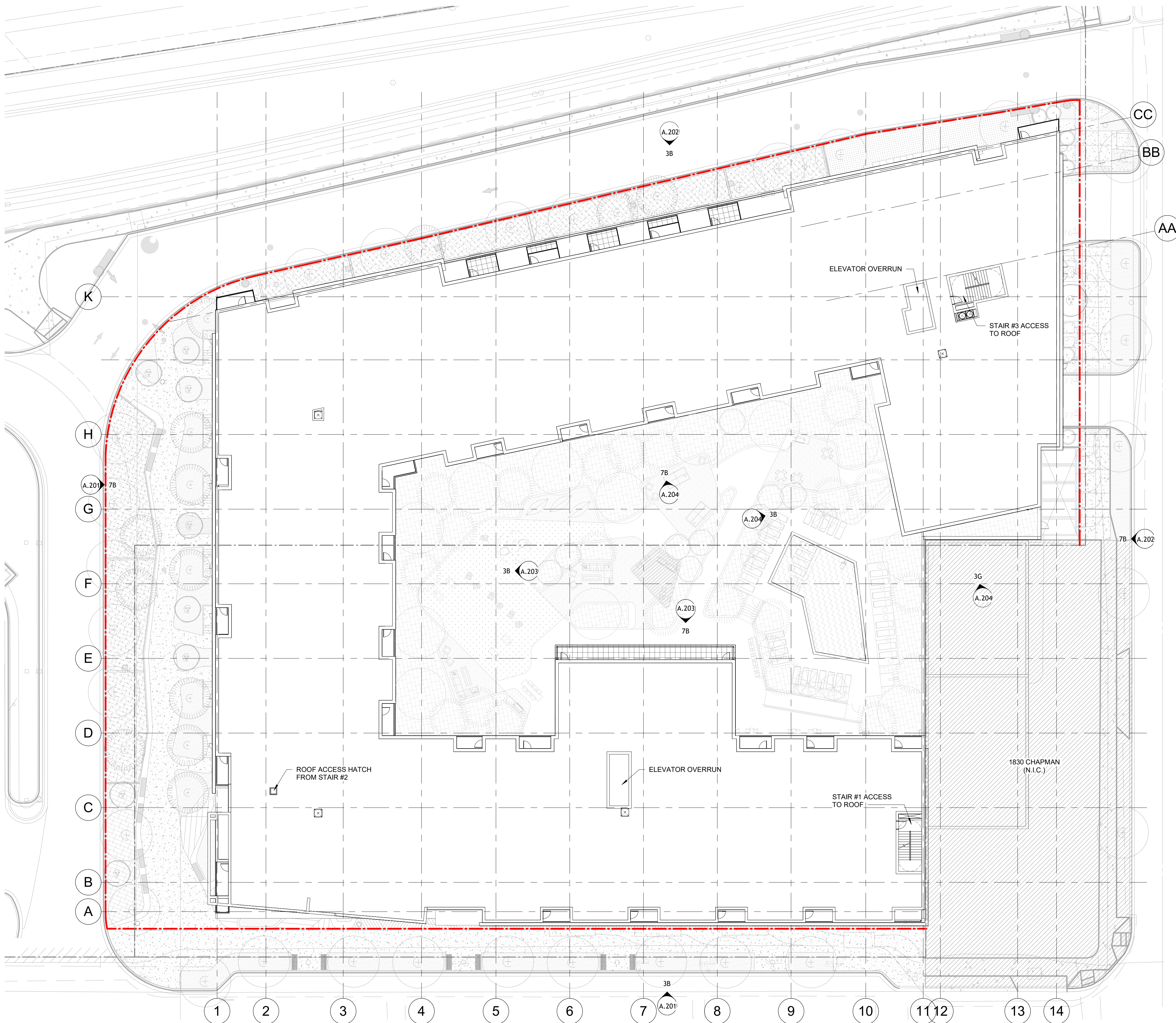
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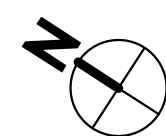
Drawing _____
ROOF PLAN

SITE PLAN RESUBMISSION

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7B		ROOF PLAN
A-201	A.111	1" = 20'-0"



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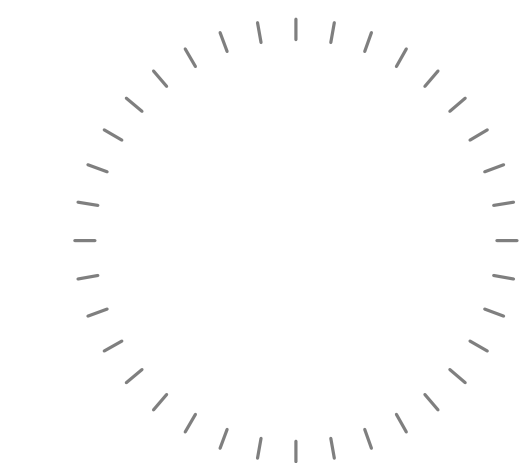
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no.	date	revision
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Project Name
TWINBROOK MULTIFAMILY

Project Number	
220252.00	

Date
10.09.2024

Scale
1/4" = 1'-0"

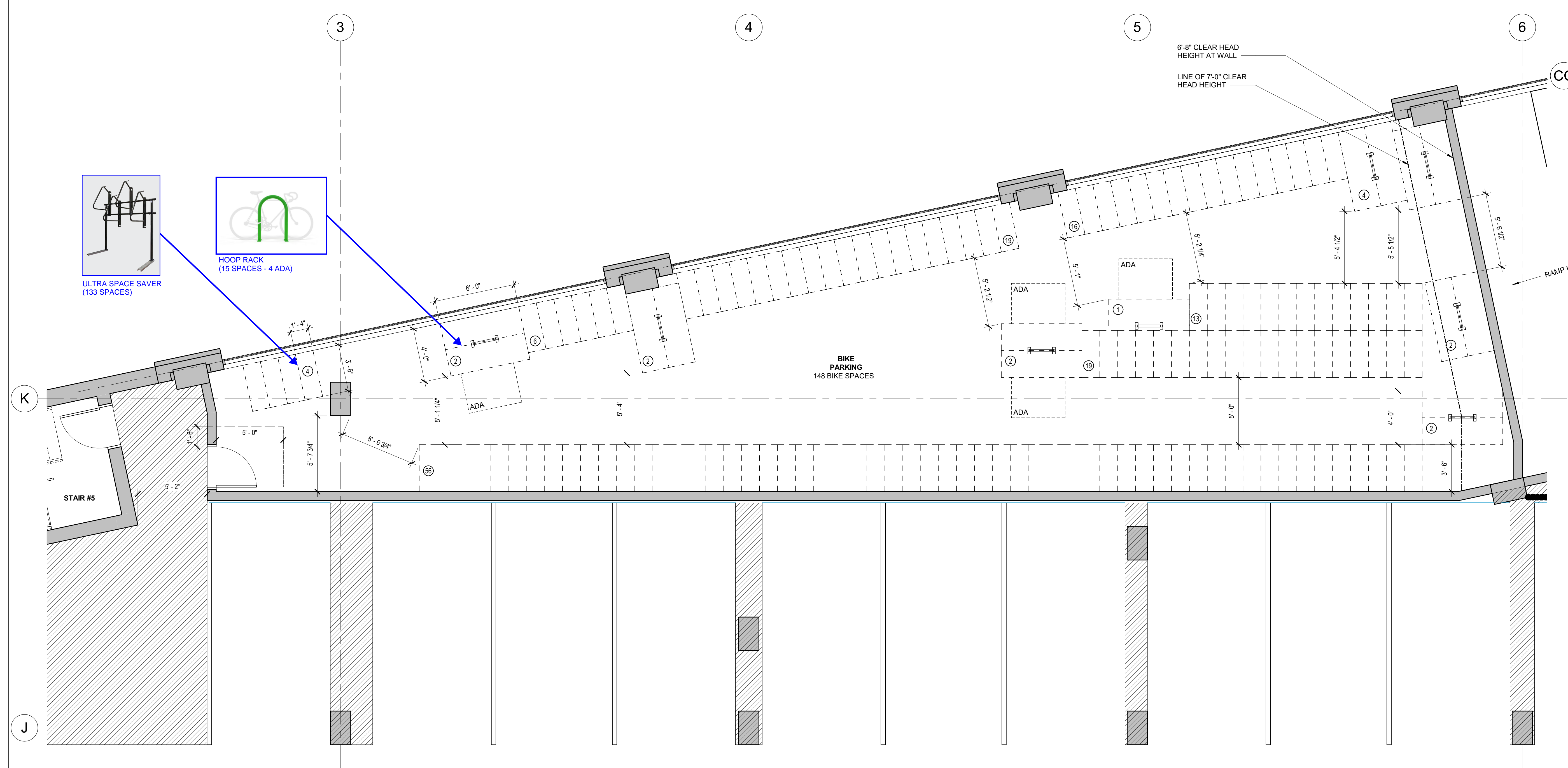
Drawing

BIKE ROOM FLOOR PLAN

A.113

SITE PLAN RESUBMISSION

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7A ENLARGED BIKE PARKING ROOM PLAN - LEVEL P1

A-201	A.113	1/4" = 1'-0"
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