



PLANNING COMMISSION

Meeting No. 06-26
Wednesday, April 8, 2026 - 7:00 PM

AGENDA

Meng Sun, Chair

Jaime Espinosa Shayan Salahuddin
Eric Fulton Jeff Zyontz
Susan Pitman

Jim Wasilak, Staff Liaison
Nicholas Dumais, Senior Assistant City Attorney

Rockville City Hall 111 Maryland Ave and
Virtually via WebEx
Watch LIVE on Comcast Cable Rockville Channel 11 and online at
<https://www.rockvillemd.gov/services/rockville-11/>

See page 2 for more information

1. Convene

2. Review and Action

A Compatibility Finding for Residential Use in the MXE Zone for Level 1 Site Plan Application 2026-225-STP, a Proposal to Construct 68 Two-Over-Two Condominium Units at 2 Research Place; James Soltesz, Soltesz Inc., Applicant

3. Commission Items

- A. Staff Liaison Report
- B. Old Business
- C. New Business
- D. Minutes Approval
 - September 10, 2025
 - September 24, 2025

- October 8, 2025
 - January 14, 2026
- E. FYI/Correspondence

4. Adjourn

PLANNING COMMISSION

HYBRID MEETING AND PUBLIC HEARING PROCEDURE

The Planning Commission meets in person in the Mayor and Council Chambers at Rockville City Hall, 111 Maryland Avenue. The public is invited to participate in person or virtually via Webex. Anyone wishing to participate virtually may do so per the instructions below.

HYBRID MEETING AND PUBLIC HEARING PROCEDURE

1. Pre-meeting Platform: Webex

- A. Applicant Access: Provided by Community Planning and Development Services/IT
- B. Access for Oral Testimony and Comment: Provided by CPDS/IT (see below)

2. Pre-Meeting Preparations/Requirements:

A. Written Testimony and Exhibits

Written testimony and exhibits may be submitted by email to Jim Wasilak, Staff Liaison to the Planning Commission, at jwasilak@rockvillemd.gov or by regular mail to:

Meng Sun, Chair
 Rockville Planning Commission
 111 Maryland Avenue
 Rockville, MD 20850

Written testimony must be received no later than nine (9) days in advance of the hearing in order to be distributed with the Planning Commission briefing materials. Written testimony and exhibits received after this date, until 4:00 pm on the day before the hearing, will be provided to the Planning Commission by email.

B. Webex Orientation for Applicants

- i. Applicants must contact the planning case manager assigned to the Application no later than five(5) days in advance of the hearing in order to schedule Webex orientation, which must be completed prior to the hearing.

C. Oral Testimony by Applicants and the Public

- i. Applicants – Applicants must provide to the planning case manager a list of presenters and witnesses who will testify on behalf of the Application to the planning case manager no later than five (5) days prior to the date of the hearing.
- ii. Public Testimony/Comment on an Application – Any member of the public who wishes to comment on an application must submit their name and email address to the Staff Liaison Jim Wasilak (jwasilak@rockvillemd.gov) no later than 9:00 am on the day of the hearing to be placed on the testimony list.

Members of the public who seek technical assistance from City staff must submit their name and email address to Jim Wasilak no later than two (2) days in advance of the hearing so that an orientation session may be scheduled.

If a member of the public is unable to meet the deadline to be placed on the testimony list, they can submit written testimony to the Staff Liaison to the Planning Commission by email to jwasilak@rockvillemd.gov.

3. Conduct of Online Meeting and Public Hearing

A. Rules of Procedure

The Meeting and Public Hearing will be held in accordance with the Planning Commission Rules of Procedure, including the order of testimony and applicable time limits on testimony. The Rules may be viewed here: <https://www.rockvillemd.gov/DocumentCenter/View/2023/Planning-Commission---Rules-of-Procedure>

B. Oral Testimony

During the hearing, the Chair will sequentially recognize each person on the testimony list and ask the host to allow the speaker to speak. Each speaker must wait to be specifically recognized by the Chair before speaking.

If during the hearing a party wishes to speak, or a speaker wishes to request the opportunity to engage in cross-examination following specific testimony, the party must contact the Staff Liaison/Host by email at jwasilak@rockvillemd.gov with the specific request. The Host/Staff Liaison will inform the Commission. The Chair will determine if the party may be heard.

C. Continuance of Hearing

The Planning Commission, at its discretion, reserves the right to continue the hearing until another date.

HELPFUL INFORMATION FOR STAKEHOLDERS AND APPLICANTS

A. GENERAL ORDER OF SESSION FOR DEVELOPMENT APPLICATIONS

1. Staff presentation

2. City Board or Commission comment
3. Applicant presentation (10 min.)
4. Public comment (3 min, or 5 min for the representative of an association)
5. Planning Commission Discussion and Deliberation
6. Decision or recommendation by vote

The Commission may ask questions of any party at any time during the proceedings.

B. PLANNING COMMISSION BROADCAST

- Watch LIVE on Comcast Cable Rockville Channel 11 and online at: www.rockvillemd.gov
- Replay on Comcast Cable Channel 11:
 - o Wednesdays at 7:00 pm (if no live meeting)
 - o Sundays at 7:00 pm
 - o Mondays, Thursdays and Saturdays at 1:00 pm
 - o Saturdays and Sundays at 12:00 am (midnight)
- Video on Demand (within 48 hours of meeting) at: www.rockvillemd.gov/VideoOnDemand.

C. NEW DEVELOPMENT APPLICATIONS

- For a complete list of all applications on file, visit: www.rockvillemd.gov/DevelopmentWatch.

D. ADDITIONAL INFORMATION RESOURCES

- Additional resources are available to anyone who would like more information about the planning and development review process on the City's web site at:
www.rockvillemd.gov/cpds

Maryland law and the Planning Commission's Rules of Procedure regarding ex parte (extra-record) communications require all discussion, review, and consideration of the Commission's business take place only during the Commission's consideration of the item at a scheduled meeting. Telephone calls and meetings with Commission members in advance of the meeting are not permitted. Written communications will be directed to appropriate staff members for response and included in briefing materials for all members of the Commission. Wednesdays at 7:00 pm (if no live meeting)



PLANNING COMMISSION Meeting Date: April 8, 2026
Agenda Item Type: REVIEW AND ACTION
Department: CPDS - DEVELOPMENT REVIEW
Responsible Staff: CHRISTOPHER DAVIS

Subject

A Compatibility Finding for Residential Uses in the MXE Zone concerning Level 1 Site Plan Application 2026-225-STP Proposing 68 Two-Over-Two Residential Condominium Units at 2 Research Place.

Department

CPDS - Development Review

Recommendation

Staff recommends that the Planning Commission find that the proposed residential use of 68 two-over-two condominium units at 2 Research Place is compatible with the adjoining and confronting uses by means of landscaping and screening, in accordance with Section 25.13.07.c.6.(a) of the Zoning Ordinance.

Discussion



Case: Level 1 Site Plan 2026-225-STP (Compatibility Finding)

Location: 2 Research Place

Staff: Chris Davis, Principal Planner
Community Planning and Development Services
240.314.8201
cdavis@rockvillemd.gov

Applicant: James Soltesz, Soltesz, Inc.

Filing Date: December 17, 2025

**Meeting
Date:** April 8, 2026

Executive Summary

James Soltesz (the “Applicant”) and representative for property owner 2 Research Place LLC, has filed Level 1 Site Plan application 2026-225-STP to demolish the existing office building in order to redevelop the site at 2 Research Place (the “Property”) with 68 two-over-two residential condominium units. The Planning Commission’s role in the subject application is to review the Applicant’s proposal and make a finding on whether the proposed residential use in the Mixed-Use Employment (MXE) Zone is compatible with the adjoining and confronting uses, as outlined in Section 25.13.07.c.6.(a) of the Zoning Ordinance (the “Ordinance”). The final decision on this Level 1 Site Plan application will be provided administratively by the Chief of Zoning, pursuant to Section 25.07.04 of the Ordinance.

In reviewing the proposal, staff has found that the proposed residential use will comply the aforementioned finding with conditions as outlined later in this report. Accordingly, staff recommends that the Planning Commission find that the proposal is compatible with the adjoining and confronting uses in the MXE Zone, as required by the Ordinance.

Site Description

Location: 2 Research Place

Planning Area: Planning Area 15 – Fallsgrove & Research Boulevard

Land Use

Designation: O - Office

Zoning District: MXE (Mixed-Use Employment) Zone

Existing Use: Approximately 45,400 square foot office building and surface parking lot units)

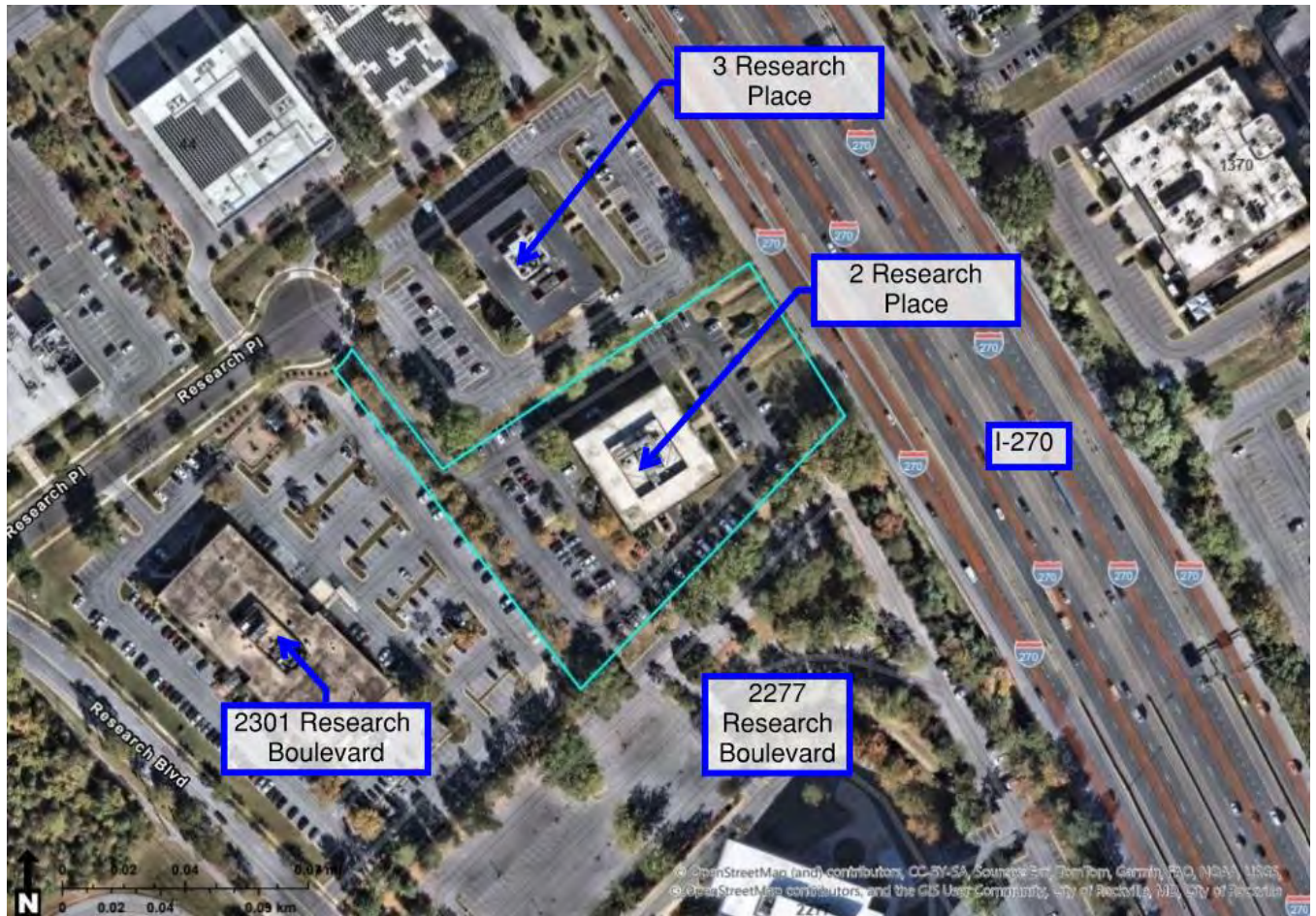
Proposed Use: 68 two-over-two condominium units

Site Area: 122,804 square feet (2.82 acres)

Proposed Building Height: 60 feet

Surrounding Land Use and Zoning

	Zoning	Planned Land Use	Existing Use
North	MXE	O - Office	Office
East	N/A	N/A (I-270 abutting Right-of-Way)	Abutting I-270 Right-of-Way
South	MXE	OCRM - Office Commercial Residential Mix	Office
West	MXE	O – Office	Office

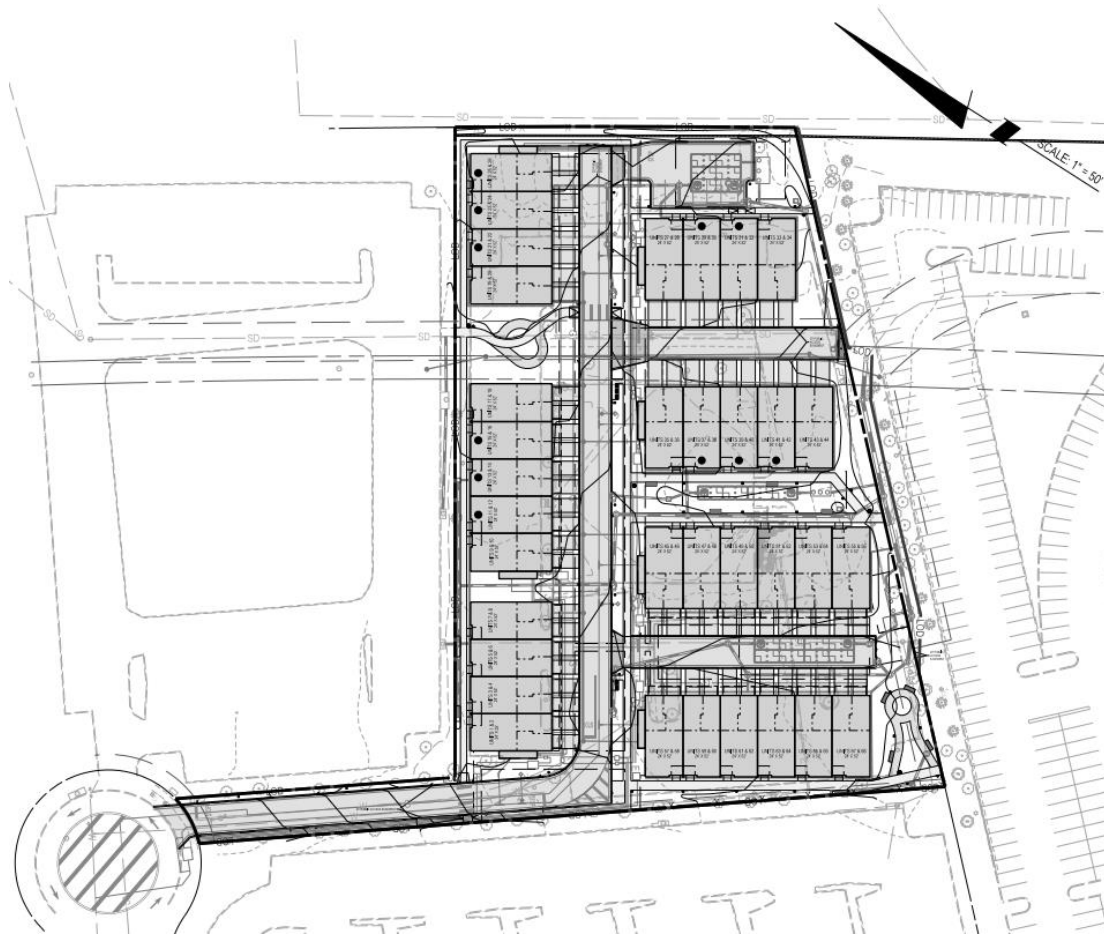


Aerial image of the subject property and abutting properties highlighted. Source: City of Rockville

The Property is a 2.82-acre site which is configured in a trapezoidal wedge shape with a narrow pipestem driveway that connects to a cul-de-sac at the terminus of Research Place. The majority of the Property narrows towards its eastern frontage, which immediately abuts Interstate 270. The Property is currently improved with a centrally located three (3)-story office building that dates back to 1974 according to SDAT.

Remaining space on the site is devoted to an asphalt surface parking lot and drive aisles for circulation throughout the site. The perimeter of the site is accompanied by landscaping and tree plantings which help to define and buffer the site from the immediately adjacent properties. The Property is also known as Lot 5 of Block A of the Washington National Pike Industrial Park subdivision, recorded in the Land Records of Montgomery County on August 30, 1968.

Project Description



Proposed site plan. Source: Provided by Applicant.

The Applicant proposes to demolish the existing 45,400 square foot office building and construct 68 two-over-two residential condominium units arranged into seven (7) buildings across the site with a maximum proposed height of 60 feet. The “two-over-two” dwelling type refers to two (2), two (2)-story townhouse-type units which are stacked one on top of the other to create a four (4)-story structure and is further attached to others to form a building group or “stick” of units. Four (4) sticks will be oriented with their fronts facing either east or west along the Property’s southern border while three (3) sticks will be oriented north-to-south along the Property’s northern border. A central private drive aisle and a series of adjacent alleyways will provide vehicular access to each unit’s driveway and rear-loaded garage from the Research Place cul-de-sac and the site’s existing pipestem driveway. The required vehicle parking spaces will be provided with each unit. An additional six (6) parking spaces are proposed along the site’s eastern

boundary which will be available for visitor parking. 11 of the 68 residential units will be Moderately Priced Dwelling Units (MPDUs), in compliance with city requirements.

Approximately 33% (40,407 square feet) of the site will remain as open space, exceeding the required 20%. The project also proposes 7.69% (9,447 square feet) of public use space, also exceeding the 5% requirement. As part of the amenities provided for the community, the Applicant proposes public use space in a linear central open space between two sticks of units and along the southern boundary in the southwest corner of the site. The public use spaces will be improved with pedestrian-friendly features including a 6-foot-wide sidewalk or natural trail, a variety of landscaping and outdoor furniture such as benches, dog-waste stations and trash receptacles. A third open area is planned near the northern boundary with similar features. The open spaces will be complemented by additional sidewalks that will provide pedestrian access to each unit and facilitate movement across the site and to abutting properties. The Applicant has coordinated the proposed site layout with the owners of the adjacent property at 2277 Research Place, who are also planning to redevelop a portion of the abutting property into a similar development of attached residential units. As indicated by the Applicant, the proposed layout, open space and associated landscaping have been designed to complement this anticipated redevelopment on the abutting property.

In accordance with Section 25.07.04 of the Ordinance, the Chief of Zoning is the Approval Authority for a Level 1 Site Plan application and is charged with reviewing the application and making certain findings such as ensuring that the proposal will not adversely impact health or safety, overburden public facilities, be incompatible with surrounding uses or be in conflict with the Comprehensive Plan. The Planning Commission's role in the subject application is limited to a compatibility finding for the proposed residential use in the MXE Zone as further detailed in the "Findings" section of this report. Following the Planning Commission's decision on the Compatibility Finding, the Chief of Zoning will incorporate the Commission's decision into a final decision on the site plan application at a future date.

Previous Related Actions

On June 28, 2023, the Planning Commission approved Level 2 Site Plan STP2023-00454 to permit construction of a seven (7)-story life science building and six (6)-story parking garage along with waivers for building height and sidewalk width. Since the project did not commence with construction within the subsequent two (2) years as required, the approval for the life science use formally expired on July 27, 2025. The Applicant has indicated that market conditions have changed since the prior approval and no longer support implementation of the life science use.

Community Outreach

Notifications for this proposal have been made consistent with City Code requirements. The Applicant held a required pre-application area meeting on September 4, 2025. As of the date of this report, staff has not received any comments from members of the public on this proposal.

Findings

Section 25.13.07.c of the Ordinance outlines special design regulations for the city's MXE zone. Among these requirements, the Ordinance states the following:

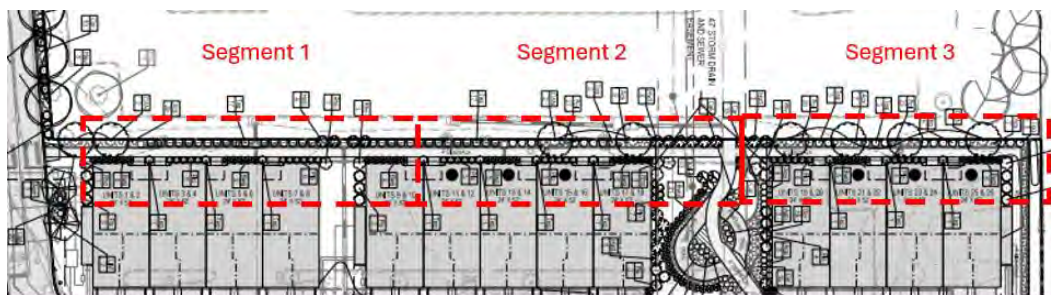
“Residential uses may be allowed in those areas recommended for such uses in the relevant plan, or where the Mayor and Council or the Planning Commission, as the case may be, determines that the use is compatible with adjoining and confronting uses by means of landscaping, screening, or other measures. In this case, residential development is limited to townhouses, multi-unit or live-work units. Ground floor retail uses primarily intended to serve the residents may be included.”

Given that the Property is located in the MXE zone and is proposing residential uses but is designated with a land use designation of office by the 2040 Rockville Comprehensive Plan, the Planning Commission must find compatibility with the surrounding uses prior to the residential use being approved.

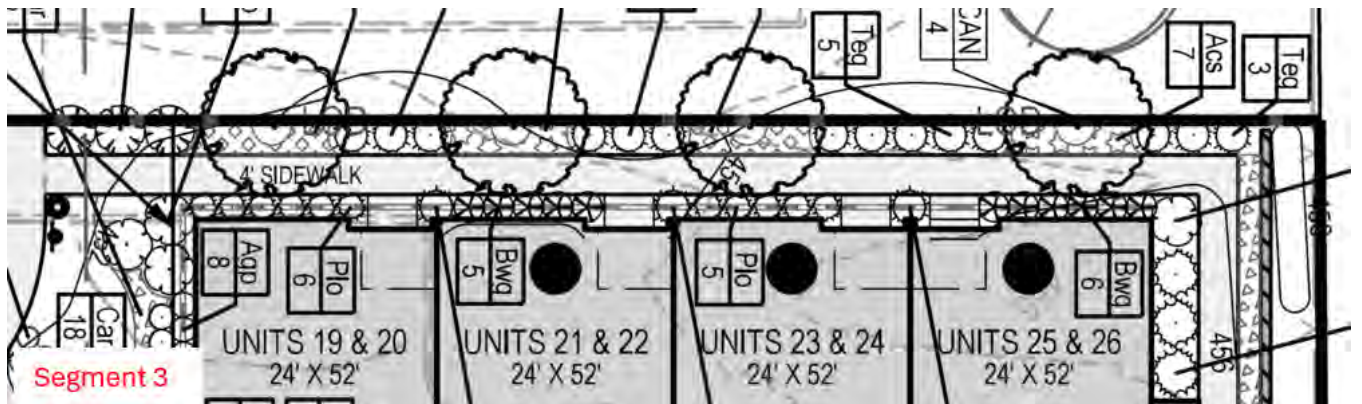
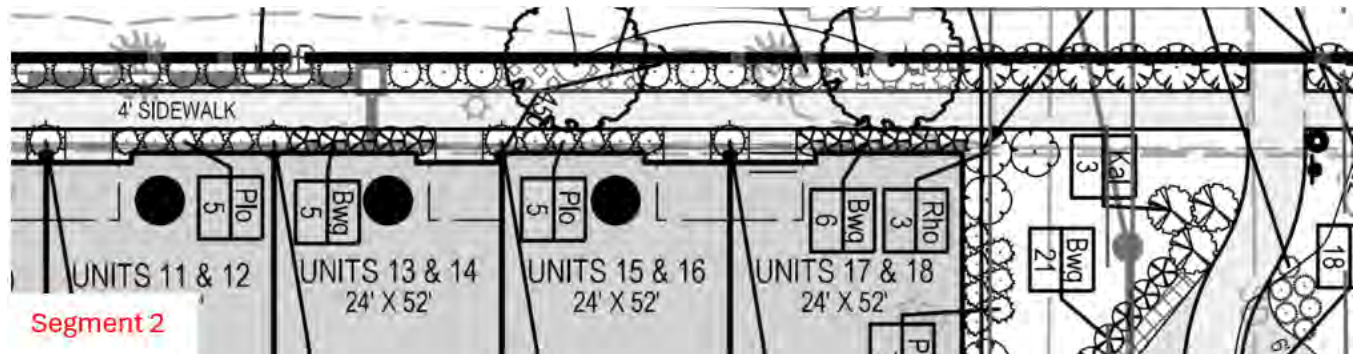
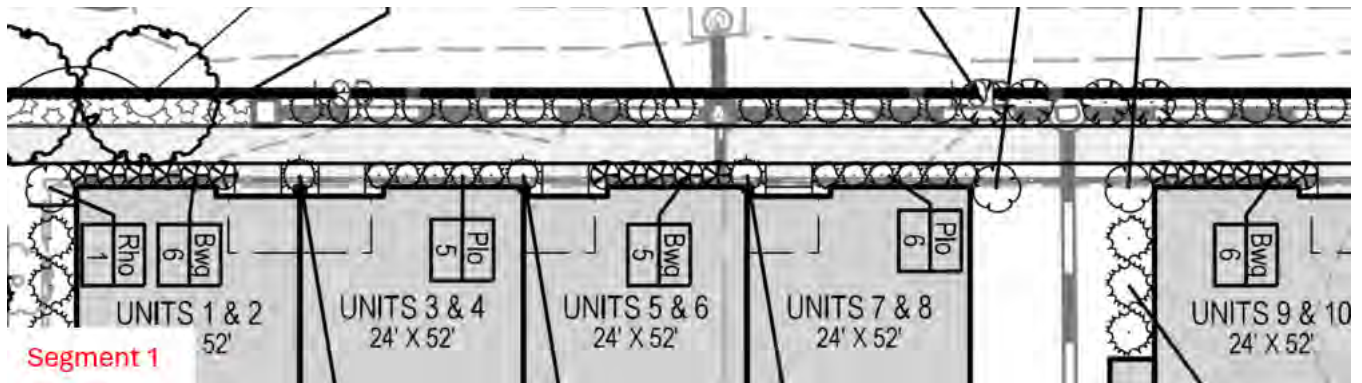
The Property is sited on a pipestem lot connected to the Research Place cul-de-sac with surrounding office properties located on three (3) sides, all within the MXE zone. On the remaining side, the Property abuts Interstate 270. The proposed residential use addresses the design requirements for compatibility with the surrounding properties by proposing multi-unit dwellings on the site and will utilize a combination of landscaping and buffering measures as detailed below.

Northern Boundary (3 Research Place Abutting)

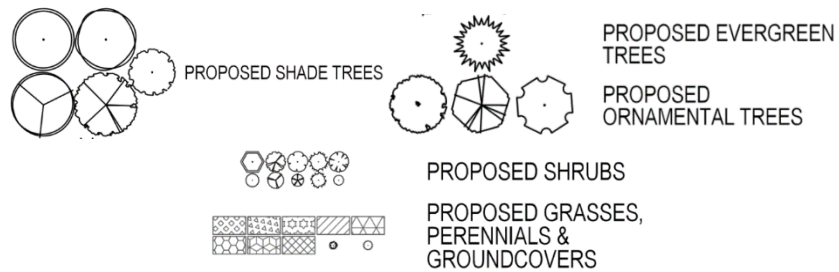
To the north, the abutting property is improved with a 3-story office building centrally located on a similarly sized 2.68-acre site also improved with perimeter surface parking. Along the site’s shared property line, there currently is an approximately nine (9)-foot-wide landscaped area that buffers the 3 Research Place property’s surface parking lot from the shared property line. The abutting property has parallel parking spaces immediately adjacent to the nine (9)-foot-wide landscaped area, with a loading area beyond along the building’s south facing façade. Along the shared property line on the Property, the Applicant’s landscape plan incorporates a two and one-half (2.5)-foot-wide landscape strip abutting the residential units, a four (4)-foot-wide sidewalk and a three and one-half (3.5)-foot-wide landscape strip immediately in front of the residential units. This arrangement creates a buffer area from the residential units to the abutting property. The Applicant’s landscape plan shows that the buffer area will include a variety of plantings including several ornamental trees and a contiguous line of columnar evergreen plantings. This combination of landscaping is anticipated to create a defined vertical edge (with year-round foliage) to screen and buffer the proposed residential use from the abutting office use to the north.



Proposed landscape plan along the northern property line with detailed segments below. Source: Provided by Applicant; markups by staff.

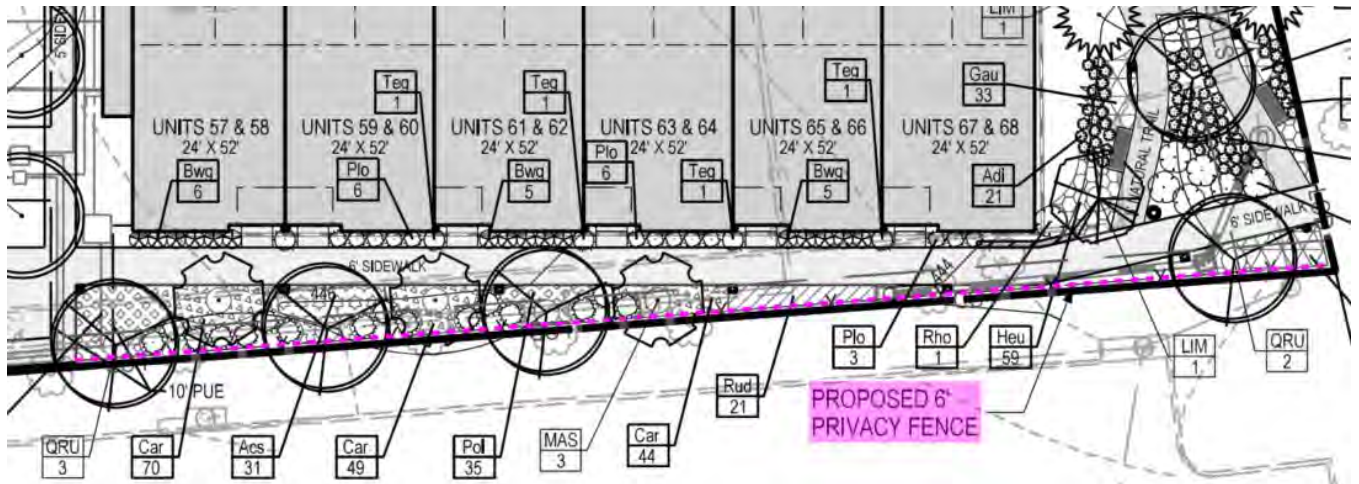
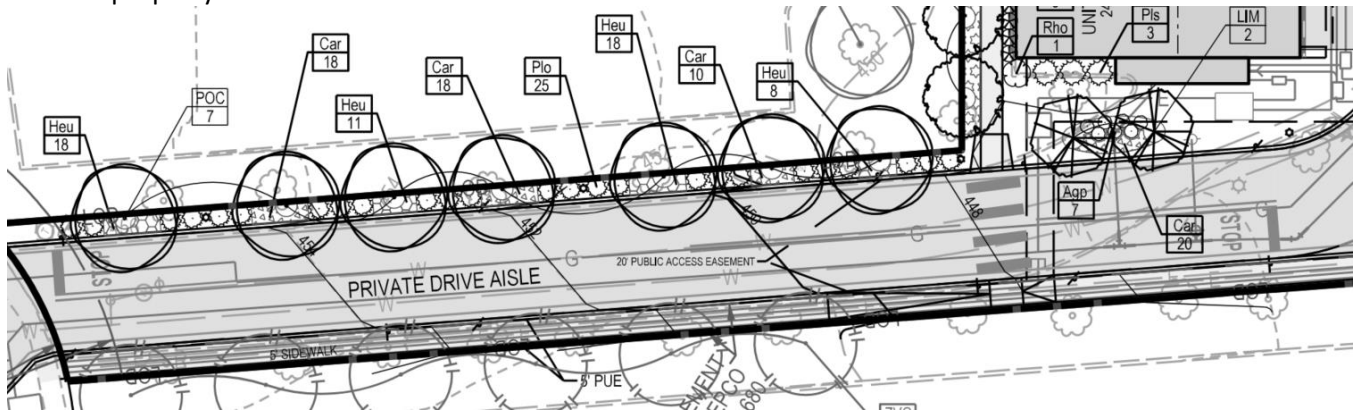


Landscape Key

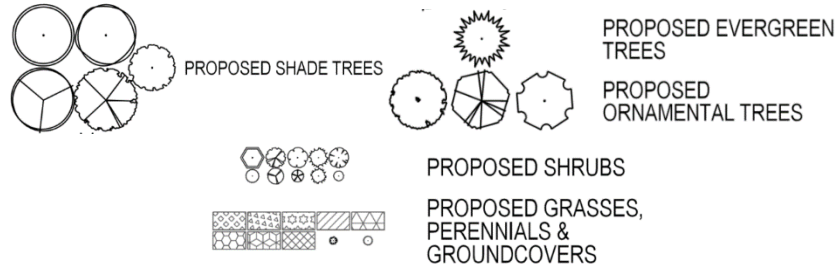


Western Boundary (2301 Research Boulevard Abutting)

To the west, the abutting property is also improved with a 3-story office building centrally located on a larger 5.19-acre site and surrounded by surface parking. Along the site's shared property line, there currently is an approximately eleven (11)-foot-wide landscaped area that buffers its surface parking lot from the shared property line. Within this landscaped area, there are several existing trees along the site's pipestem driveway that are proposed to remain. In addition, several deciduous and ornamental trees are proposed within an improved grassed landscaped area along this western boundary of the Property that will complement the existing abutting landscaped area on the abutting property. Finally, a six (6)-foot-tall privacy fence is proposed along a segment of the western property line that will further screen the front of the proposed residential dwellings along the western property line from the abutting office property to the west. The fencing will aid in providing privacy for residences as well as to help shield vehicle headlights from the abutting office parking spaces onto the proposed residences. These collective improvements will make for a compatible implementation of the proposed residential use along the western property line.



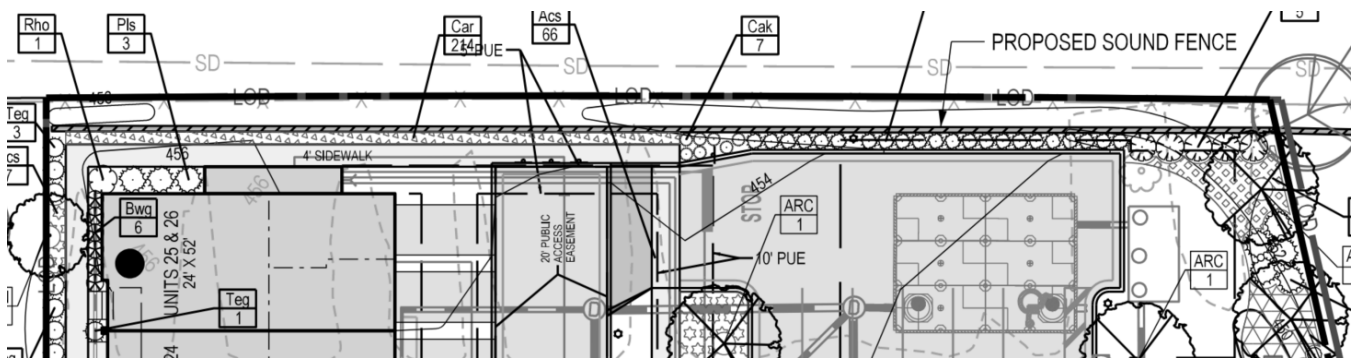
Landscape Key



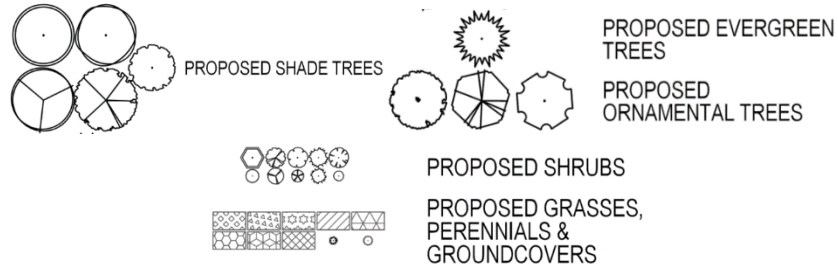
Proposed landscape plan segments along the western property line. The first image above shows the additional tree plantings proposed along the entry drive aisle. The immediate image above shows a variety of tree plantings, ground landscaping and a privacy fence to buffer the project from the office property to the west. Source: Provided by Applicant; markup by staff

Eastern Boundary (Interstate I-270 ROW Abutting)

To the east of the Property abuts the 13-lane Interstate 270 (I-270). The roadway is a major northwest thoroughfare which connects the Capital Beltway (I-495) in Montgomery County to Interstate 70 in Frederick County. In proposing a residential use on the Property, the Applicant has analyzed potential noise impacts from the I-270 roadway. To address local requirements for noise mitigation, the Applicant will be installing an approximately 19-foot-tall sound wall on the Property between I-270 and the proposed residences. The Applicant has indicated that such measures will ensure that future residents will be able to use and enjoy the proposed dwelling units and outdoor spaces while mitigating noise nuisances that may otherwise be present on the Property without the sound wall. The Applicant is proposing additional landscaping and plantings in the form of landscaped grassy areas and shrubs along the length of the sound wall to help soften the wall’s aesthetics and further create a green edge to the Property along this eastern boundary. The sound wall and the additional landscaping will effectively address the drastic differences in use making for a compatible transition from the abutting Interstate to the proposed residential development while also providing a suitable buffer so that the development will not be overburdened by roadway noise.



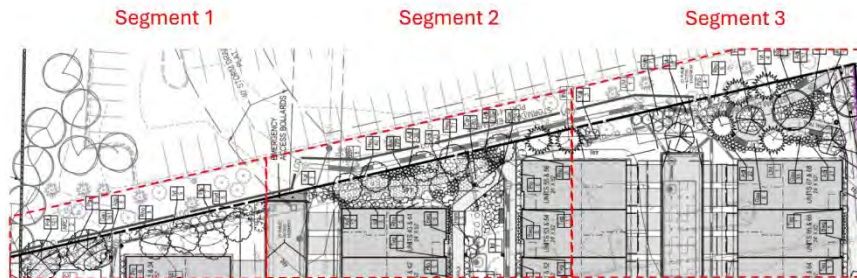
Landscape Key



Proposed landscape plan along the eastern property line. Source: Provided by Applicant.

Southern Boundary (2277 Research Boulevard Abutting)

To the south, the abutting property is a noticeably larger 20.69-acre site improved with three (3) office buildings, each being 7-stories tall. This abutting property is contemplating redevelopment of the site from office use to a mixed-use development of office, residential and restaurant uses on the site. The Applicant has coordinated with the city and the abutting property owners on the site layout and proposed open spaces along the shared southern property line. The abutting redevelopment is proposing to convert the nearest office building and surface parking lot to townhouses and two-over-two condominium units. In introducing residential uses to the neighboring property, both properties have coordinated and propose open areas along their shared property line. Such areas will be enhanced with sidewalks and natural trails with seating that will enhance connectivity between these two neighboring residential communities. The Applicant’s landscape plan incorporates a variety of landscape and tree plantings in the form of lawn covered areas along with areas of dense shrub cover along the southern boundary that will provide both a natural green buffer edge to the Property and a compatible landscaped transition to the adjacent southern property, accentuated by several sidewalk connections.



Proposed landscape plan along the southern property line. Detailed sections are found on the following pages. Source: Provided by Applicant; markup by staff.

Conditions

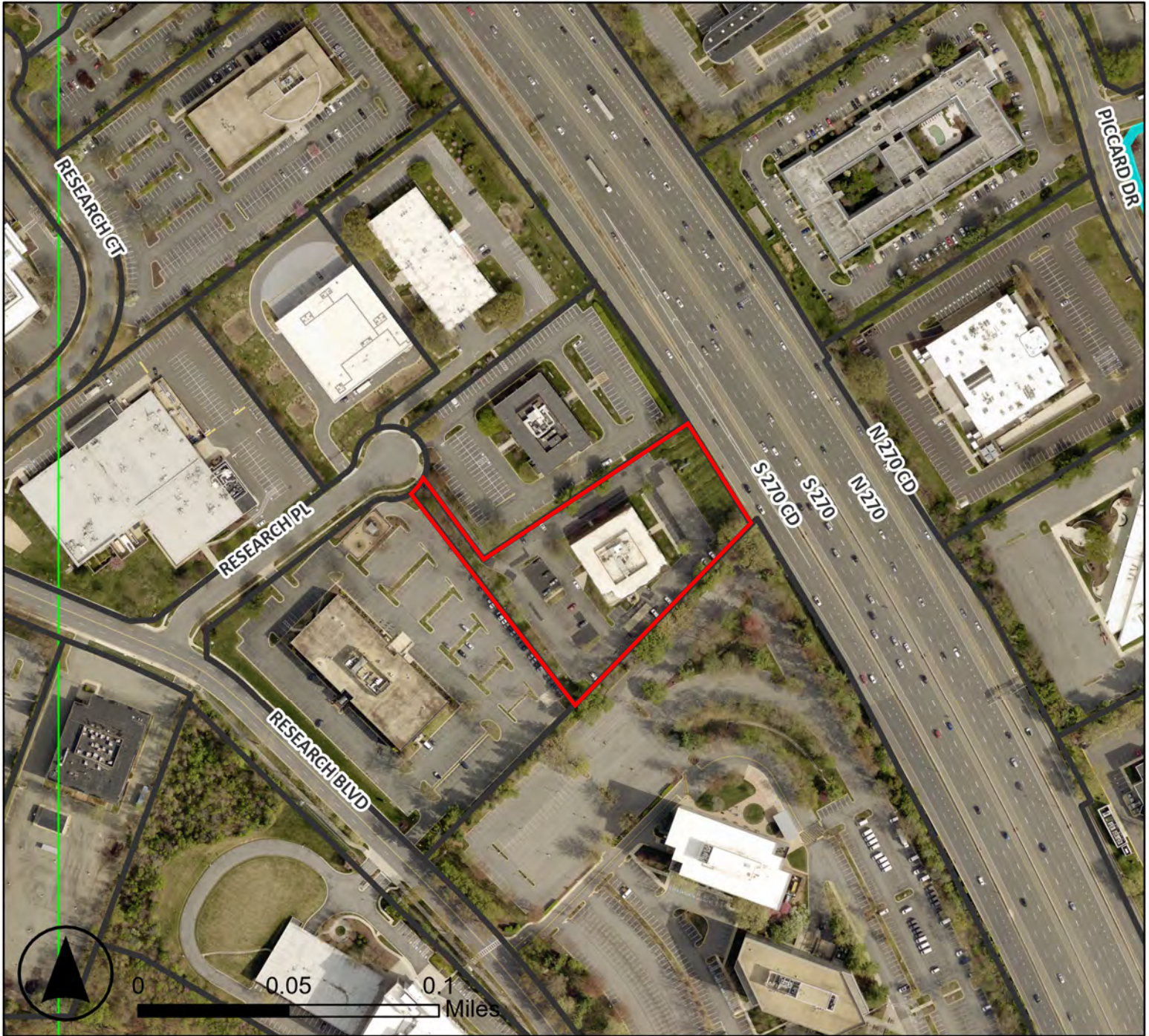
Having reviewed the submitted proposal in accordance with the special design guidelines for the MXE Zone, staff recommends that the Planning Commission find that the proposed construction of 68 two-over-two condominium units at 2 Research Place is compatible with the adjoining and confronting uses by means of landscaping and screening, in accordance with Section 25.13.07.c.6.(a) of the Zoning Ordinance, based on the detailed findings above and the following conditions of approval:

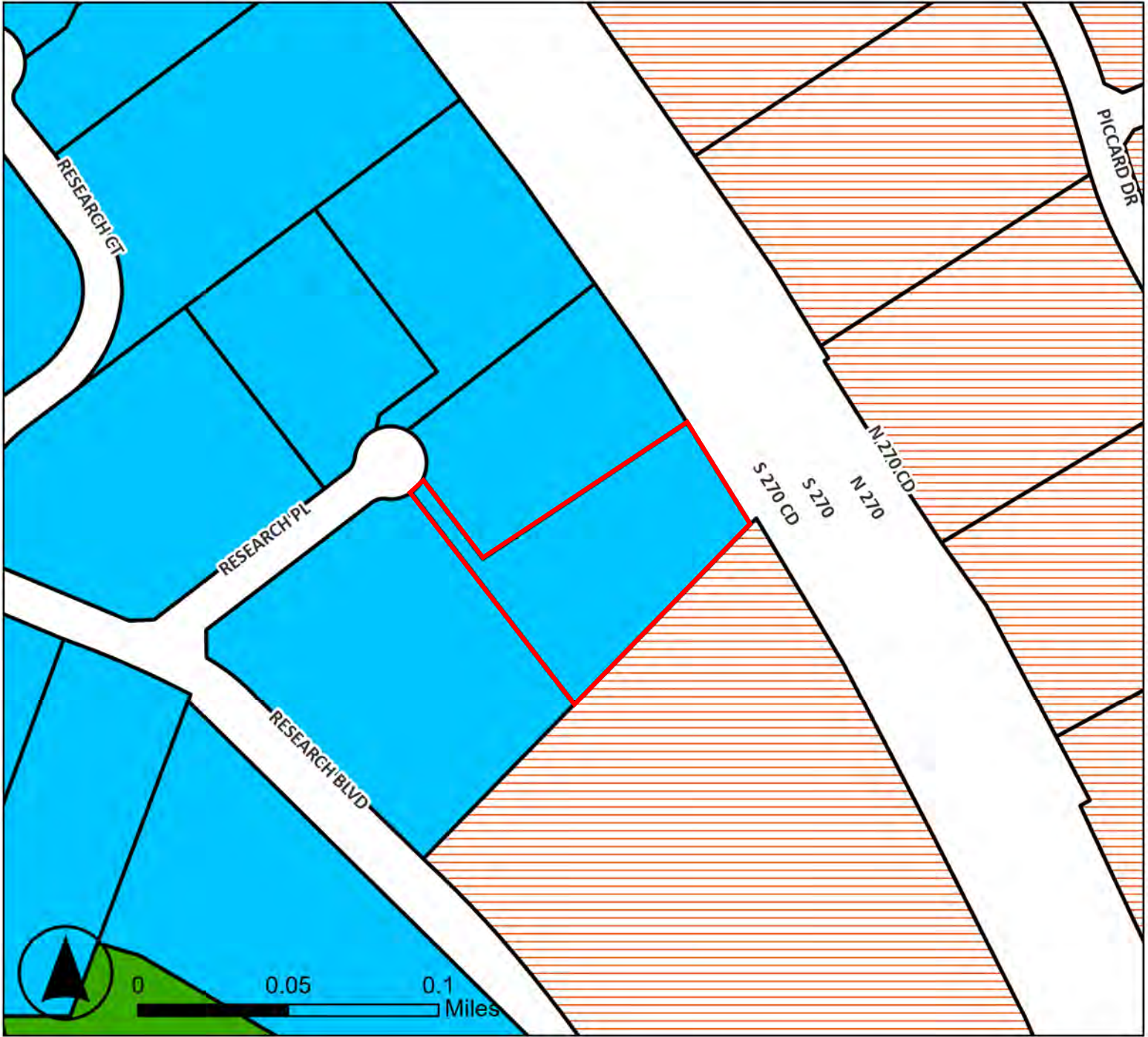
Planning and Zoning

1. The proposed development shall incorporate and maintain a perimeter landscaped buffer area consistent with the concept design, graphic conceptual representation, and information shown on the provided Landscape Plan to be approved with the Level 1 site plan signature set.

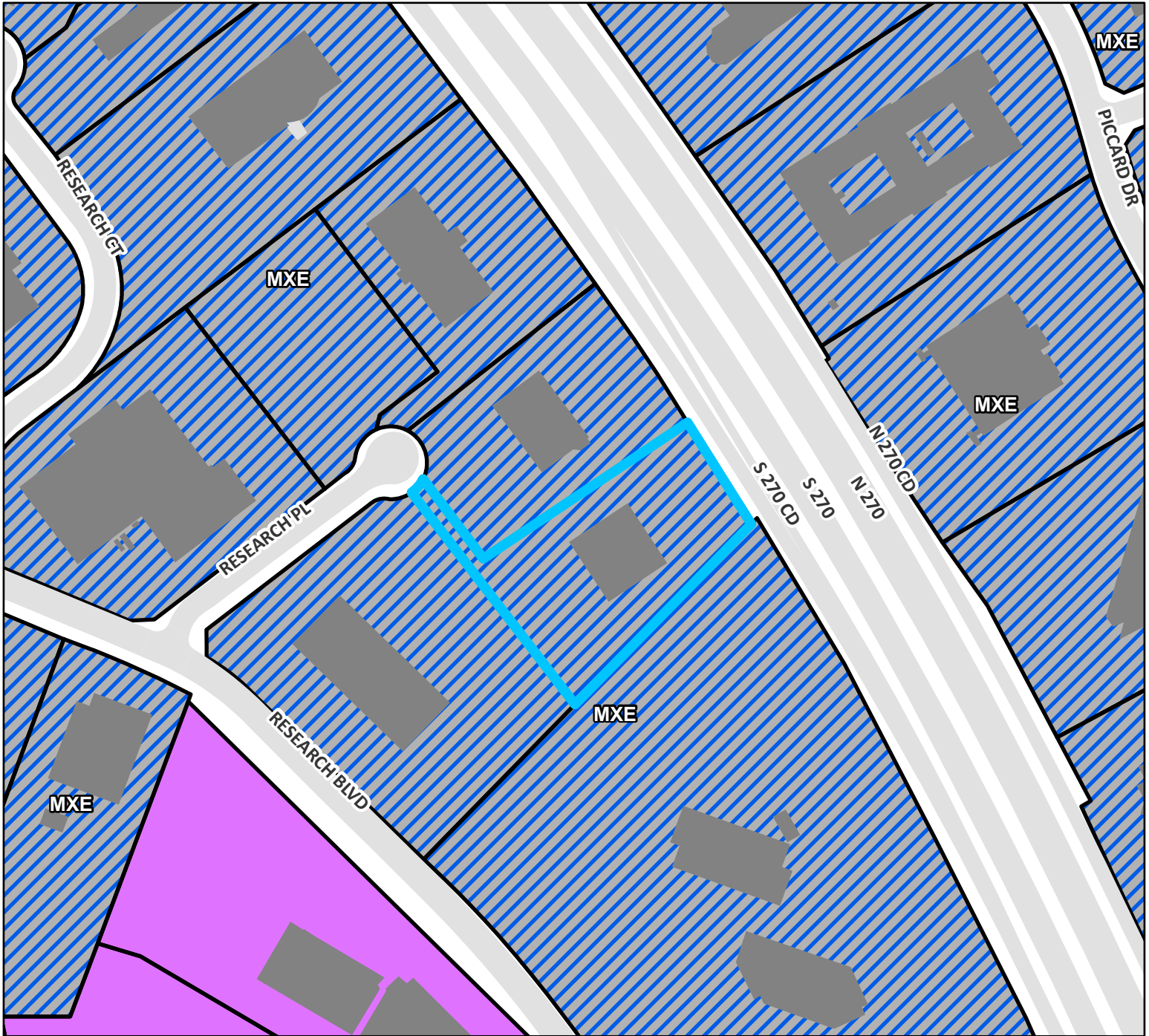
Attachments

Aerial Map, Land Use Map, Zoning Map, Site Plan, Statement of Justification













- | | | | |
|---|--|--|--|
|  C - Commercial |  OCRM - Office/Commercial/Residential Mix |  RD - Residential Detached |  SI - Service Industrial |
|  CI - Civic and Public Institutional |  OSP - Open Space |  RF - Residential Flexible |  SRM - Service Industrial and Residential Mix |
|  CRM - Commercial and Residential Mix |  P - Park |  RM - Residential Multiple Unit | |
|  I - Private Institution |  RA - Residential Attached |  RO - Residential and/or Office | |
|  O - Office | | | |








ZONE

-  R-400 - Residential Estate
-  R-200 - Suburban Residential
-  R-150 - Low Density Residential
-  R-90 - Single Unit Detached Dwelling, Restricted Residential

-  R-75 - Single Unit Detached Dwelling, Residential
-  R-60 - Single Unit Detached Dwelling, Residential
-  R-40 - Single Unit Semi-detached Dwelling, Residential
-  RMD-Infill - Residential Medium Density, Infill

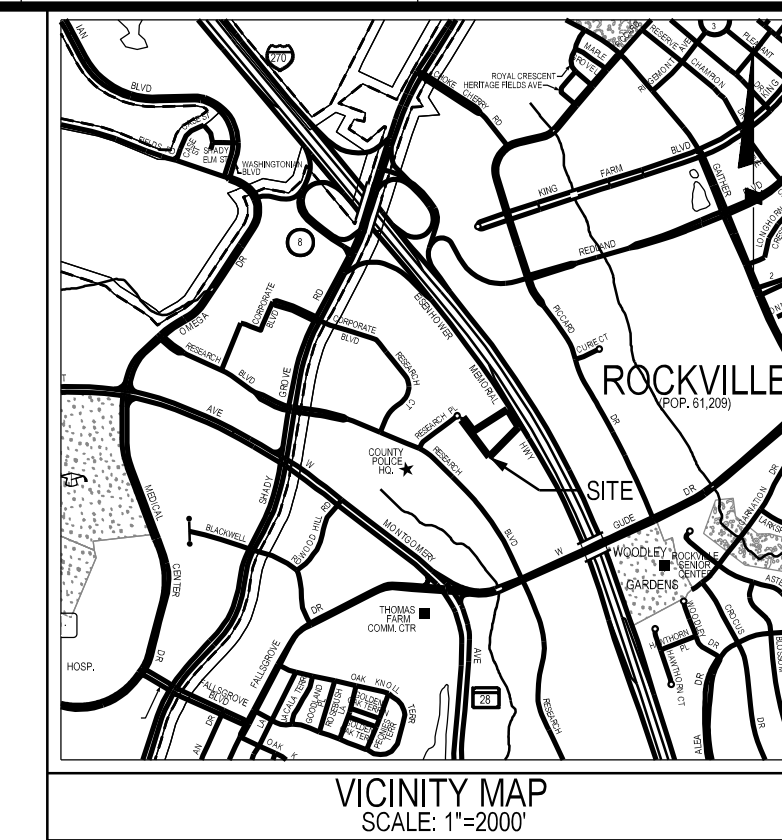
-  RMD-10 - Residential Medium Density
-  RMD-15 - Residential Medium Density
-  RMD-25 - Residential Medium Density
-  PD - Planned Development
-  MXB - Mixed-Use Business

-  MXC - Mixed-Use Commercial
-  MXCT - Mixed-Use Corridor Transition
-  MXCD - Mixed-Use Corridor District
-  MXE - Mixed-Use Employment
-  MXNC - Mixed-Use Neighborhood Commercial

-  MXT - Mixed-Use Transition
-  MXTD - Mixed-Use Transit District
-  PARK - Park Zone
-  IL - Light Industrial

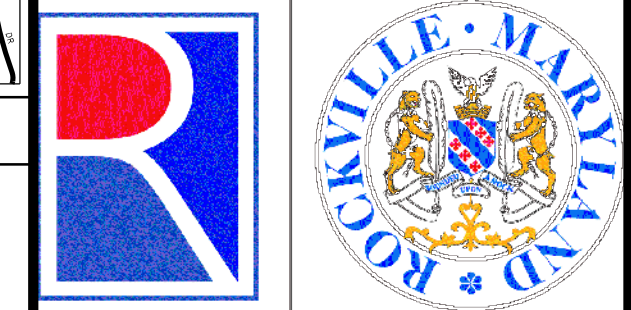
2 RESEARCH PLACE

2026-225-STP



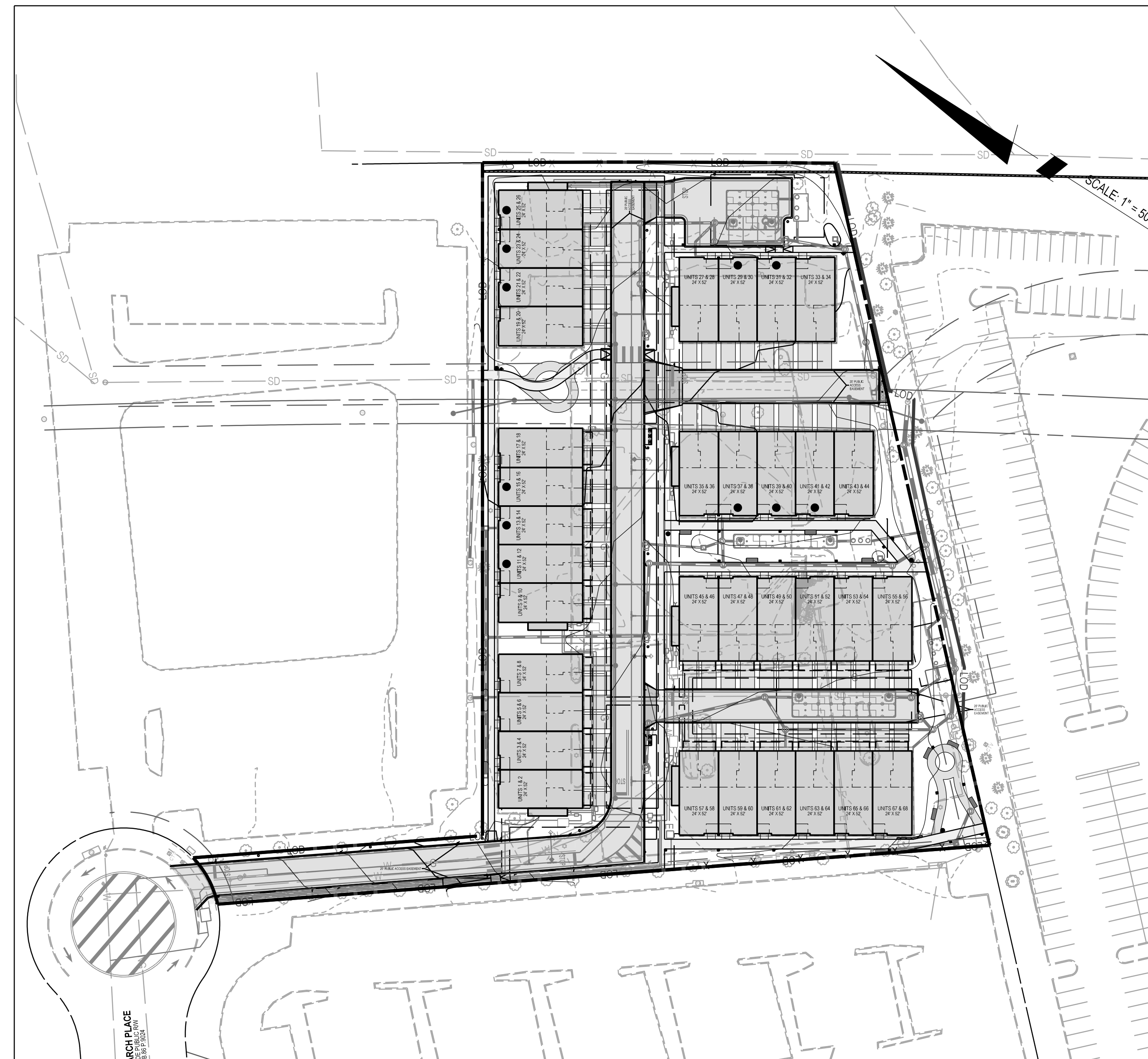
SOLTESZ, INC.
 ROCKVILLE OFFICE
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 Rockville, MD 20850
 P. 301.948.2750 F. 301.948.9067
 www.solteszco.com

Engineering
 Surveying
 Planning
 Environmental Sciences



SHEET INDEX:

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 - SHEET L-4 LIGHTING PLAN
 - SHEET L-5 RESEARCH PLACE IMPROVEMENTS
- FIRE PROTECTION SITE PLAN**
- SHEET 1 FIRE PROTECTION SITE PLAN
- FINAL FOREST CONSERVATION PLAN**
- SHEET 1 TREE REMOVAL PLAN
 - SHEET 2 FINAL FOREST CONSERVATION PLAN
 - SHEET 3 NOTES AND DETAILS
 - SHEET 4 FCP EASEMENT EXHIBIT



GENERAL NOTES:

1. THE EXISTING ZONE IS MXE.
2. BOUNDARY INFORMATION IS FROM A SURVEY PREPARED BY SOLTESZ, INC.
3. THIS SITE LIES WITHIN THE WATTS BRANCH WATERSHED.
4. PEPCO, BELL ATLANTIC, MD., INC., WASHINGTON GAS LIGHT CO. OF MD., THE CITY OF ROCKVILLE, AND CABLE TV MONTGOMERY ARE THE PUBLIC UTILITY COMPANIES THAT WILL PROVIDE SERVICE TO THE PROPOSED DEVELOPMENT.
5. THE PROPOSED LAYOUT, PARKING, DRIVEWAYS, BUILDINGS, AREA, LOCATION, DIMENSIONS, AND UTILITIES ARE APPROXIMATE AND SUBJECT TO FINAL COMPUTATIONS PRIOR TO RECORD PLAT.
6. ALL RETAINING WALLS TO BE DESIGNED BY OTHERS.
7. THERE IS NO FLOODPLAIN ON THIS PROPERTY. SOURCE OF THE INFORMATION IS FROM FEMA FLOODPLAIN COMMUNITY - PANEL NUMBER 24031C0331D.
8. THERE ARE NO WETLANDS WITHIN 100 FEET OF THE PROPERTY.
9. THERE ARE NO RARE, THREATENED, OR ENDANGERED (RTE) SPECIES ON SITE. AWAITING CONFIRMATION LETTER FROM MD-DNR.
10. THE SITE IS NOT WITHIN THE CITY OF ROCKVILLE HISTORIC DISTRICT AND IS NOT A BUILDING OR STRUCTURE WITHIN THE CITY OF ROCKVILLE'S HISTORIC BUILDING CATALOG, PER CITY OF ROCKVILLE MAPS ARCGIS.
11. THE SOIL TYPE THROUGHOUT THE SITE IS 67UB.
12. NO STATE OR CHAMPION TREES EXIST ON SITE.
13. NATURAL RESOURCE INVENTORY / FOREST STAND DELINEATION WAS PREVIOUSLY APPROVED UNDER CASE NUMBER FTP2022-00454.

MISSING UTILITY NOTE
 INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-2777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER / DEVELOPER / APPLICANT
 2 RESEARCH PLACE, LLC
 2 RESEARCH PLACE, SUITE 100
 ROCKVILLE, MD 20850
 301-948-2750
 CONTACT: JAMES SOLTESZ
 EMAIL: JSOLTESZ@SOLTESZCO.COM

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. _____ EXPIRATION DATE: _____

2 Research Place - Project Data Table: MXE Zone (Mixed-Use Employment)		
	Required Development Standards	Proposed
Site Area:		
Gross Tract Area		2.82 ac. / 122,804 sf.
Lot 5 (Tax #: 00148896)		2.82 ac. / 122,804 sf.
Net Site Area		2.82 ac. / 122,804 sf.
MXE Zone Development Standards (Sec.25.13.05.b.1)		
Maximum Building Height	120'	60'
Min. Lot Width at Front Lot Line	10' min.	30'
Open Area and Public Use Space		
Open Area	20% (0.56 ac., 24,560 sf)	32.90% (0.93 ac., 40,407 sf)
Public Use Space Required within Open Area	5% (0.14 ac., 6,140 sf)	7.69% (0.22 ac., 9,447 sf)
Building Setbacks		
Public right-of-way abutting	None or 10' min. if provided.	185'
Side setback:		
Residential land abutting:	Greater of 25' or 1/2 height of building.	N/A
Non-residential land abutting:	None or 10' min. if provided.	10'
Rear setback:		
Residential land abutting:	Greater of 25' or 1/2 height of building.	N/A
Non-residential land abutting:	None or 10' min. if provided.	10'
Residential Uses:		
Market Rate Units		
Dwelling, multiple-unit		
24x52' Two-Over-Two Units	N/A	57 DU
MPDU's		
Dwelling, multiple-unit		
24x52' Two-Over-Two Units	N/A	11 DU
TOTAL DWELLING UNITS		68 DU
Residential Parking (Sec. 25.16.03.d)		
Auto Parking Spaces		
Dwelling, multiple-unit (For 2 or more bedrooms)	102 sp. (1.5 sp. per DU)	138 sp.
Off-street parking	-	6 sp.
Total Auto Parking Spaces:	102 sp.	142 sp.
Bicycle Parking Spaces		
Short Term	2 sp. (1 per 50 DU)	*2 sp. Min.
Long Term	23 sp. (1 per 3 DU)	*23 sp. Min.
Total Bicycle Parking Spaces:	25 sp.	*25 sp. Min.

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ATTORNEY
 SELZER GURVITCH RABIN WERTHEIMER & POLOTT, P.C.
 4416 EAST WEST HIGHWAY, SUITE 400
 BETHESDA, MD 20814
 PHONE: 301-455-5451
 ATTN: MATTHEW GORDON

ENGINEER
 2 RESEARCH PLACE, LLC
 2 RESEARCH PLACE, SUITE 100
 ROCKVILLE, MD 20850
 PHONE: 301-948-2750
 ATTN: JIGAR BHATT

COVER SHEET

SITE PLAN

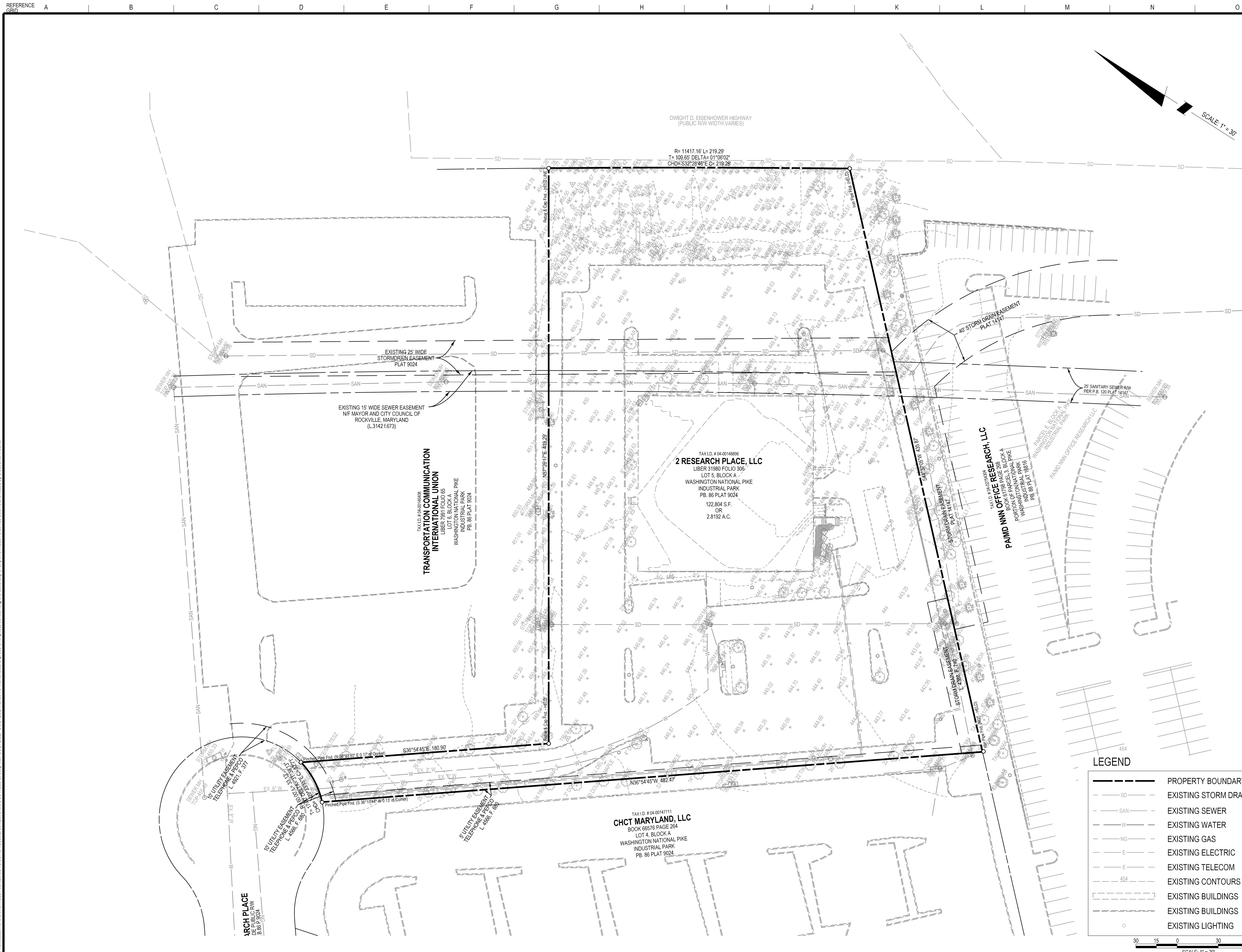
2 RESEARCH PLACE

LOT P5, BLOCK A

ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FSS1, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220N009	SITE DATA: HORIZONTAL: IAD 839'1 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS	
PROJECT NO. 4316-00-01	

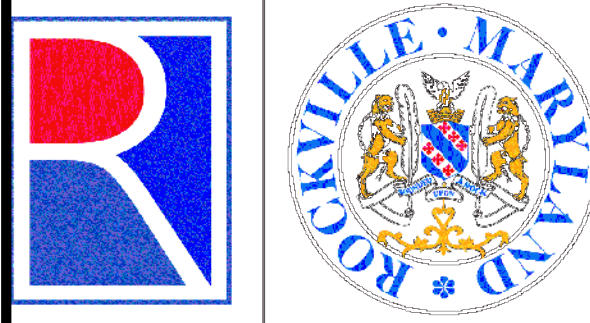
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Engineering
 Planning
 Environmental Sciences



MISS UTILITY NOTE
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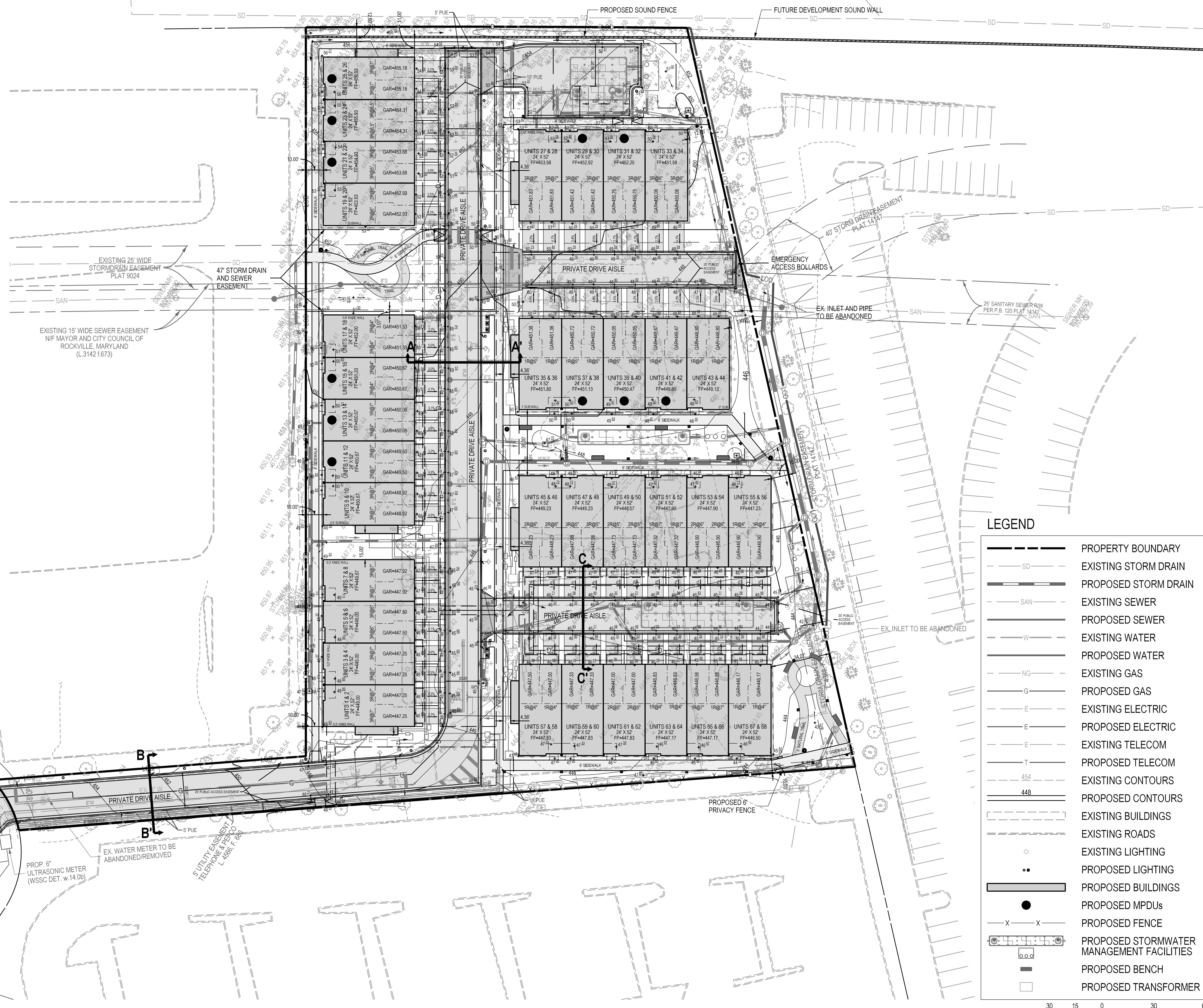
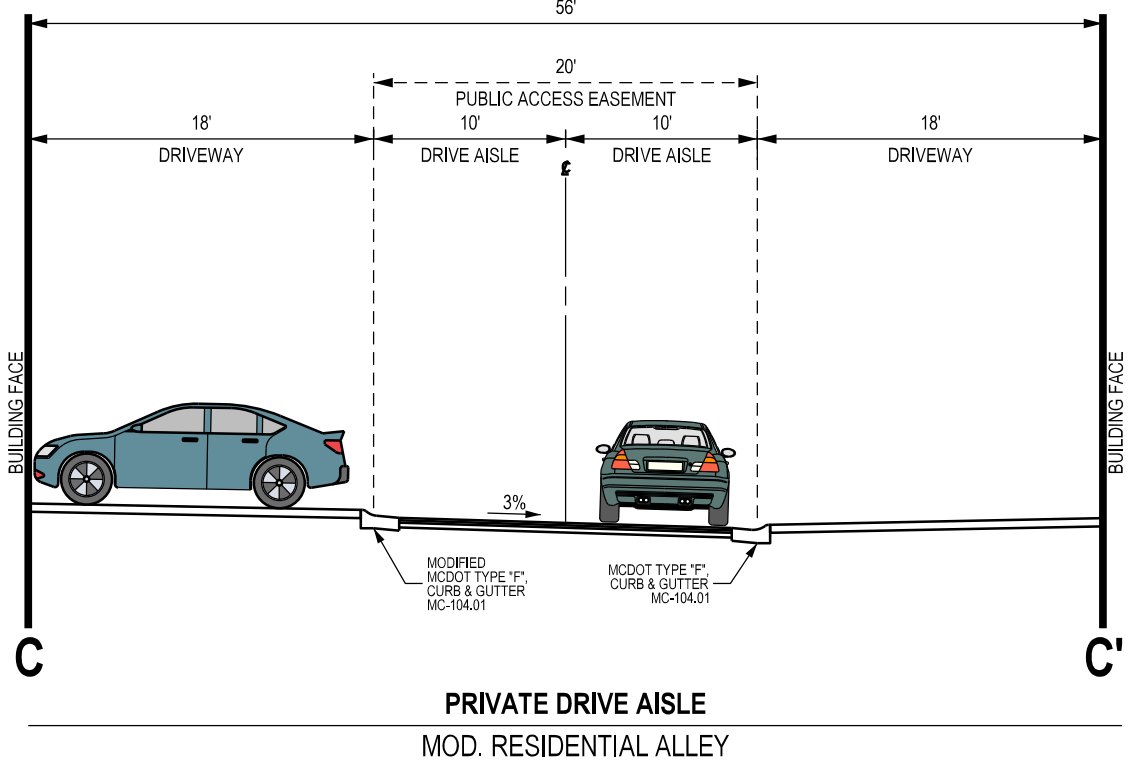
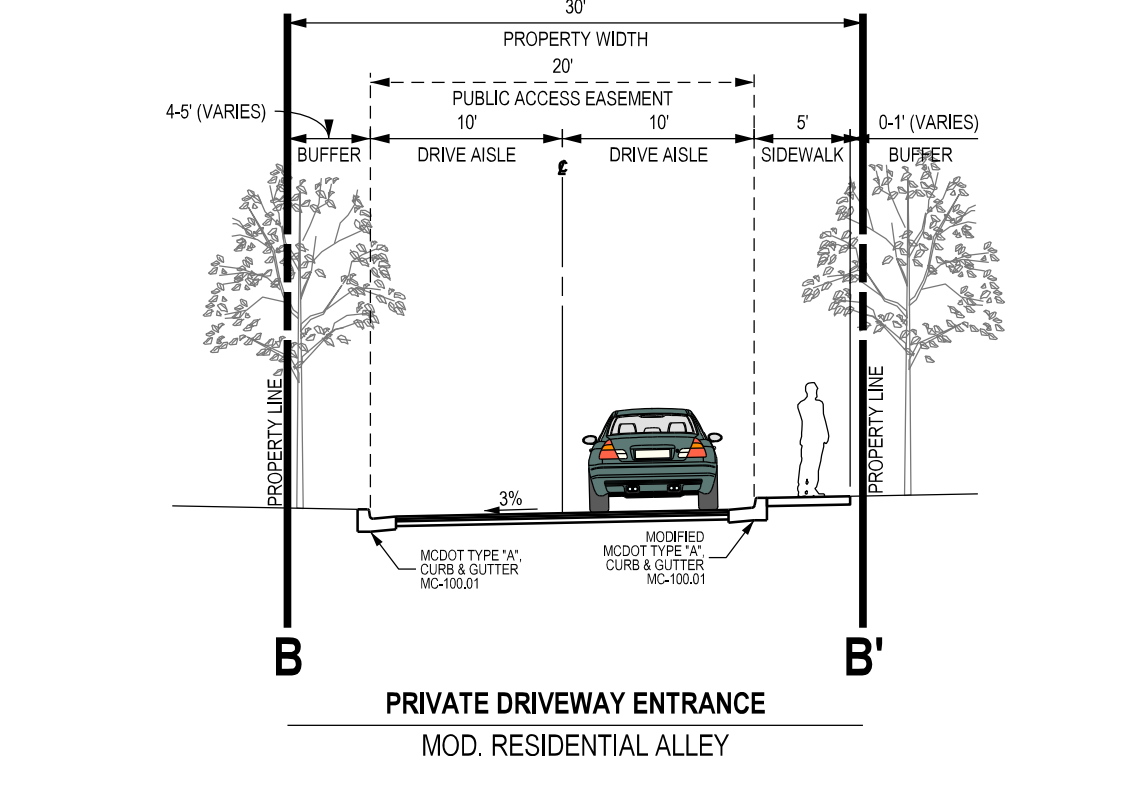
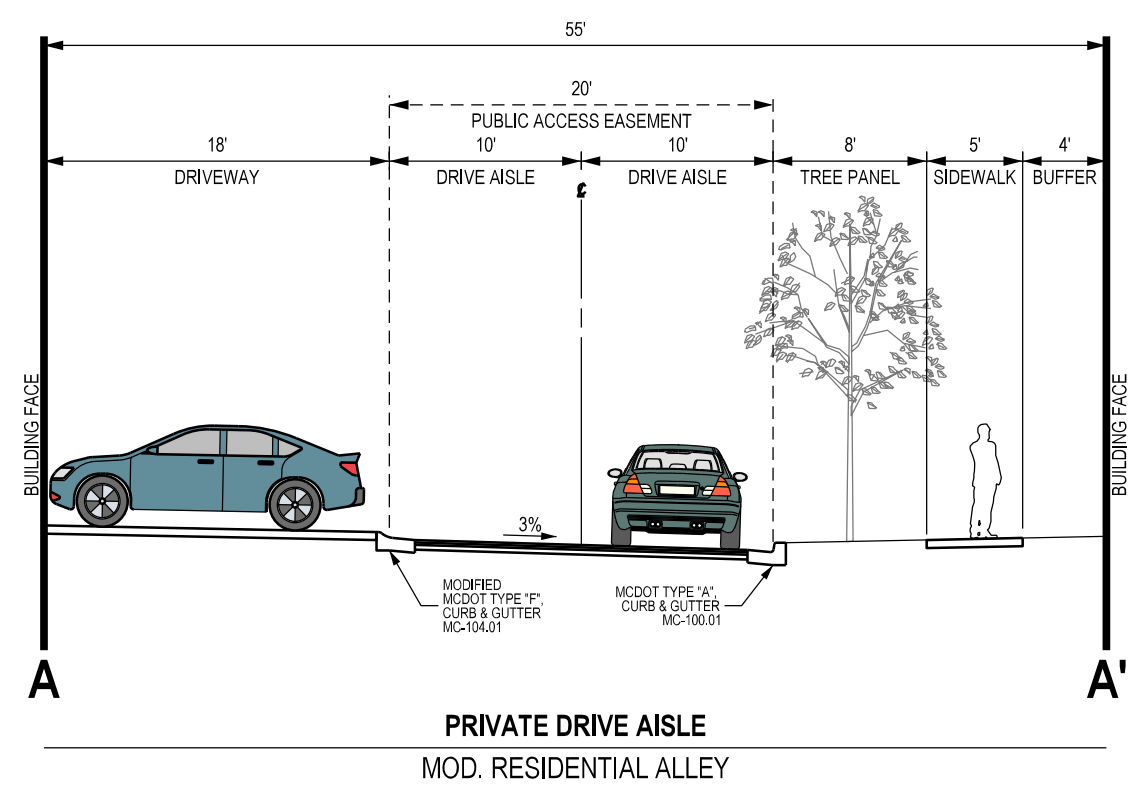
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EXISTING CONDITIONS PLAN
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

LEGEND

	PROPERTY BOUNDARY
	EXISTING STORM DRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING GAS
	EXISTING ELECTRIC
	EXISTING TELECOM
	EXISTING CONTOURS
	EXISTING BUILDINGS
	EXISTING BUILDINGS
	EXISTING LIGHTING

TAX MAP FSS1, 0000	ZONING CATEGORY: MXE
WSSC 200 SHEET 220NW09	SITE DATUM HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD: CONNECT / VERSION: NCS	
SHEET 2 OF 13	PROJECT NO. 4316-00-01

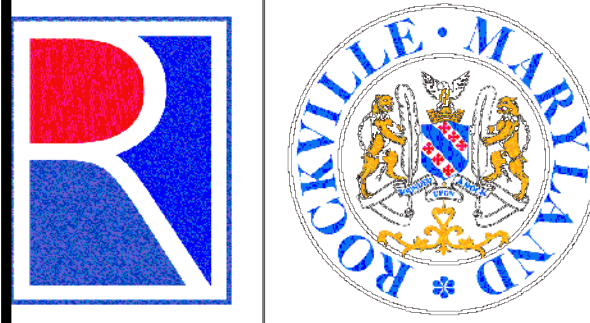


LEGEND

	PROPERTY BOUNDARY
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING SEWER
	PROPOSED SEWER
	EXISTING WATER
	PROPOSED WATER
	EXISTING GAS
	PROPOSED GAS
	EXISTING ELECTRIC
	PROPOSED ELECTRIC
	EXISTING TELECOM
	PROPOSED TELECOM
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING BUILDINGS
	EXISTING ROADS
	EXISTING LIGHTING
	PROPOSED LIGHTING
	PROPOSED BUILDINGS
	PROPOSED MPDUs
	PROPOSED FENCE
	PROPOSED STORMWATER MANAGEMENT FACILITIES
	PROPOSED BENCH
	PROPOSED TRANSFORMER

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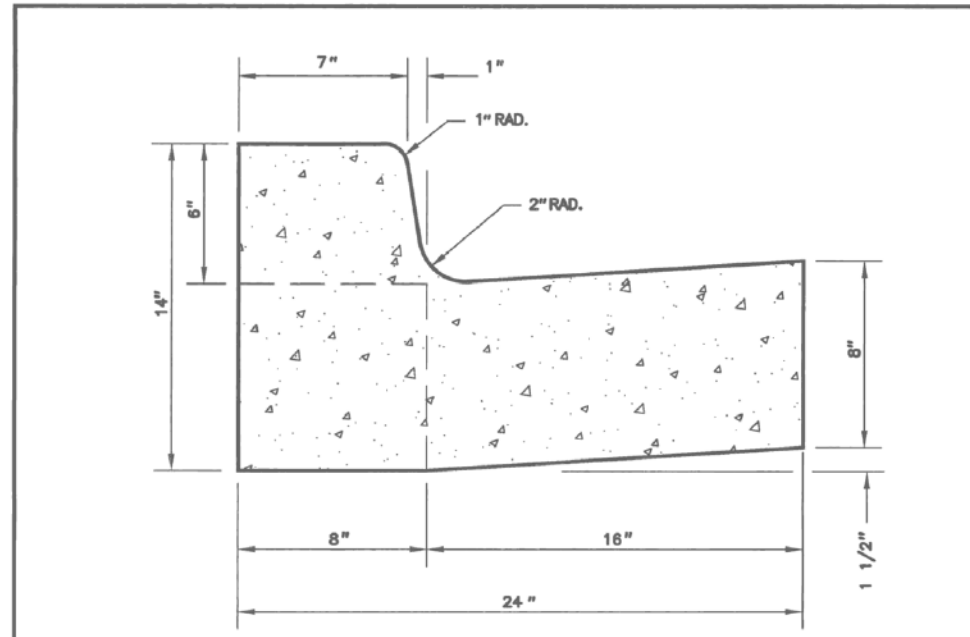
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DETAILED SITE PLAN
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP	FSS1, 000	ZONING CATEGORY:	MXE
WSSC 200 SHEET	220N09	DATE:	2/26/2026
DATE:	2/26/2026	DESIGNED BY:	JS
DESIGNED BY:	JS	CHECKED BY:	JDS
CHECKED BY:	JDS	CAD STD.:	CONNECT / NCS
VERSION:			
SHEET	3	PROJECT NO.	4316-00-01
OF	13		

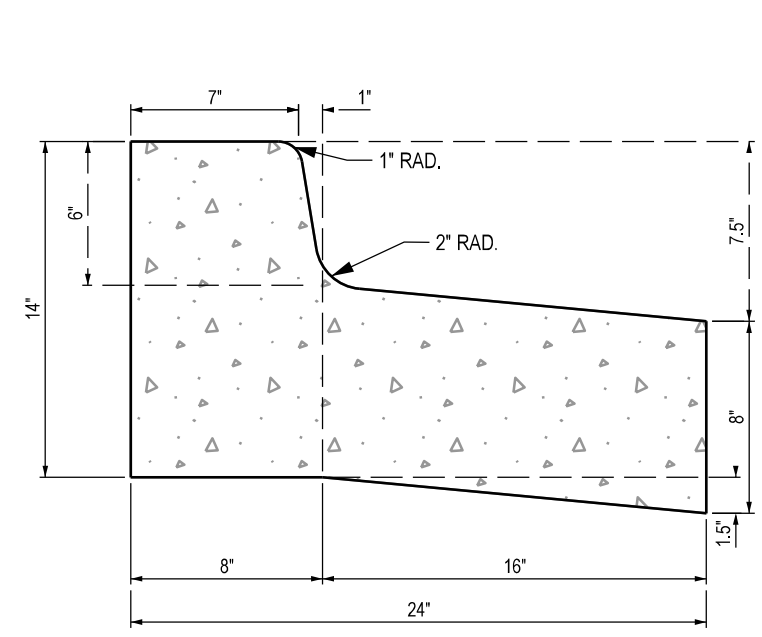
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GENERAL NOTES

1. REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
2. THIS STANDARD SHALL BE USED ON PRIMARY RESIDENTIAL, ARTERIAL AND BUSINESS DISTRICT ROADS AS WELL AS CURB RETURNS AND INLET THROATS.
3. WHENEVER STANDARD MC-100.01 CURB IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-100.01 TO STANDARD MC-100.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
4. THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
5. EXPANSION JOINT MATERIAL SHALL BE 1/2" INCH PREFORMED COKE, TRIMMED AND SEALED WITH NON-STANNING TWO-COMPONENT POLYURETHANE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.

APPROVED 14 APR 06 DATE <i>[Signature]</i> DIRECTOR, DEPT. OF PUBLIC WORKS & TRANSPORTATION CHIEF, DIV. OF CAP. DEV.	REVISED DATE 4/20/04	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION COMBINATION CONCRETE CURB AND GUTTER TYPE A STANDARD NO. MC-100.01
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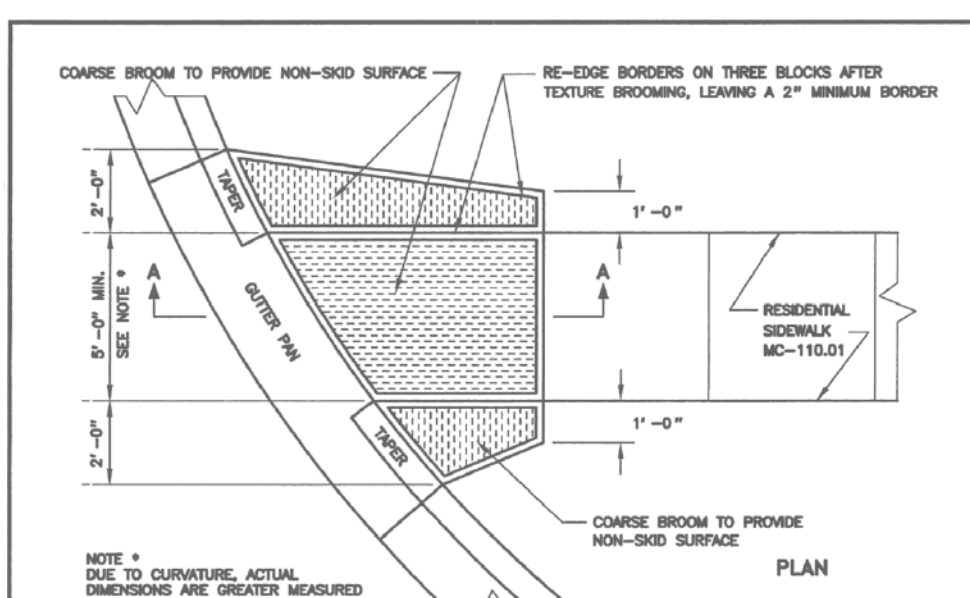
GENERAL NOTES

1. REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
2. MOUNTABLE CURB SHALL ONLY BE USED ON TERTIARY STREETS OR ON SECONDARY RESIDENTIAL, CUL-DE-SACS 500 FEET OR LESS IN LENGTH, MEASURED FROM THE LAST INTERSECTING STREET.
3. WHENEVER STANDARD MC-100.01 IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-104.01 TO STANDARD MC-100.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
4. TRANSITION BETWEEN STANDARD MC-104.01 AND MC-100.01 OR MC-101.01 SHALL BE ACCOMPLISHED HOLDING THE FLOW LINE SLOPE CONSTANT.
5. THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
6. EXPANSION JOINT MATERIAL SHALL BE 1/2" INCH PREFORMED COKE, TRIMMED AND SEALED WITH NON-STANNING TWO-COMPONENT POLYURETHANE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.

APPROVED 14 APR 06 DATE <i>[Signature]</i> DIRECTOR, DEPT. OF PUBLIC WORKS & TRANSPORTATION CHIEF, DIV. OF CAP. DEV.	REVISED DATE 4/20/04	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION MOUNTABLE CONCRETE CURB AND GUTTER TYPE F STANDARD NO. MC-104.01
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COMBINATION CONCRETE SPILL CURB & GUTTER - TYPE A
MODIFIED NO. MC-100.01

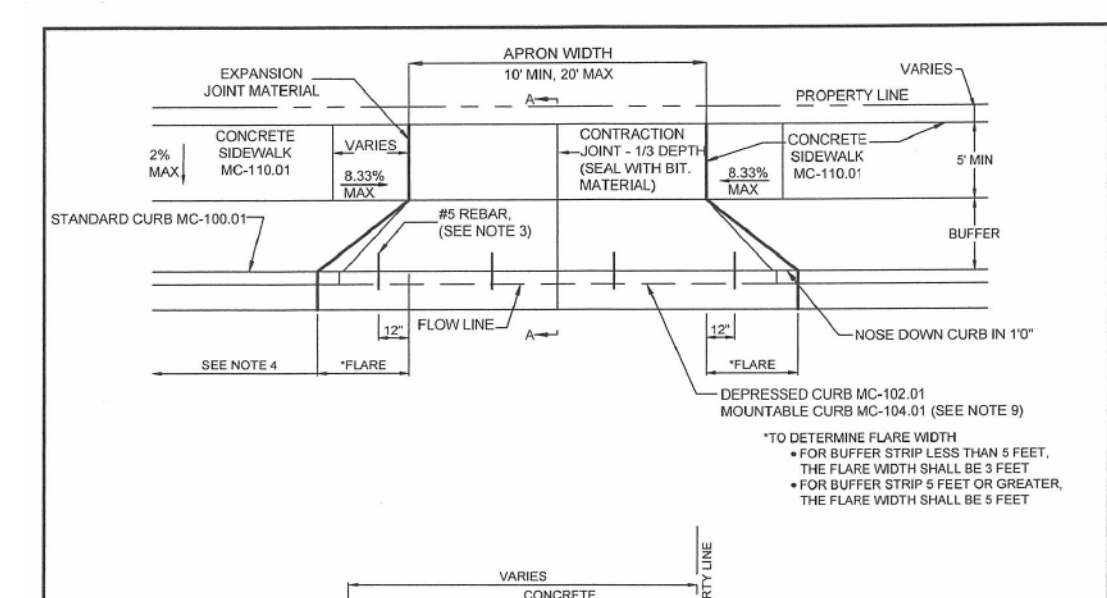
MOUNTABLE CONCRETE SPILL CURB & GUTTER - TYPE F
MODIFIED NO. MC-104.01



GENERAL NOTES

1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIAL AND METHODS OF CONSTRUCTION.
2. SIDEWALK RAMP SHOULD BE LOCATED AS REQUESTED. HOWEVER, EXISTING SURFACE UTILITIES AND EXISTING OR PROPOSED GEOMETRIES MAY AFFECT PLACEMENT.
3. EXPANSION JOINT MATERIAL SHALL BE 1/2" INCH PREFORMED COKE, TRIMMED AND SEALED WITH NON-STANNING TWO-COMPONENT POLYURETHANE OR POLYURETHANE ELASTOMERIC TYPE SEALANT, COMPLYING WITH ASTM-C920.

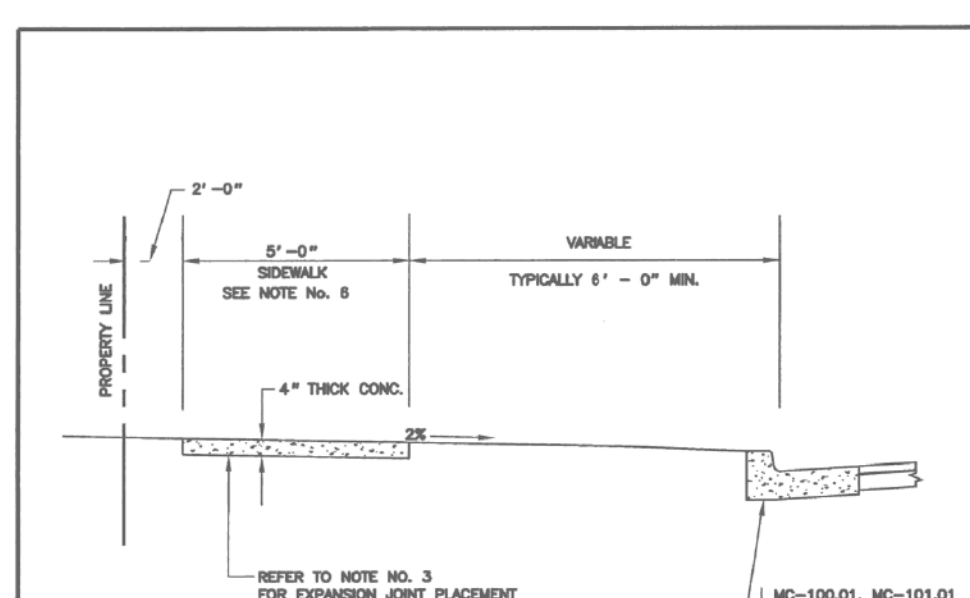
APPROVED 14 APR 06 DATE <i>[Signature]</i> DIRECTOR, DEPT. OF PUBLIC WORKS & TRANSPORTATION CHIEF, DIV. OF CAP. DEV.	REVISED DATE 4/20/04	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION RESIDENTIAL SIDEWALK RAMP STANDARD NO. MC-112.01
--	----------------------------	--



GENERAL NOTES

1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
2. REFER TO THE APPLICABLE MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS FOR DETAILS AT DRIVEWAYS.
3. EXPANSION JOINTS SHALL HAVE A MAXIMUM SPACING OF 100 FEET AND BE LOCATED AT POINTS OF CURVATURE. EXPANSION JOINT MATERIAL SHALL BE 1/2" INCH PREFORMED COKE, TRIMMED AND SEALED WITH NON-STANNING TWO-COMPONENT POLYURETHANE OR POLYURETHANE ELASTOMERIC TYPE SEALANT, COMPLYING WITH ASTM-C920.
4. SCORE THE CONCRETE TO A DEPTH OF 1/3 THE SLAB THICKNESS TO PROVIDE WEAKENED PLANE TRANSVERSE JOINTS AT 8'-0" INTERVALS.
5. REFER TO THE APPLICABLE ROAD STANDARD AND CURB AND GUTTER STANDARDS FOR OTHER OPTIONS.
6. SIDEWALK WIDTH SHALL BE 4'-0" FOR SECONDARY AND TERTIARY ROADWAYS.

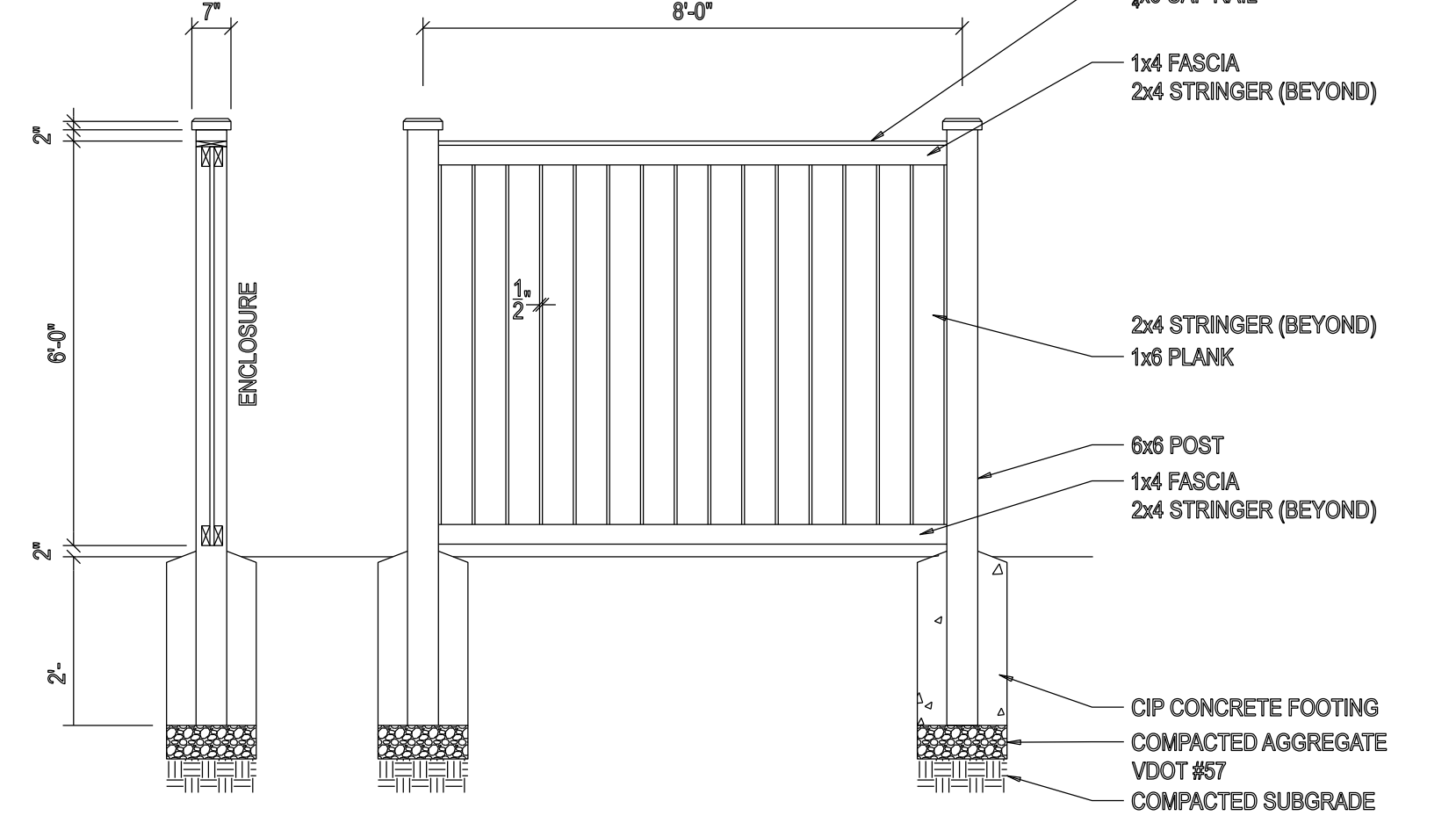
APPROVED 9/6/20 DATE <i>[Signature]</i> DIRECTOR, DEPT. OF PUBLIC WORKS	REVISED DATE 8/2016 10/19/13	MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION RESIDENTIAL SIDEWALK CLOSED SECTION STANDARD NO. MC-110.01
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GENERAL NOTES

1. REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
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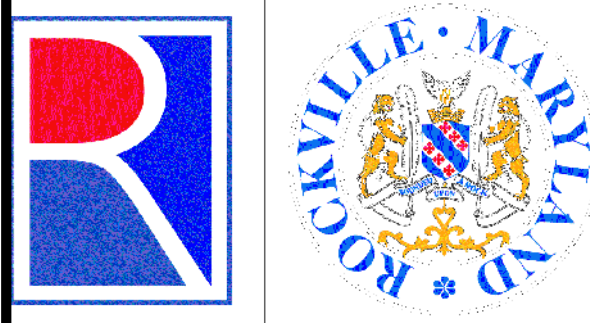


PRIVACY / SOUND FENCE

Manufacturer: Custom
Model: PVC Privacy Fence
Size: 6' HT. x 8' W. Panels
Mounting: CIP Concrete Footing
Comments: Or Approved Equivalent

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Environmental Sciences



NO.	REVISIONS	BY	DATE

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NOTES & DETAILS

SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

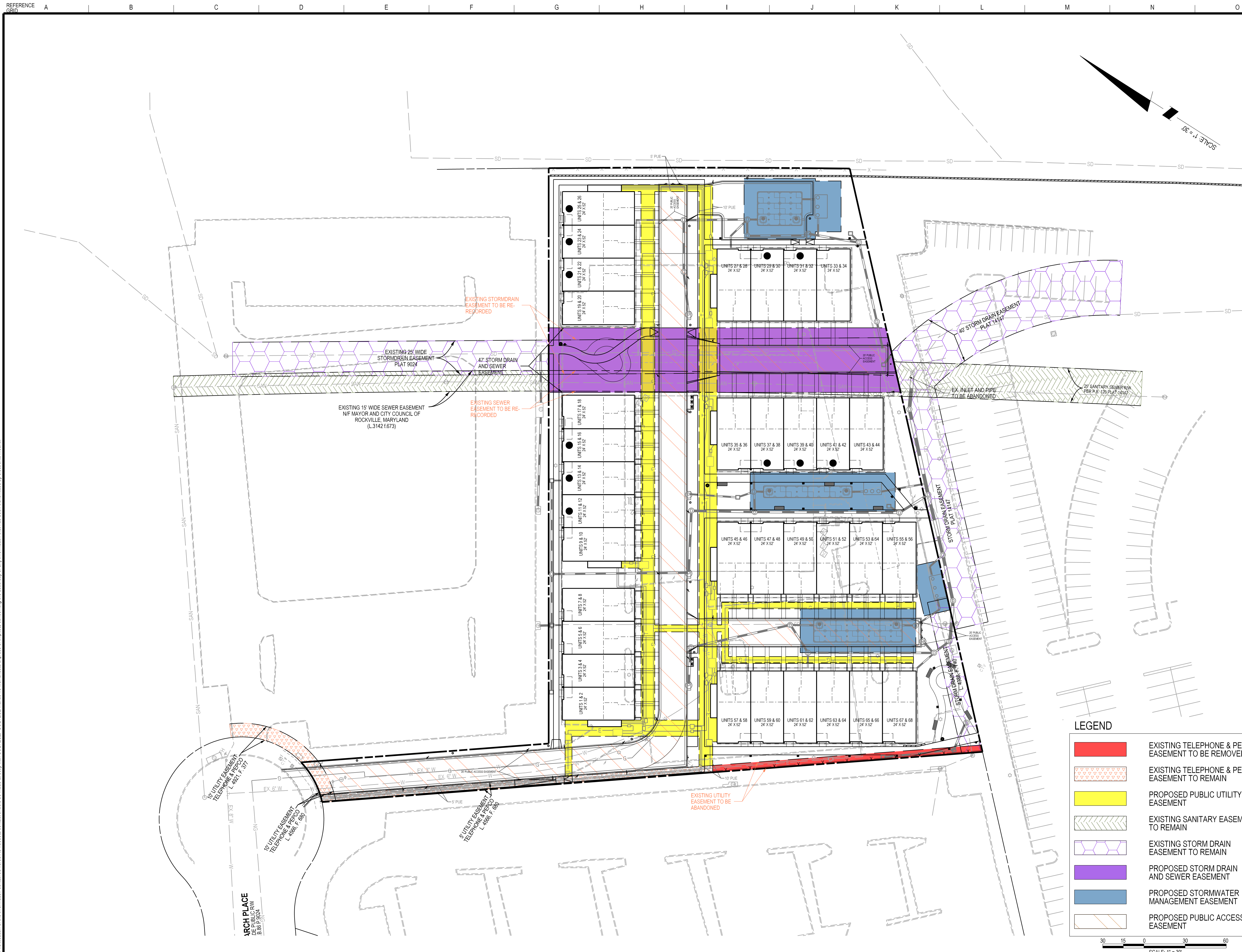
TAX MAP FS61, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATUM HORIZONTAL: BAAD 839.1 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD. S: CONNECT / VERSION: NCS	PROJECT NO. 4316-00-01

1 1/2" BITUMINOUS CONCRETE SURFACE COURSE	1 1/2" BITUMINOUS CONCRETE SURFACE COURSE
1 1/2" BITUMINOUS CONCRETE SURFACE COURSE	1 1/2" BITUMINOUS CONCRETE SURFACE COURSE
3" BITUMINOUS CONCRETE BASE COURSE	5" BITUMINOUS CONCRETE BASE COURSE
4" GRADED AGGREGATE BASE COURSE	APPROVED SUBGRADE

NOTES:
- ANY ASPHALT COURSE THAT EXCEEDS 4" IN THICKNESS MUST BE APPLIED IN TWO COURSES OR LAYERS.
- PAVING SECTION IS SUBJECT TO CHANGE PENDING SOIL ANALYSIS.

ALTERNATE PAVING SECTIONS
PRIVATE DRIVE AISLES

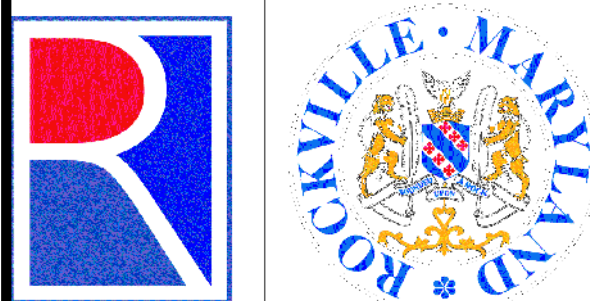
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NO.	REVISIONS	BY	DATE
MISSING UTILITY NOTE			
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-257-2777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.			

OWNER / DEVELOPER / APPLICANT
 2 RESEARCH PLACE, LLC
 2 RESEARCH PLACE, SUITE 100
 ROCKVILLE, MD 20850
 301-948-2750
 CONTACT: JAMES SOLTESZ
 EMAIL: JSOLTESZ@SOLTESZCO.COM

PROFESSIONAL CERTIFICATION
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 LICENSE NO. _____ EXPIRATION DATE: _____

EASEMENTS EXHIBIT
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

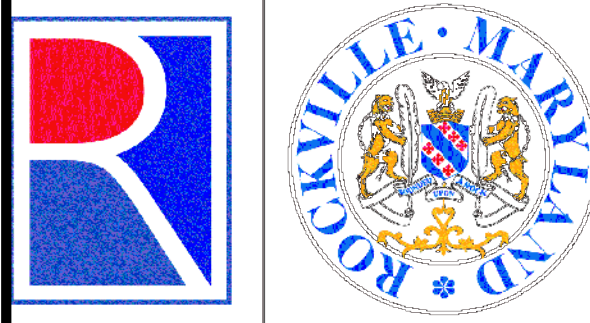
LEGEND

	EXISTING TELEPHONE & PEPCO EASEMENT TO BE REMOVED
	EXISTING TELEPHONE & PEPCO EASEMENT TO REMAIN
	PROPOSED PUBLIC UTILITY EASEMENT
	EXISTING SANITARY EASEMENT TO REMAIN
	EXISTING STORM DRAIN EASEMENT TO REMAIN
	PROPOSED STORM AND SEWER EASEMENT
	PROPOSED STORMWATER MANAGEMENT EASEMENT
	PROPOSED PUBLIC ACCESS EASEMENT

TAX MAP FSS1, 0000	ZONING CATEGORY: MXE
WSSC 200 SHEET 220NW09	SITE DATA: HORIZONTAL: BAO 8381 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS	
SHEET 5 OF 13	
PROJECT NO. 4316-00-01	

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REVISIONS

NO.	REVISIONS	BY	DATE

MISS UTILITY NOTE

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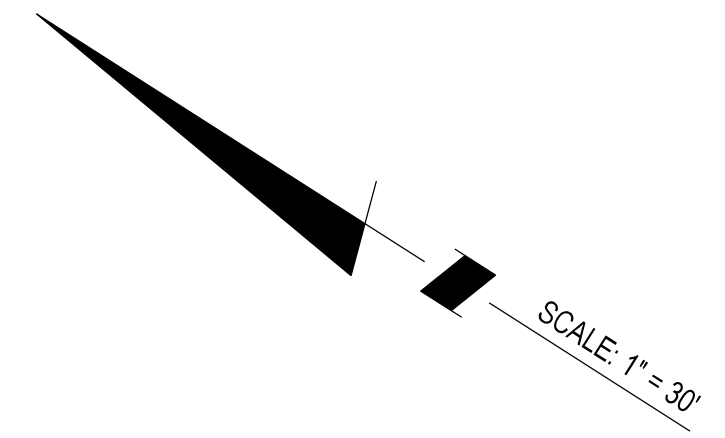
2 RESEARCH PLACE, LLC
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PUBLIC USE SPACE, PARKS & OPEN SPACE
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP: FSS1, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET: 220NW09	SITE DATA: HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026	DESIGNED: JS
TECHNICIAN: JS	CHECKED: JDS
CAD STD: CONNECT /	VERSION: NCS
PROJECT NO.: 4316-00-01	



DWIGHT D. EISENHOWER HIGHWAY
 (PUBLIC R/W WIDTH VARIES)

PROPOSED SOUND FENCE

FUTURE DEVELOPMENT SOUND WALL

EMERGENCY ACCESS BOLLARDS

PARCEL E, BLOCK A
 WASHINGTON NATIONAL PIKE
 PANAMIN OFFICE RESEARCH LLC

PROPOSED 6' PRIVACY FENCE

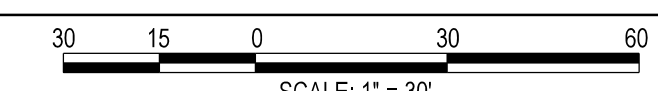


ARCH PLACE
 DE PUBLIC R/W
 B 86 P 5024

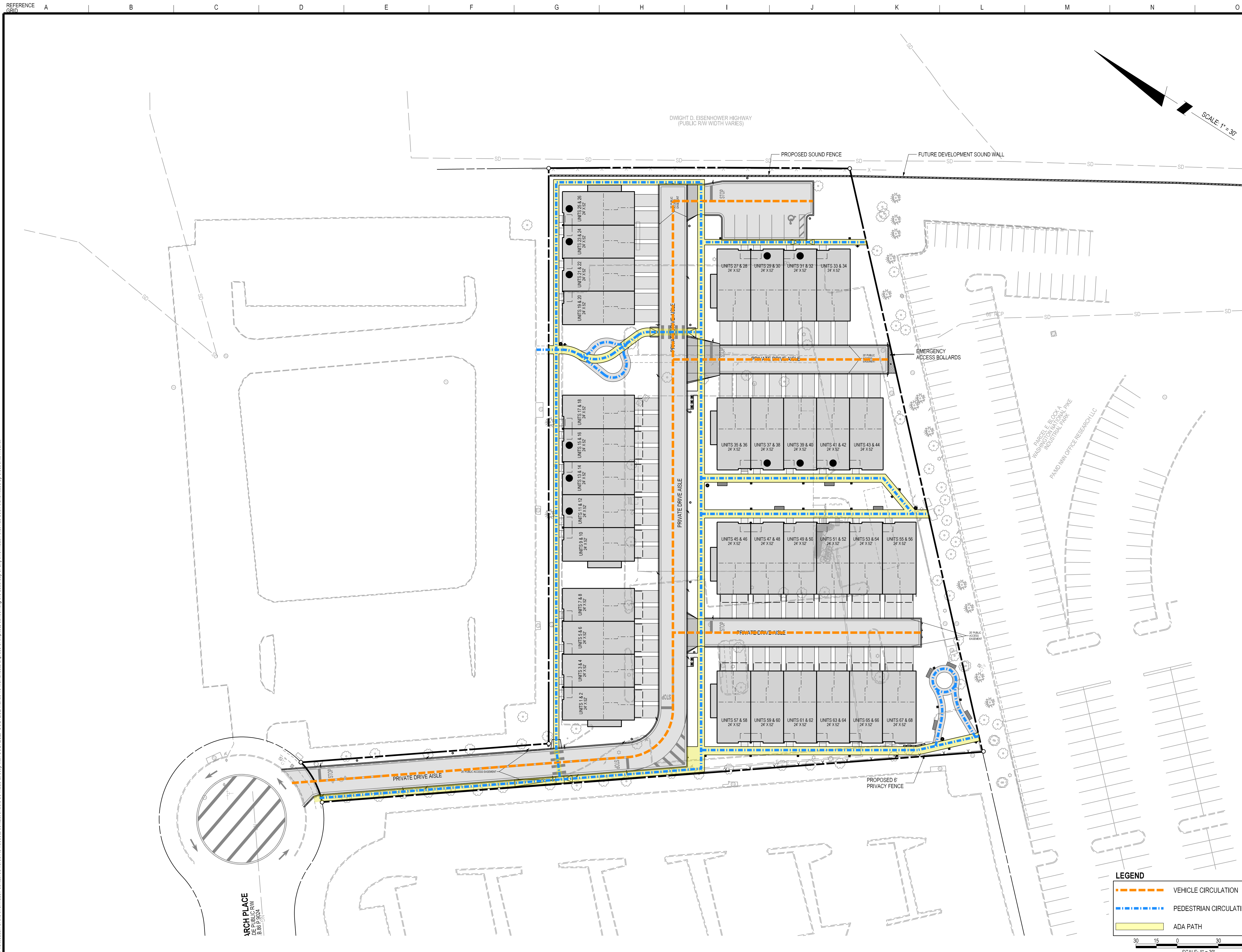
PUBLIC USE SPACE & OPEN AREA

NET TRACT AREA: 2.82 AC / 122,804 SF

PUBLIC USE SPACE	REQUIRED: 5.00% (0.58 AC / 6,140 SF) PROVIDED: 7.69% (0.22 AC / 9,447 SF)
OPEN AREA	REQUIRED: 20.00% (0.56 AC / 24,560 SF) PROVIDED: 32.90% (0.93 AC / 40,407 SF)



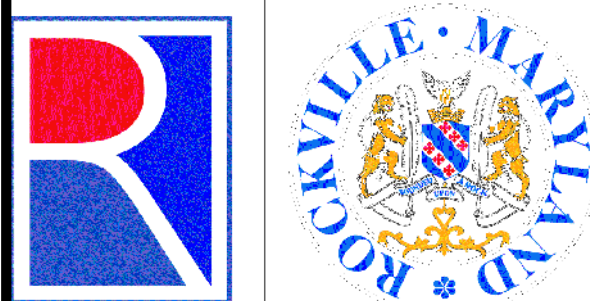
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ON-SITE VEHICLE & PEDESTRIAN CIRCULATION PLAN
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

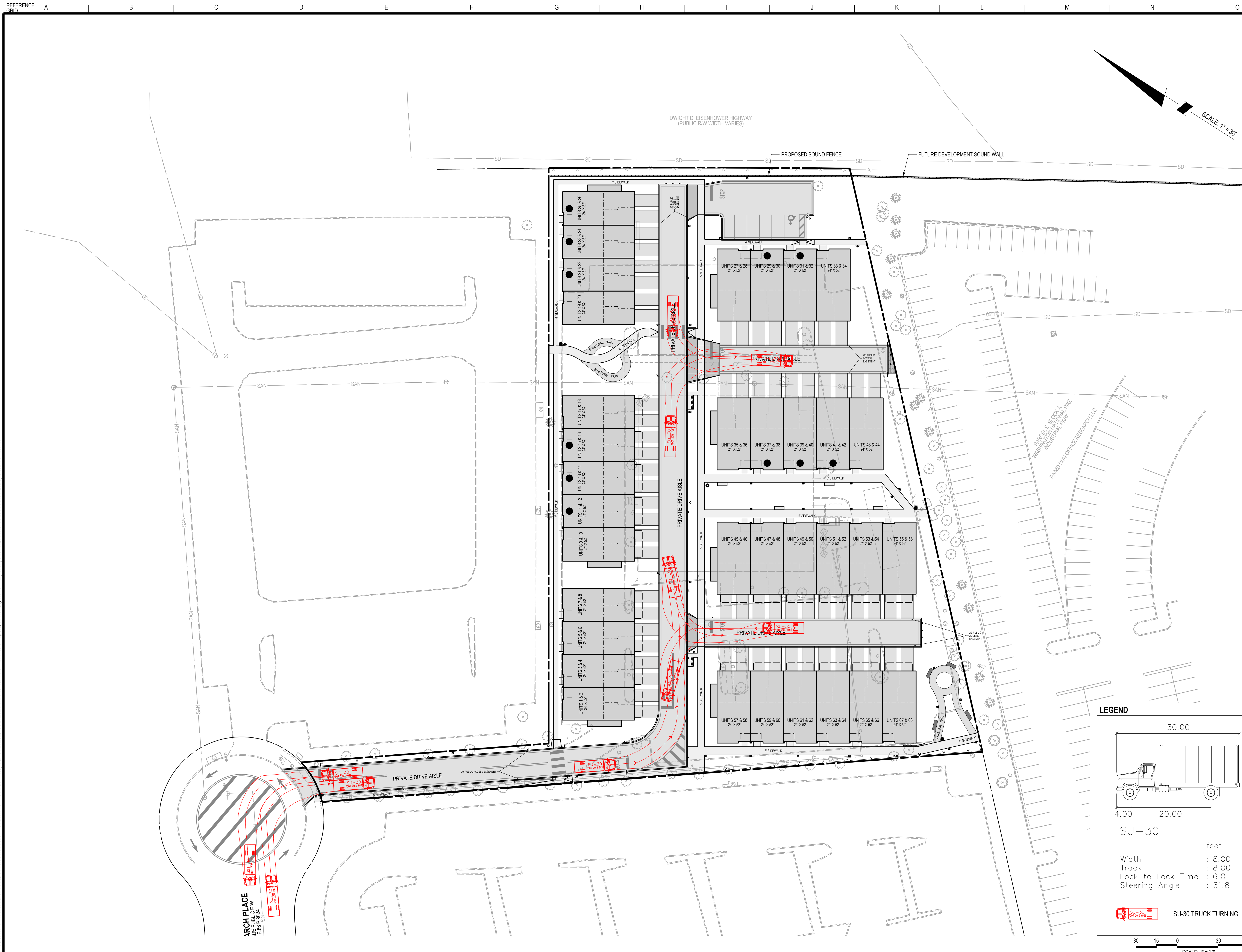
TAX MAP FS61, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA: HORIZONTAL: NAD 83/91 VERTICAL: NAD 83/91
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS
PROJECT NO. 4316-00-01	

LEGEND

- VEHICLE CIRCULATION
- PEDESTRIAN CIRCULATION
- ADA PATH

SCALE: 1" = 30'

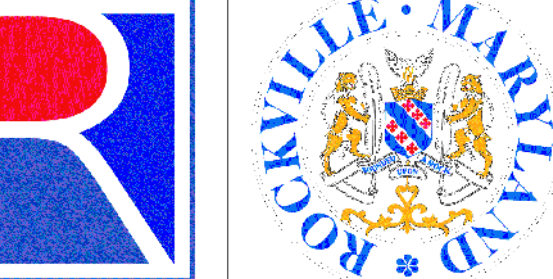
ARCH PLACE
 DE PUBLIC R/W
 B 88' P 0/24



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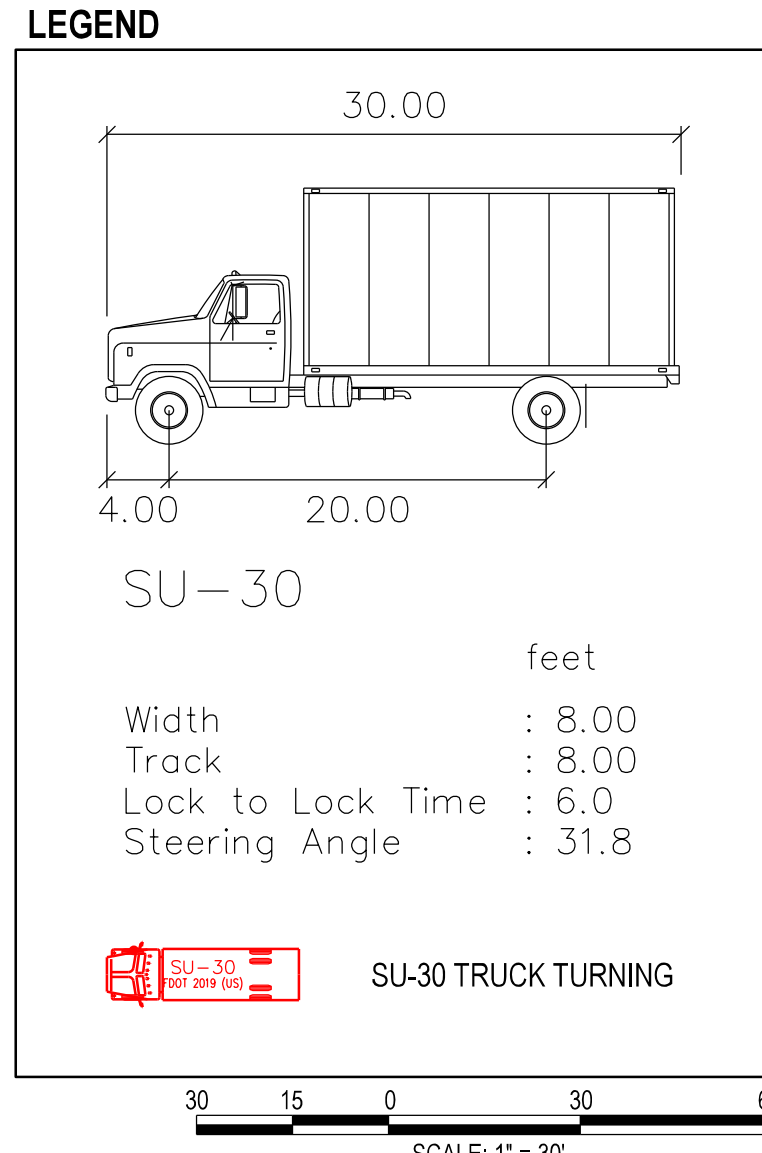
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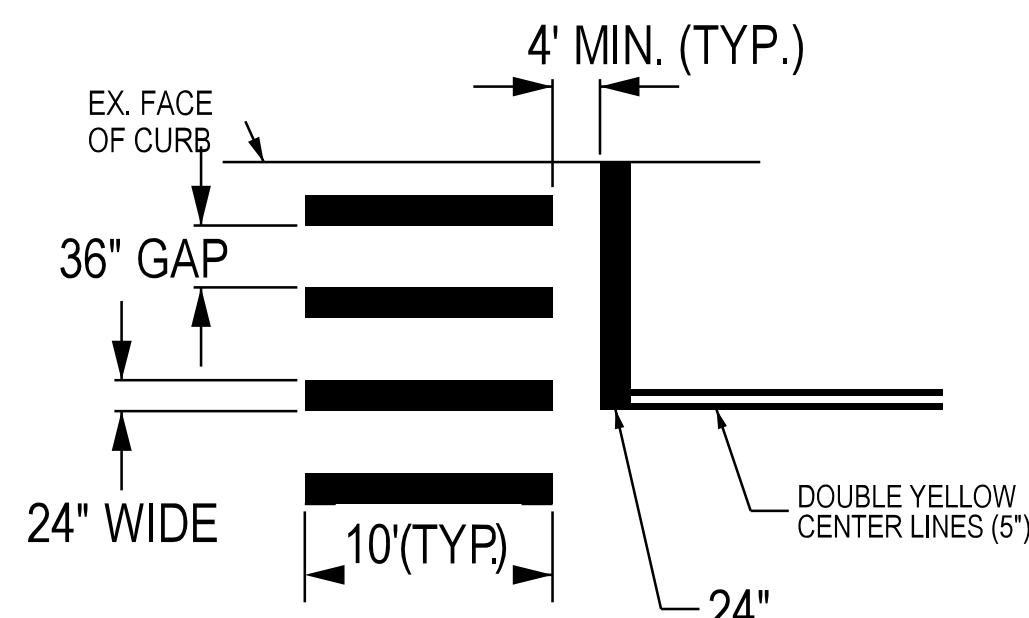
DELIVERY TRUCK TURNING EXHIBIT
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FS61_0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA HORIZONTAL: BAO 839'1 VERTICAL: NVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS
SHEET 9 OF 13	PROJECT NO. 4316-00-01



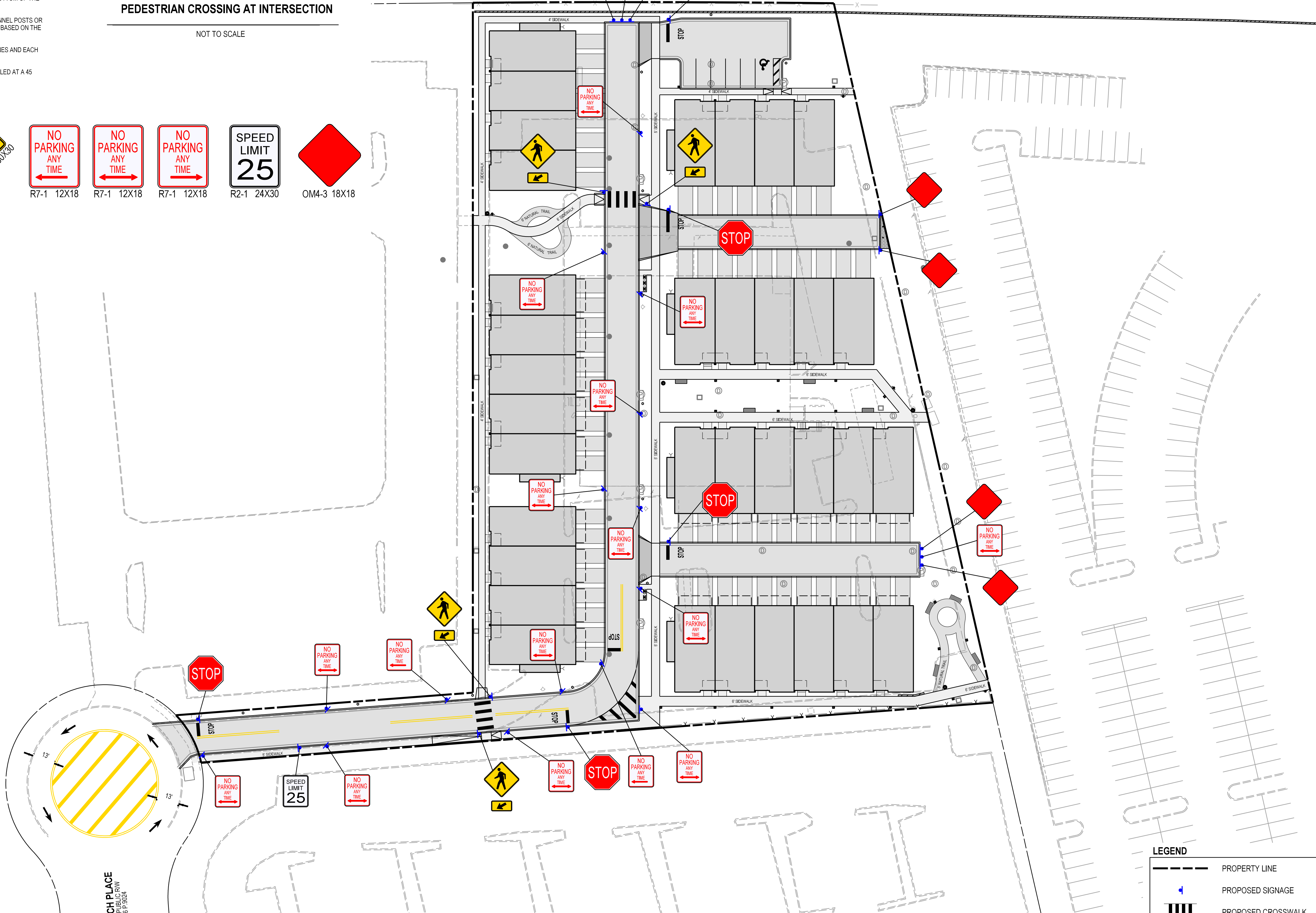
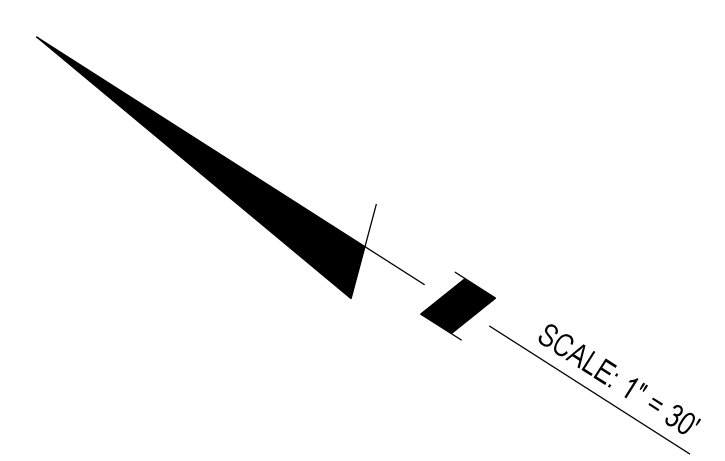
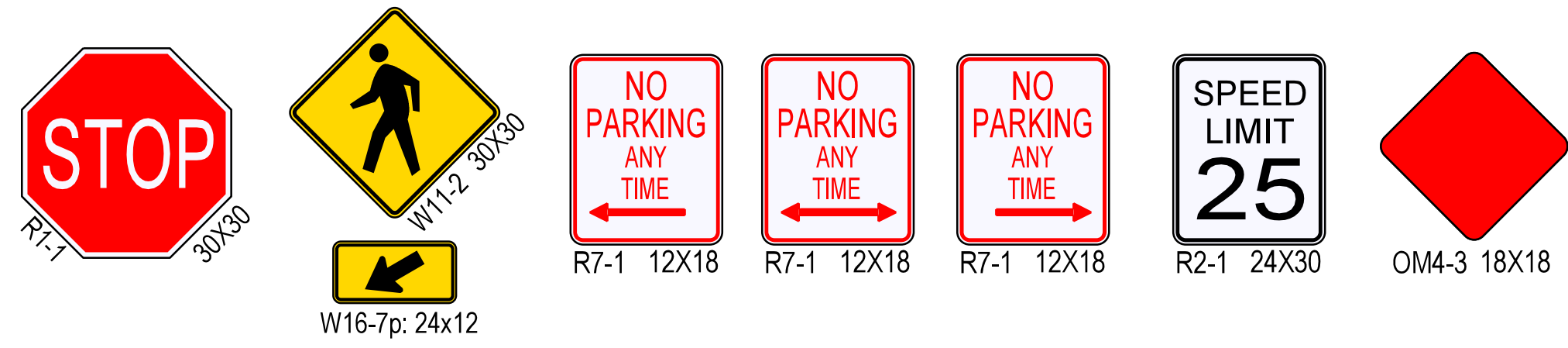
PAVEMENT MARKINGS AND SIGNING NOTES:

1. ALL SIGNING AND MARKING SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MARYLAND MUTCD), MARYLAND STATE HIGHWAY ADMINISTRATION'S BOOK OF STANDARDS, SPECIFICATIONS, AND GUIDELINES.
2. PROPOSED SIGN & MARKING LOCATIONS ARE APPROXIMATE AND MAY BE MODIFIED IN THE FIELD.
3. LIMITS SHOWN OF PROPOSED PAVEMENT MARKINGS ARE APPROXIMATE AND MAY BE MODIFIED IN THE FIELD TO ENSURE THAT PROPOSED PAVEMENT MARKINGS DO NOT CONFLICT WITH PERIPHERAL MARKINGS.
4. MAINTENANCE OF TEMPORARY PAVEMENT MARKINGS AND SIGNS SHALL BE THE CONTRACTOR'S RESPONSIBILITY UNTIL IMPLEMENTATION OF FINAL PAVEMENT MARKINGS AND SIGNS.
5. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, NOT PAINT.
6. SIGN HEIGHT SHALL BE MINIMUM 7 FEET FROM THE BOTTOM OF THE SIGN FACE TO THE GROUND.
7. FOR SIGN POSTS, USE EITHER 2" GALVANIZED U CHANNEL POSTS OR GALVANIZED BREAKAWAY TUBULAR STEEL SIGN POSTS BASED ON THE MD SHA STANDARD #802.04.
8. CENTERLINE MARKING SHALL BE DOUBLE YELLOW LINES AND EACH LINE SHALL BE 5 INCH WIDE.
9. IN GENERAL, 'NO PARKING' SIGNS SHOULD BE INSTALLED AT A 45 DEGREE ANGLE.



PEDESTRIAN CROSSING AT INTERSECTION

NOT TO SCALE



LEGEND

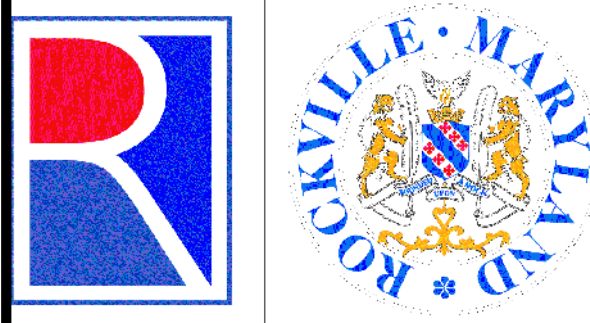
- PROPERTY LINE
- ▲ PROPOSED SIGNAGE
- ▨ PROPOSED CROSSWALK

SCALE: 1" = 30'

NOTE: ALL PAVEMENT MARKINGS SHOWN IN BLACK ARE TO BE PAINTED WHITE.

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MISS UTILITY NOTE

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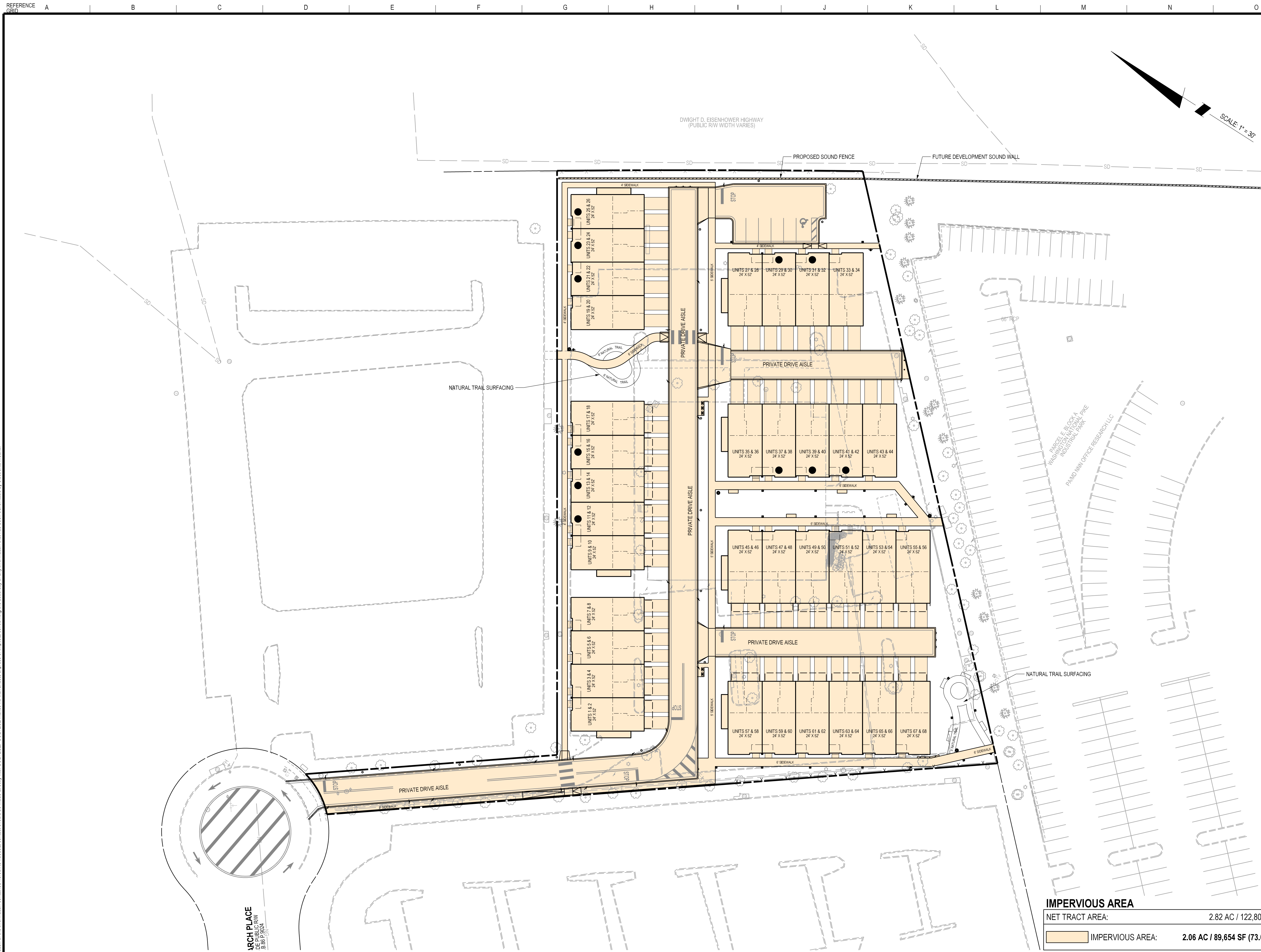
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 LICENSE NO. _____ EXPIRATION DATE: _____

PRIVATE PAVEMENT MARKING & SIGNAGE PLAN
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FSS1_0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA: HORIZONTAL: HAD 83891 VERTICAL: NGVD29
SHEET 10	DATE: 2/26/2026
OF 13	DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS
PROJECT NO. 4316-00-01	

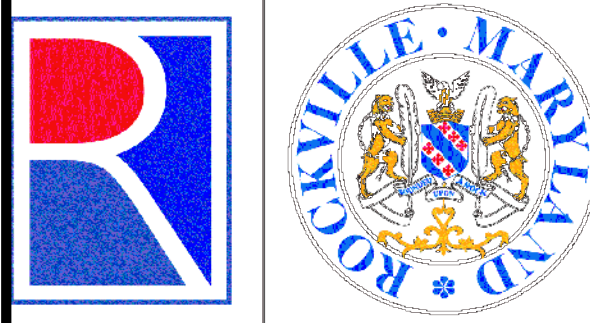
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IMPERVIOUS AREA EXHIBIT
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

IMPERVIOUS AREA

NET TRACT AREA:	2.82 AC / 122,804 SF
IMPERVIOUS AREA:	2.06 AC / 89,654 SF (73.00%)



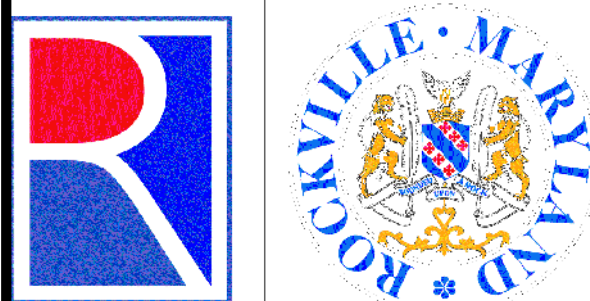
TAX MAP	FSS1, 0000	ZONING CATEGORY:	MXE
WSSC 200 SHEET	220NW09	SITE DATA#	HAD 83891
		HORIZONTAL:	NGVD29
		VERTICAL:	
DATE:	2/26/2026	DESIGNED:	JS
TECHNICIAN:	JS	CHECKED:	JDS
CAD STD'S:	CONNECT /	VERSION:	NCS
SHEET	11	PROJECT NO.	4316-00-01
OF	13		



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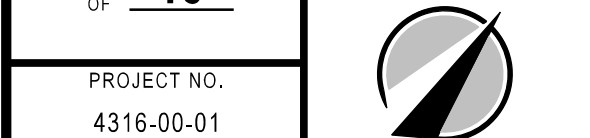
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COLOR CODED UTILITY EXHIBIT
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

LEGEND

	EXISTING WATER
	PROPOSED WATER
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING SANITARY
	PROPOSED SANITARY
	EXISTING GAS
	PROPOSED GAS
	EXISTING ELECTRIC & TELECOM TO BE REMOVED
	PROPOSED ELECTRIC
	PROPOSED TELECOM
	PROPOSED HAND HOLE
	EXISTING LIGHTS
	PROPOSED LIGHTS
	PROPOSED STORM WATER MANAGEMENT FACILITIES

TAX MAP: FSS1, 000	ZONING CATEGORY: MXE
WSSC 200' SHEET: 220N09	SITE DATA: HORIZONTAL: NAD 83/91, VERTICAL: NAVD83
DATE: 2/26/2026	DESIGNED: JS
TECHNICIAN: JS	CHECKED: JDS
CAD STD'S: CONNECT /	VERSION: NCS
PROJECT NO.: 4316-00-01	

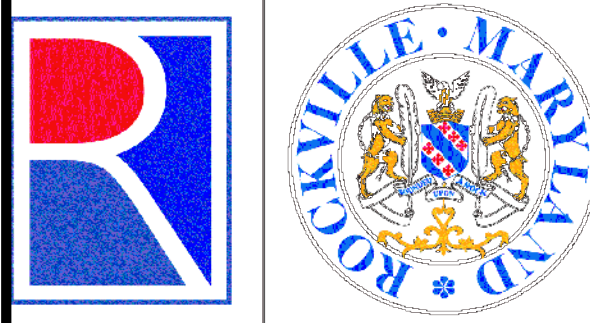




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NO.	REVISIONS	BY	DATE

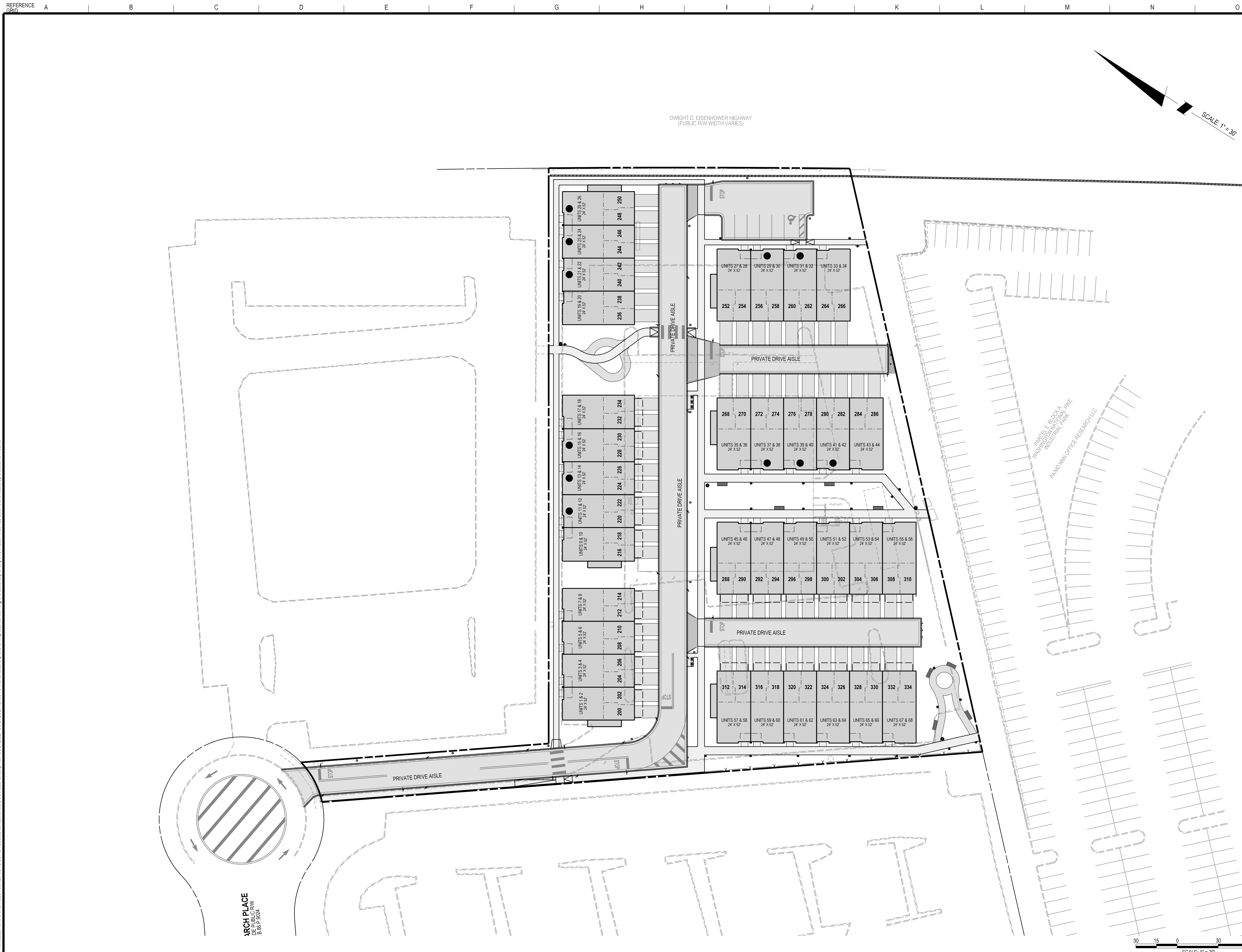
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 301-948-2750
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 EMAIL: JSOLTESZ@SOLTESZCO.COM

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 LICENSE NO. _____ EXPIRATION DATE: _____

FUTURE DEVELOPMENT EXHIBIT
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

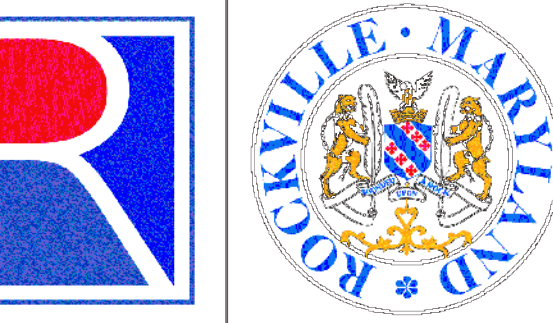
TAX MAP: FSS1_000	ZONING CATEGORY: MXE
WSSC 200' SHEET: 220NW09	SITE DATA: HORIZONTAL: IAD 839'1 VERTICAL: NGVD29
DATE: 2/27/2026	DESIGNED: JS
TECHNICIAN: JS	CHECKED: JDS
CAD STD'S: CONNECT /	VERSION: NCS
PROJECT NO.: 43116-00-01	



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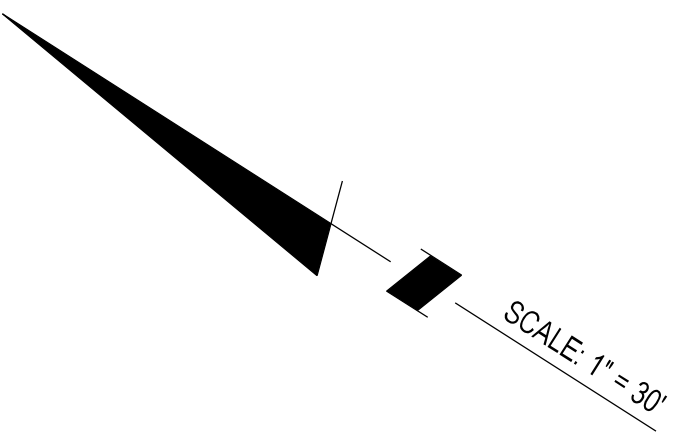
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ADDRESS PLAN
SITE PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FS61, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA: HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS	
SHEET 13 OF 13	PROJECT NO. 4316-00-01



30 15 0 30 60
 SCALE: 1" = 30'

PLANT SCHEDULE							
QUANTITY	CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	B&B/CONT.	REMARKS
DECIDUOUS TREES							
4	ARC	<i>Acer rubrum</i> 'Columnare'	Columnar Red Maple	2.5' Cal.	As Shown	B&B	Matching
12	GBP	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5' Cal.	As Shown	B&B	Male, Matching
7	POC	<i>Platanus occidentalis</i>	Sycamore	2.5' Cal.	As Shown	B&B	Matching
11	QPH	<i>Quercus phellos</i> 'Hightower'	Hightower Willow Oak	2.5' Cal.	As Shown	B&B	Matching
5	QRU	<i>Quercus rubra</i>	Northern Red Oak	2.5' Cal.	As Shown	B&B	Matching
ORNAMENTAL TREES							
8	CAN	<i>Cercis canadensis</i>	Eastern Redbud	10' Ht.	As Shown	B&B	Single Stem, Matching
5	LIM	<i>Lagerstroemia indica</i> 'Muskogee'	Muskogee Crepe Myrtle	10' Ht.	As Shown	B&B	Multi-Stem
3	MAS	<i>Magnolia x soulangeana</i>	Saucer Magnolia	10' Ht.	As Shown	B&B	Single Stem, Matching
EVERGREEN TREES							
6	INS	<i>Ilex x Nelly R. Stevens</i>	Nelly Stevens Holly	10' Ht.	As Shown	B&B	Matching
EVERGREEN SHRUBS							
32	Agp	<i>Azalea</i> 'Gumpo Pink'	Gumpo Pink Azalea	24"	As Shown	Cont.	Dense, Full
133	Bwg	<i>Buxus microphylla</i> 'Winter Gem'	Winter Gem Boxwood	30"	As Shown	Cont.	Dense, Full
20	Igl	<i>Ilex glabra</i>	Inkberry	36"	As Shown	Cont.	Dense, Full
9	Kal	<i>Kalmia latifolia</i>	Mountain Laurel	36"	As Shown	Cont.	Dense, Full
143	Plo	<i>Prunus laurocerasus</i> 'Otto Luyken'	Otto Luyken Laurel	36"	As Shown	Cont.	Dense, Full
28	Pls	<i>Prunus laurocerasus</i> 'Schipkaensis'	Schip Laurel	72"	As Shown	Cont.	Dense, Full
32	Rho	<i>Rhododendron maximum</i>	Great Rhododendron	48"	As Shown	Cont.	Dense, Full
79	Tag	<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	72"	As Shown	Cont.	Dense, Full
DECIDUOUS SHRUBS							
29	Hyd	<i>Hydrangea arborescens</i>	Smooth Hydrangea	48"	As Shown	Cont.	Dense, Full
22	Ivt	<i>Ilex verticillata</i>	Smooth Winterberry	36"	As Shown	Cont.	Dense, Full
13	Ham	<i>Hamamelis virginiana</i>	American Witch-Hazel	60"	As Shown	Cont.	Dense, Full
PERENNIALS							
206	Adi	<i>Adiantum pedatum</i>	Maidenhair Fern	#1	18" o.c.	Cont.	Full, Mature
374	AcS	<i>Astilbe chinensis</i> var. 'taquetii' 'Superba'	Superba False Spirea	#1	18" o.c.	Cont.	Full, Mature
45	Ger	<i>Geranium maculatum</i>	Wild Geranium	#1	12" o.c.	Cont.	Full, Mature
309	Heu	<i>Heuchera americana</i>	Coral Bells	#1	12" o.c.	Cont.	Full, Mature
376	Pol	<i>Polemonium reptans</i>	Spreading Jacob's Ladder	#1	12" o.c.	Cont.	Full, Mature
50	Rud	<i>Rubbeckia hirta</i>	Black-Eyed-Susan	#1	18" o.c.	Cont.	Full, Mature
GRASSES							
593	Car	<i>Carex pensylvanica</i>	Pennsylvania Sedge	#1	12" o.c.	Cont.	Full, Mature
GROUNDCOVER							
289	Gau	<i>Gaueheria procumbens</i>	Eastern Teaberry	#1	12" o.c.	Cont.	Full, Mature
ANNUALS							
94	Ann	Annuals	Annuals	#1	12" o.c.	Cont.	Full, Mature

NOTE: OFFSITE TREES ARE NOT INCLUDED IN THIS PLANT SCHEDULE. PLEASE SEE PRELIMINARY FOREST CONSERVATION PLAN FOR OFFSITE TREE SCHEDULE.

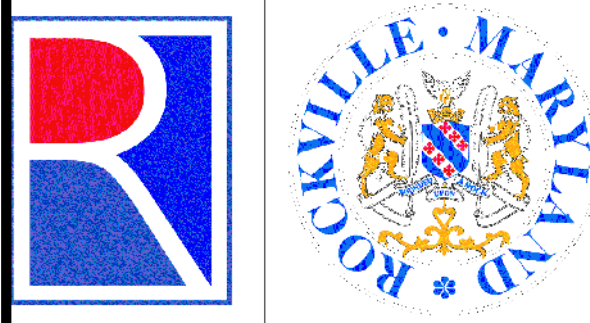


LEGEND

- PROPERTY BOUNDARY
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING GAS
- PROPOSED GAS
- EXISTING ELECTRIC
- PROPOSED ELECTRIC
- EXISTING TELECOM
- PROPOSED TELECOM
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- PROPOSED MPDUs
- PROPOSED STORMWATER MANAGEMENT FACILITIES
- PROPOSED SHADE TREES
- PROPOSED EVERGREEN TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED OFFSITE TREES
- PROPOSED SHRUBS
- PROPOSED GRASSES, PERENNIALS & GROUNDCOVERS

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DETAILED SITE PLAN
LANDSCAPE & LIGHTING PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FS61, 0000	ZONING CATEGORY: MXE
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DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS
SHEET L-1 OF L-5	PROJECT NO. 4316-00-01

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Planting Notes for Landscape Plans

NOVEMBER 2019

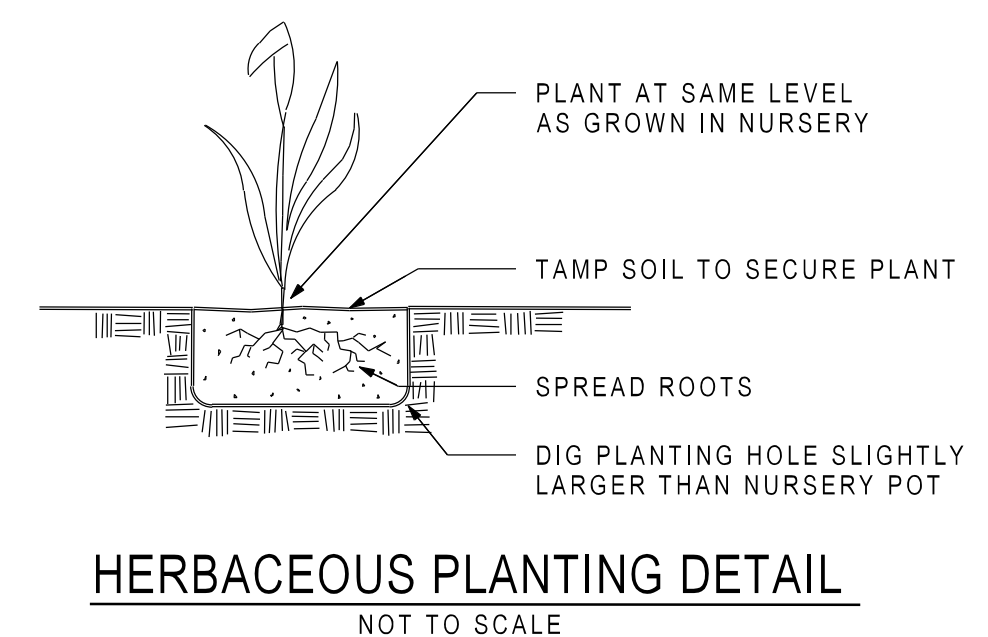
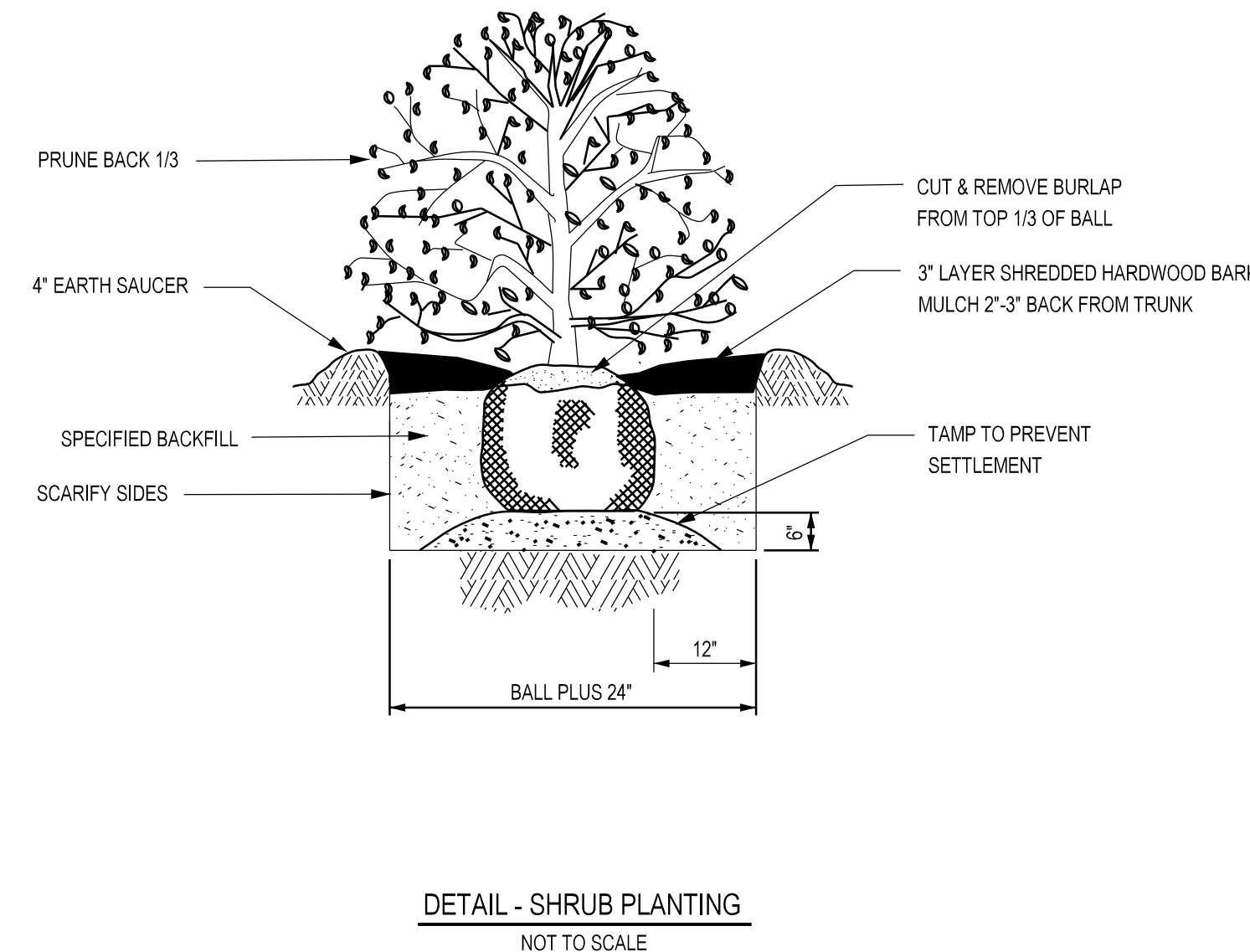
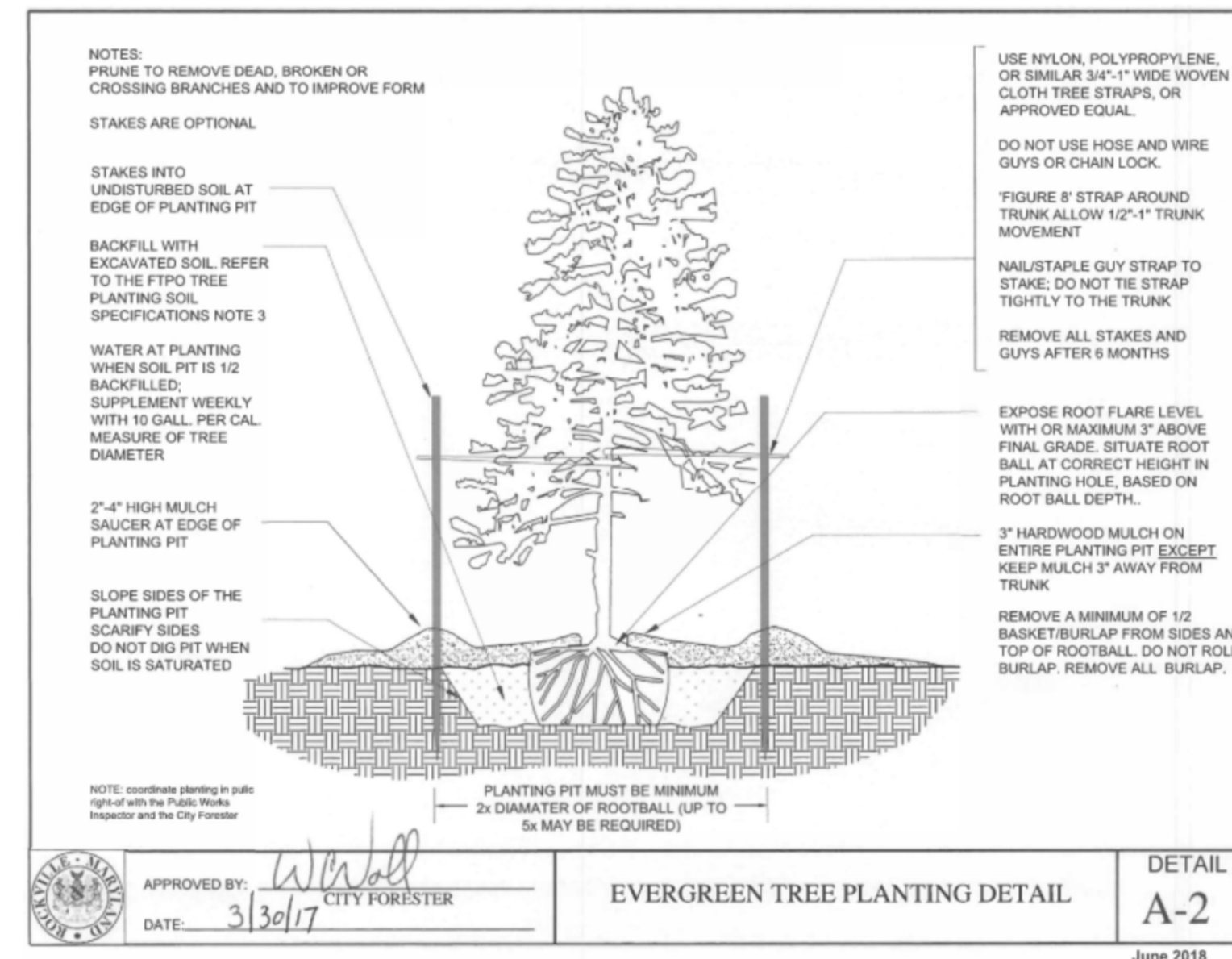
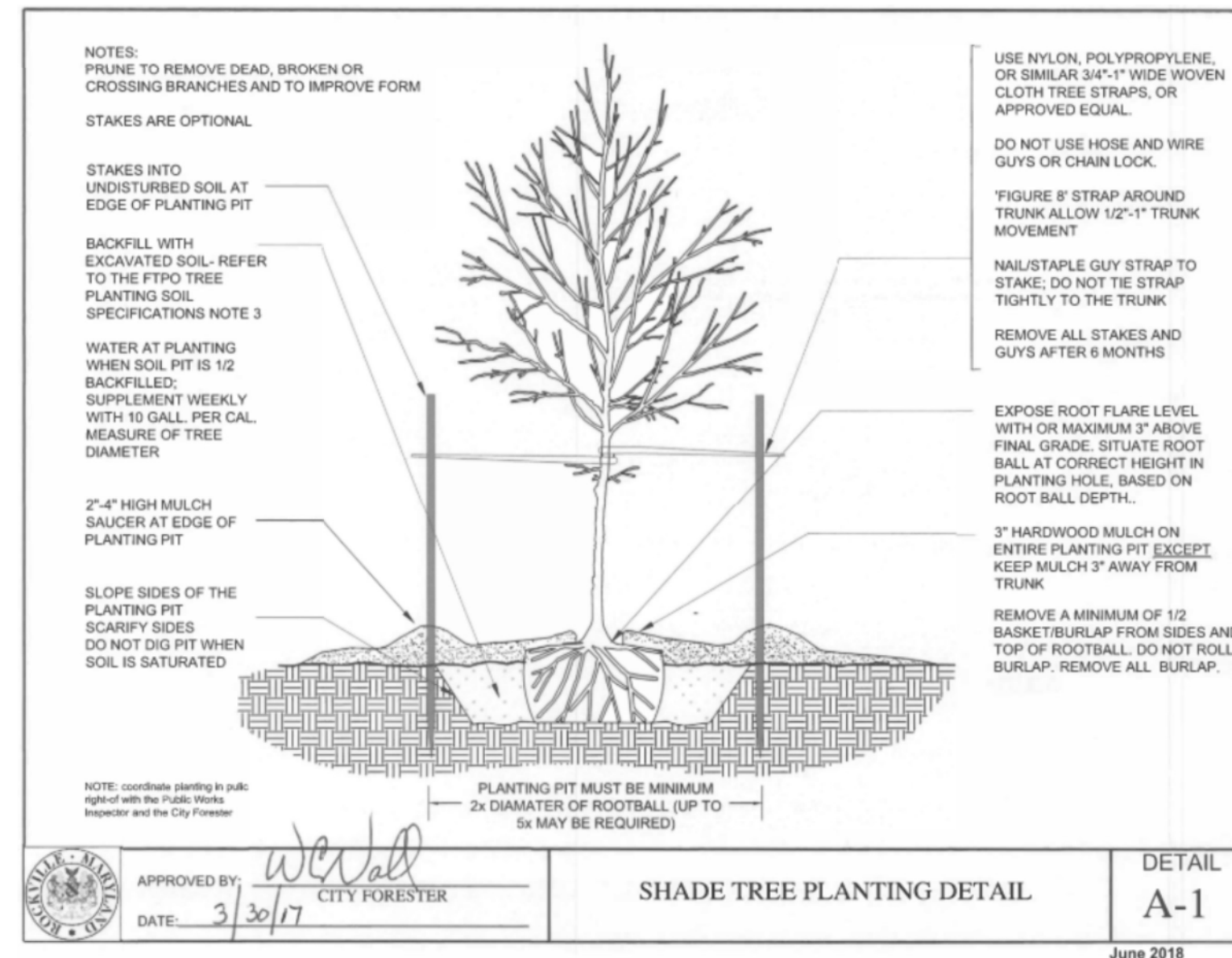
INSTALLATION OF PLANT MATERIAL

- The Permittee is responsible for obtaining the approved Forest Conservation Plan/Landscape Plan and providing a copy to the Landscape Contractor. The Permittee shall ensure that the Landscape Contractor can secure the plants shown the FCP/Landscape Plan. Plant substitutions are not allowed. It is strongly recommended that plant material be secured from supplier by the project start date.
- A pre-planting meeting is required before installation of landscaping, afforestation, or reforestation. The applicant must schedule an on-site pre-planting meeting with the City Forestry Inspector. Attendees must include the Permittee, landscape contractor, and Forestry Inspector. Trees and shrubs shall conform to the current edition of the American Standard for Nursery Stock (ANSI Z60.1).
- Comply with appropriate City Soil Specification:
 - Soil Specification FOR TREE PLANTING WHERE EXISTING PAVEMENT OR OTHER IMPERVIOUS SURFACES WERE PREVIOUSLY LOCATED OR WHERE EXISTING GREENSPACE HAS BEEN SEVERELY DEGRADED¹
 - Site Preparation
 - Demolish existing impervious surface and remove all existing asphalt, concrete, stone and construction materials to expose subsoil free of debris.
 - Excavate so that final planting bed will provide quality soil to a depth of forty-eight (48) inches, and to a radius of 10' minimum or to new hard edge of planting bed, whichever is less.
 - Loosen exposed subsoil below 48" by ripping 18" into the sub grade elevation.
 - Test to ensure that planting bed drains at a rate of at least 1 inch per hour.
 - Install imported soil to fill excavated planting bed. Imported soil shall have a texture of LOAM, per the USDA soil classification system and a chemical composition compatible with healthy tree growth. When installing the soil, it should be installed in lifts or layers of < 12 inches (30 cm), tamping or watering (not both) between lifts to minimize potential settling.
 - Immediately prior to installation of plant material, the soil must be tested and must have a pH range between 5.5 and 7 and a nutrient content which corresponds to an adequate rating, per current industry standards. Amend soil, if necessary, to achieve the current industry standard.
 - The Forestry Inspector may require additional soil specifications, based on site conditions.
 - Soil Specification FOR PLANTING WHERE EXISTING GREEN SPACE HAS NOT BEEN PROTECTED FROM CONSTRUCTION IMPACTS BUT IS NOT SEVERELY DEGRADED.
 - Site Preparation:
 - Remove all construction debris and top four to six inches of existing soil.
 - Test remaining existing soil to verify a pH range between 5.5 and 7, and has a nutrient content which corresponds to an adequate rating, per current industry standards.
 - Apply four (4) inches of mature compost evenly over the entire planting surface. (4" = 12 Cubic Yard/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
 - Till the compost into the existing soil to a minimum depth of thirty-six (36) inches using the city's soil profile rebuilding specification.
 - If soil does not meet nutrient standards, mitigate soil chemistry to meet the chemical parameters.
 - The Forestry Inspector may require additional soil specifications, based on site conditions.
- Soil Specification FOR PLANTING WITHIN EXISTING GREEN SPACE AREAS WHICH HAVE BEEN PROTECTED FROM CONSTRUCTION IMPACTS (One of two options, as determined by Forestry Inspector) Refer to approved City of Rockville Detail A-7

- Test existing soil to verify it has a pH range between 5.5 and 7, and a nutrient content which corresponds to an adequate rating, per current industry standards. If soil does not meet nutrient standards, one of two options will be performed to mitigate the soil:
 - Option 1 - Till Method- Depth of tilling for planting must be at least twenty-four (24) inches:
 - Apply four (4) inches of mature compost evenly over the entire planting surface (4" = 12 cubic yards/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
 - Till the compost into the existing soil to a minimum depth of twenty-four (24") inches.
 - Option 2 - Aeration and Vertical Mulching
 - Using a 2- 3" Auger, drill a series of holes in the soil to a depth of twenty-four (24) inches.
 - Begin at the edge of the hole dug for the root ball and continue drilling at one-foot intervals (maximum), in concentric rings around the tree out to ten (10) feet from the tree.
 - Each hole must be refilled with mature compost.
 - The Forestry Inspector may require additional soil specifications, based on site conditions.
- Soil testing of the existing soil may be conducted with PRIOR approval from the City's Forestry Inspector to determine the number and location of the samples. The above requirements may be reduced if soil testing shows the following:
 - Soil pH is between 5.5 and 7
 - The top 24" of existing soil contains a minimum of 4-6% organic matter by weight
 - The soil is free of contaminants
 - The soil texture is sandy loam or loam
 - The soil has an infiltration rate not less than 1" per hour
 - The soil does not contain debris or stones greater than one inch
 - The soluble salt content is less than 3 dS/m
 - Consult the University of Maryland Extension website: <http://extension.umd.edu/> for a listing of commercial soil testing facilities.
- Soil preparation is required for street trees planted within the city's rights-of-way and private street trees, if they are part of the approved plan.
- The depths and grades shown on plan drawings are final grades after settlement and shrinkage of the organic material. The contractor shall install the soil mix at a higher level to anticipate this reduction of volume. All grades are assumed to be "as measured" to be prior to the addition of any surface compost till layer or mulch or sod.
- All details of the planting plans regarding plant quality and proper planting will be discussed including but not limited to:
 - Plant quality.
 - Proper form for species.
 - Proper ratio of caliper size/height to container size/root ball size.
 - Proper pruning cuts if applicable in accordance with current ANSI A300 pruning standards (generally there should be no recent pruning).
 - No co-dominant stems or multiple trunks (unless approved by FCP or by the Forestry Inspector).
 - Sound graft union.
 - Free of girdling roots, or the ability to remove girdling roots without damaging the tree.
 - Trees shall be healthy, vigorous, insect/disease free, and without cankers/cracks or trunk damage.
- Proper installation
 - Root flare no higher than 3 inches from existing grade.
 - Exposed root flare (not graft); removing more than several inches of soil to expose the root flare may result in the rejection of the plant material.
 - Wire baskets/twine/burlap removed from at least the top half of root ball, or as directed by Forestry Inspector.
 - All burlap or twine removed completely.
 - No hose and wire; staking and strapping per City planting detail.
 - Planting Hole a minimum of twice the width of the root ball; could be greater. Planting detail assumes soil has been prepared per the city's specifications (Planting, #3).
 - Mulched properly, per City planting detail.
 - Wildlife protection installed, if required, type approved by the Forestry Inspector.
- Trees not complying with the above requirements may be rejected at the discretion of the City Forestry Inspector.

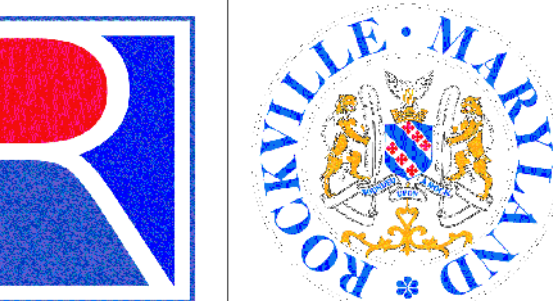
- Tree planting will generally not be permitted between the dates of June 1 and September 1, or when the ground is frozen.
- DEFINITIONS
 - Topsoil
 - Soil can be considered topsoil if it originates from an A horizon of a natural soil or is a mineral soil with 4-6% organic matter content, and a NRCS textural class similar to pre-development conditions A horizon soils for the site, or as specified by the City Forestry Division. The city Forestry Division will specify a LOAM texture in the absence of native conditions listed above. Blended soils shall not be used unless specified by the City Forestry Division. In addition, topsoil shall:
 - Be friable and well drained.
 - Have a pH between 5.5-7.
 - Have an organic matter content between 4-6%.
 - Have low salinity as indicated by a soluble salt content which is less than 3 dS/m
 - Be free of debris, stone, gravel, trash, large sticks, heavy metals, and other deleterious contaminants, (if screening is used to remove debris, screen size must be ¼ inch or larger).
 - Have a nutrient profile such that it has an adequate rating, per current industry standards.
 - Be free of noxious weed seeds
 - Compost
 - Compost shall be composed of leaves, yard waste, or food waste. Biosolid-based composts shall not be applied. A compost sample with analysis shall be submitted for approval to the City Forestry Division before application.
 - Stability refers to the rate of biological breakdown, measured by carbon dioxide release. Maturity refers to completeness of the aerobic composting process and suitability (lack of plant toxicity) as a plant growth media, often measured by ammonia release and by plant growth tests. Compost manufacturers that subscribe to the US Composting Council's testing program may document stability as compost testing 7 or below in accordance with TMECC 05.08-B, "Carbon Dioxide Evolution Rate". Maturity (suitability for plant growth) may be documented as compost testing greater than 80% in accordance with TMECC 05.05-A, "Germination and Vigor". Compost is considered mature and stable if it tests at 6.0 or higher on the Solvita Compost Maturity Index Rating, which is a combination of Carbon Dioxide and Ammonia Maturity Tests (test information and equipment available at www.solvita.com).
 - Compost shall also be:
 - Free of weed seeds.
 - Free of heavy metals or other deleterious contaminants.
 - Have a soluble salt content which is less than 3 dS/m.
 - Severely Degraded Soil
 - Soil shall be considered severely degraded if grade was lowered or raised more than 14 inches OR soil was compacted in lifts regardless of the final grade OR was used as a staging area for construction materials, equipment or processes.

¹ See definitions section #9



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NOTES & DETAILS
LANDSCAPE & LIGHTING PLAN
2 RESEARCH PLACE
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TAX MAP FSS1_0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220N09	SITE DATA: HORIZONTAL: IAD 83891 VERTICAL: NGVD29
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SHEET OF L-2 L-5	
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ANOVA
L1360
Rendezvous 6' Contour Bench

Material:
The contour bench is composed of a 12-gauge steel seat with a .75" wide slot pattern and cast aluminum armrests and legs. The bench will support 200 lbs. per linear foot.

Features:
Steel seat is protected by the patented Fusion Advantage™ finish. The bench is designed to be portable for flexibility in placement or surface mounted using pre-drilled 4" diameter holes in feet to prevent movement. Mounting hardware is not included.

Finish:
Fusion Advantage is a heat fused powder coating with an average .125" thickness that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading. Plastiol is then encapsulated with a rocky, textured, high-performance powder coating that won't rust, fade, peel, chip, crack, mold, or mildew. The finish has been tested to the requirements of ASTM E3354 and is in compliance with California Uniform Fire Code 1903.2.1.4.2.

Assembly:
The product requires some assembly. Stainless steel assembly hardware is included.

Color:
See website or sales representative for color choices.

Maintenance:
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty:
30-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at www.anovalumining.com. Manufactured in the U.S.

ANOVA
L1371
Rendezvous 6' Flat Bench

Material:
The flat bench is composed of a 12-gauge steel seat with a .75" wide slot pattern and cast aluminum legs. The bench will support 200 lbs. per linear foot.

Features:
Steel seat is protected by the patented Fusion Advantage™ finish. The bench is designed to be portable for flexibility in placement or surface mounted using pre-drilled 4" diameter holes in feet to prevent movement. Mounting hardware is not included.

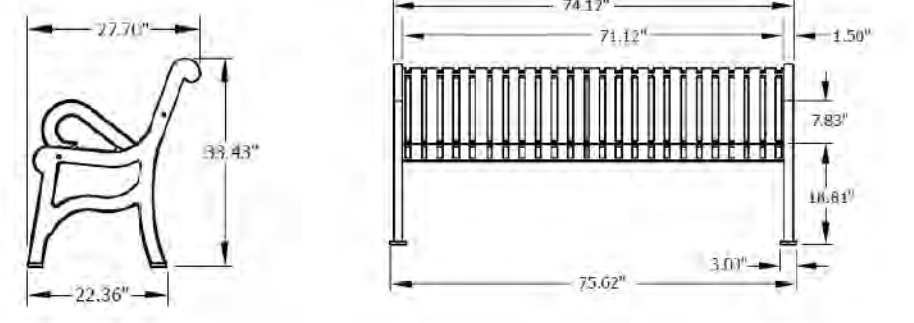
Finish:
Fusion Advantage is a heat fused powder coating with an average .125" thickness that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading. Plastiol is then encapsulated with a rocky, textured, high-performance powder coating that won't rust, fade, peel, chip, crack, mold, or mildew. The finish has been tested to the requirements of ASTM E3354 and is in compliance with California Uniform Fire Code 1903.2.1.4.2.

Assembly:
The product requires some assembly. Stainless steel assembly hardware is included.

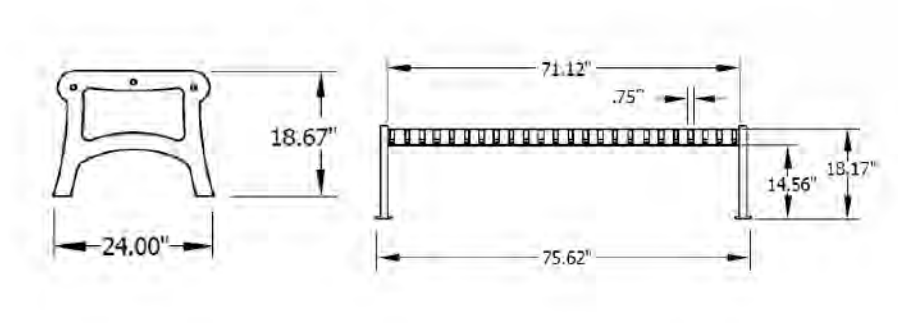
Color:
See website or sales representative for color choices.

Maintenance:
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty:
30-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at www.anovalumining.com. Manufactured in the U.S.



BENCH, TYP.
MANUFACTURER: ANOVA
PRODUCT: RENDEVOUS 6' CONTOUR BENCH
SYMBOL:
COLOR: BLACK
QUANTITY: 4
NOTES: OR APPROVED EQUAL



FLAT BENCH, TYP.
MANUFACTURER: ANOVA
PRODUCT: RENDEVOUS 6' FLAT BENCH
SYMBOL:
COLOR: BLACK
QUANTITY: 4
NOTES: OR APPROVED EQUAL

ANOVA
L1378BT
Rendezvous 32-Gallon Trash Receptacle with Bonnet Top

Material:
The receptacle is composed of 12-gauge slotted steel with a .75" gap vertical pattern. The bonnet top is made of 16-gauge spun steel. The visible plastic liner is made of high-density polyethylene.

Features:
The steel slat receptacle body is protected by the patented Fusion Advantage™ finish. The bonnet top offers wide side access to waste opening. Top includes a 14" security strap and lifts off for easy trash removal. The rubber feet are adjustable to support the receptacle. Federally ADA-compliant.

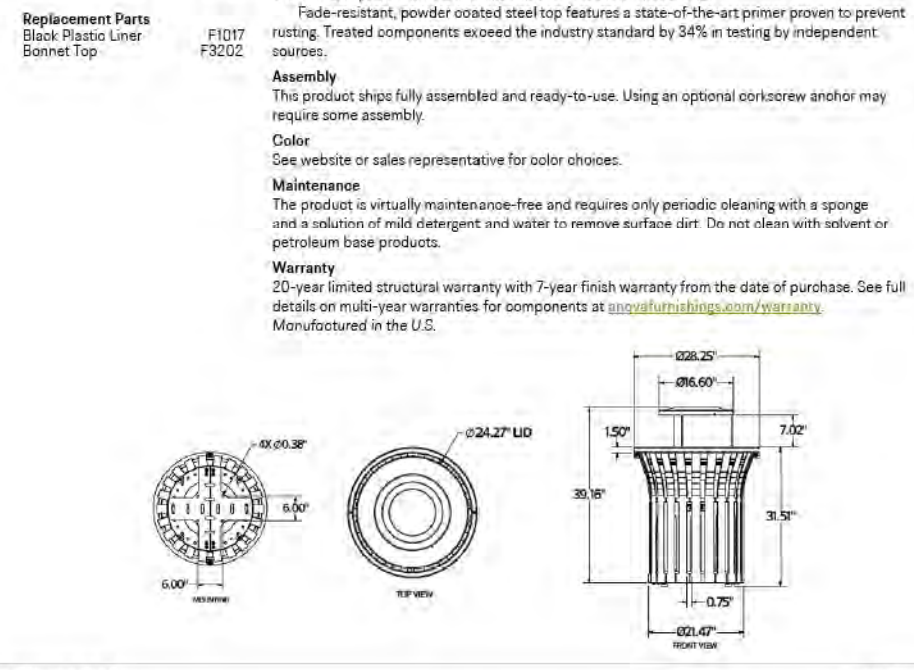
Finish:
Fusion Advantage is a heat fused powder coating with an average .125" thickness that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading. Plastiol is then encapsulated with a rocky, textured, high-performance powder coating that won't rust, fade, peel, chip, crack, mold, or mildew. The finish has been tested to the requirements of ASTM E3354 and is in compliance with California Uniform Fire Code 1903.2.1.4.2.

Assembly:
The product ships fully assembled and ready-to-use. Using an optional corkcover anchor may require some assembly.

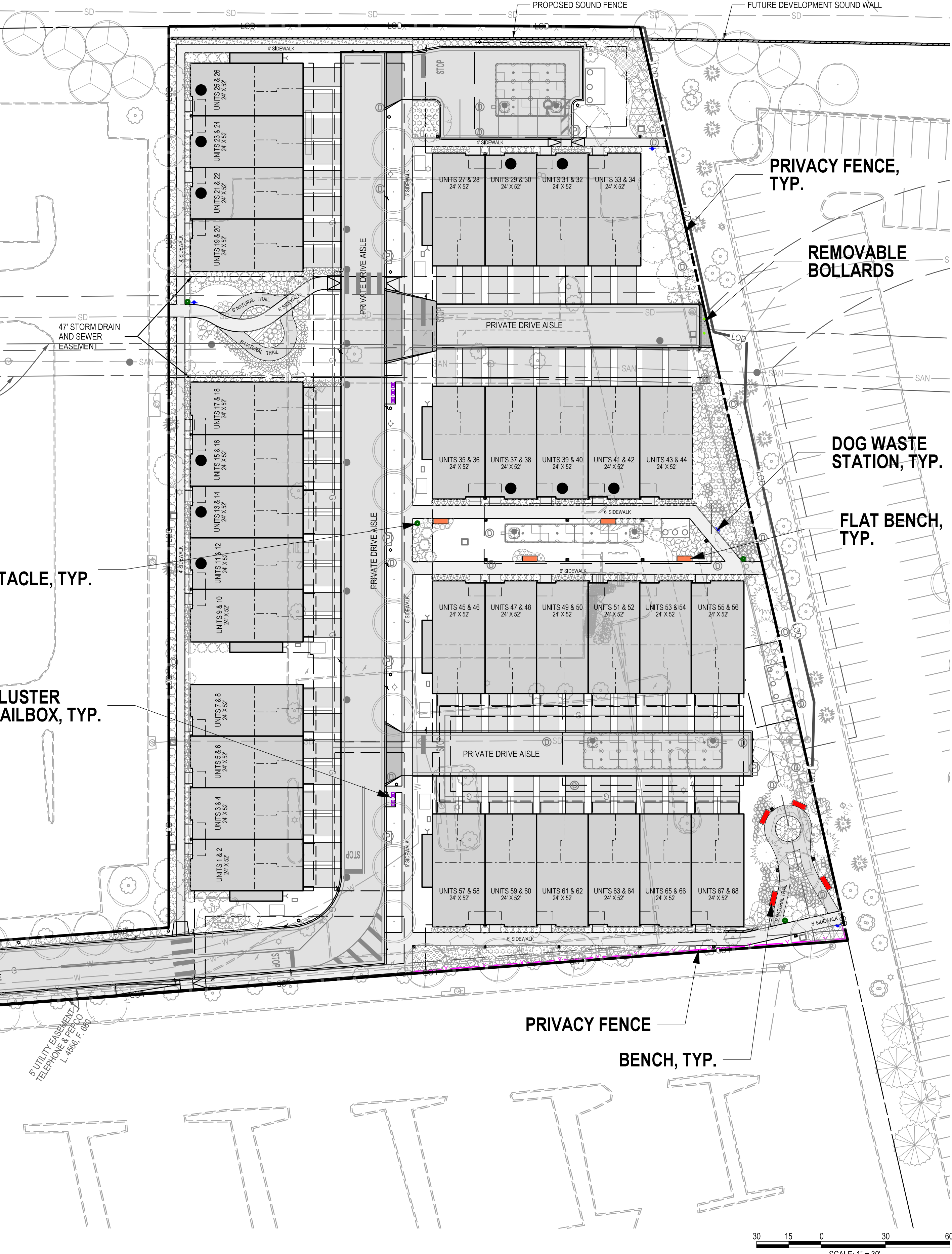
Color:
See website or sales representative for color choices.

Maintenance:
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

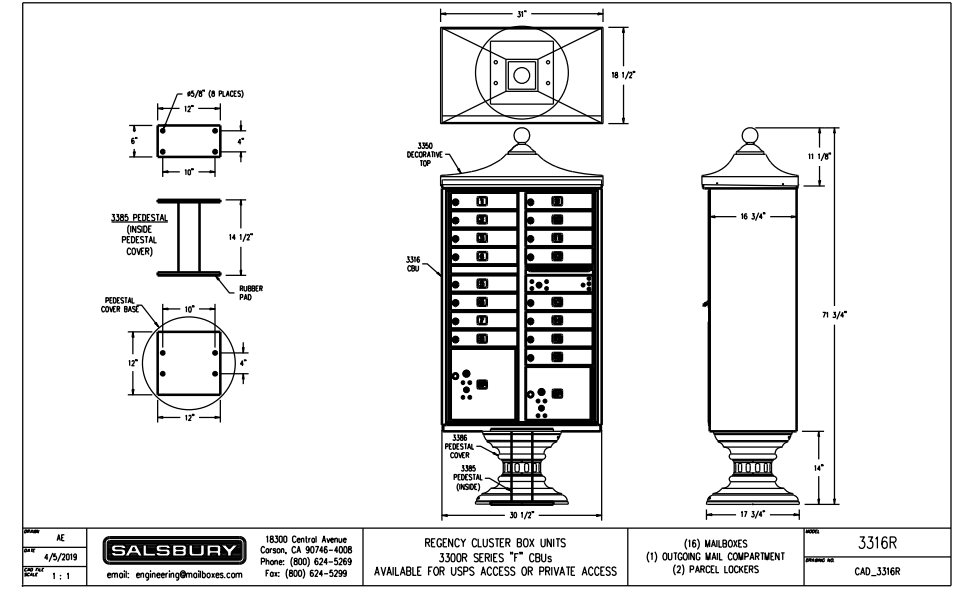
Warranty:
30-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at www.anovalumining.com. Manufactured in the U.S.



TRASH RECEPTACLE, TYP.
MANUFACTURER: ANOVA
PRODUCT: RENDEVOUS 32 GALLON TRASH RECEPTACLE WITH BONNET TOP
SYMBOL:
COLOR: BLACK
QUANTITY: 3
NOTES: OR APPROVED EQUAL



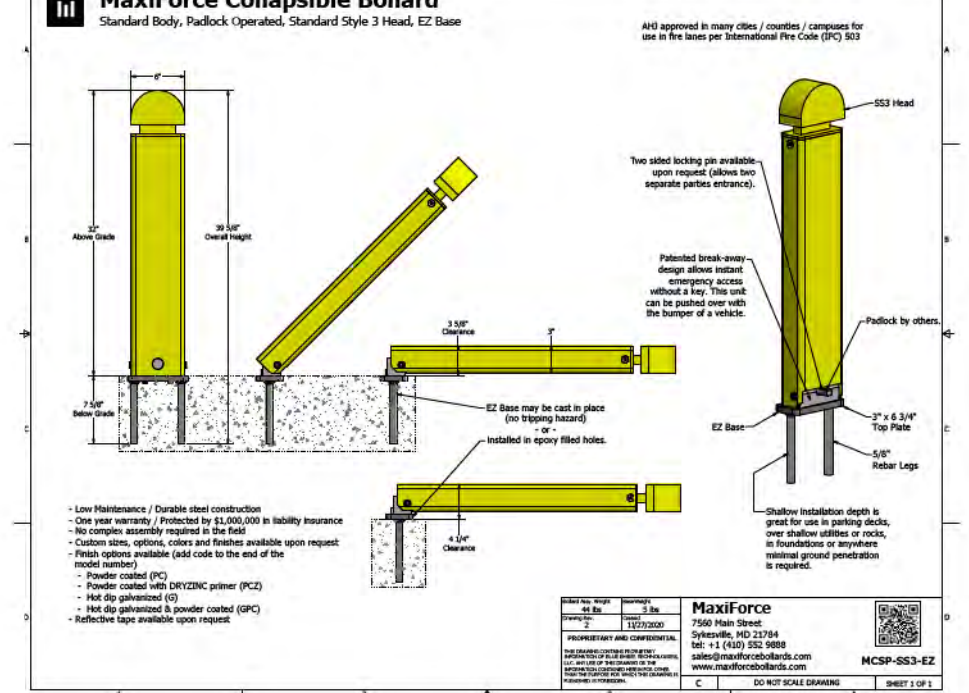
DOG WASTE STATION, TYP.
MANUFACTURER: DOG WASTE DEPOT
PRODUCT: DOG WASTE STATION
SYMBOL:
COLOR: GREEN
QUANTITY: 4
NOTES: OR APPROVED EQUAL



CLUSTER MAILBOX, TYP.
MANUFACTURER: SALSBURY INDUSTRIES
PRODUCT: SALSBURY CLUSTER BOX UNIT 16 DOORS 2 PARCEL LOCKER
SYMBOL:
COLOR: BLACK
QUANTITY: 5
NOTES: OR APPROVED EQUAL



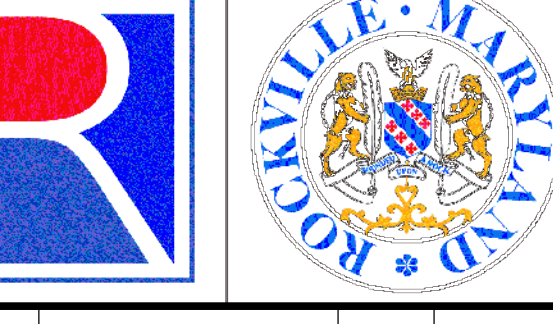
PRIVACY FENCE
MANUFACTURER: TBD
PRODUCT: 6 FT PVC PRIVACY FENCE
SYMBOL:
COLOR: WHITE
QUANTITY: 209 LF
NOTES: OR APPROVED EQUAL



REMOVABLE BOLLARDS
MANUFACTURER: MAXIFORCE BOLLARDS
PRODUCT: COLLAPSIBLE BOLLARDS
SYMBOL:
COLOR: MATTE BLACK
QUANTITY: 2
NOTES: OR APPROVED EQUAL

SOLTESZ, INC.
ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
www.solteszco.com

Engineering
Planning
Environmental Sciences



NO.	REVISIONS	BY	DATE

MISSION UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-2777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

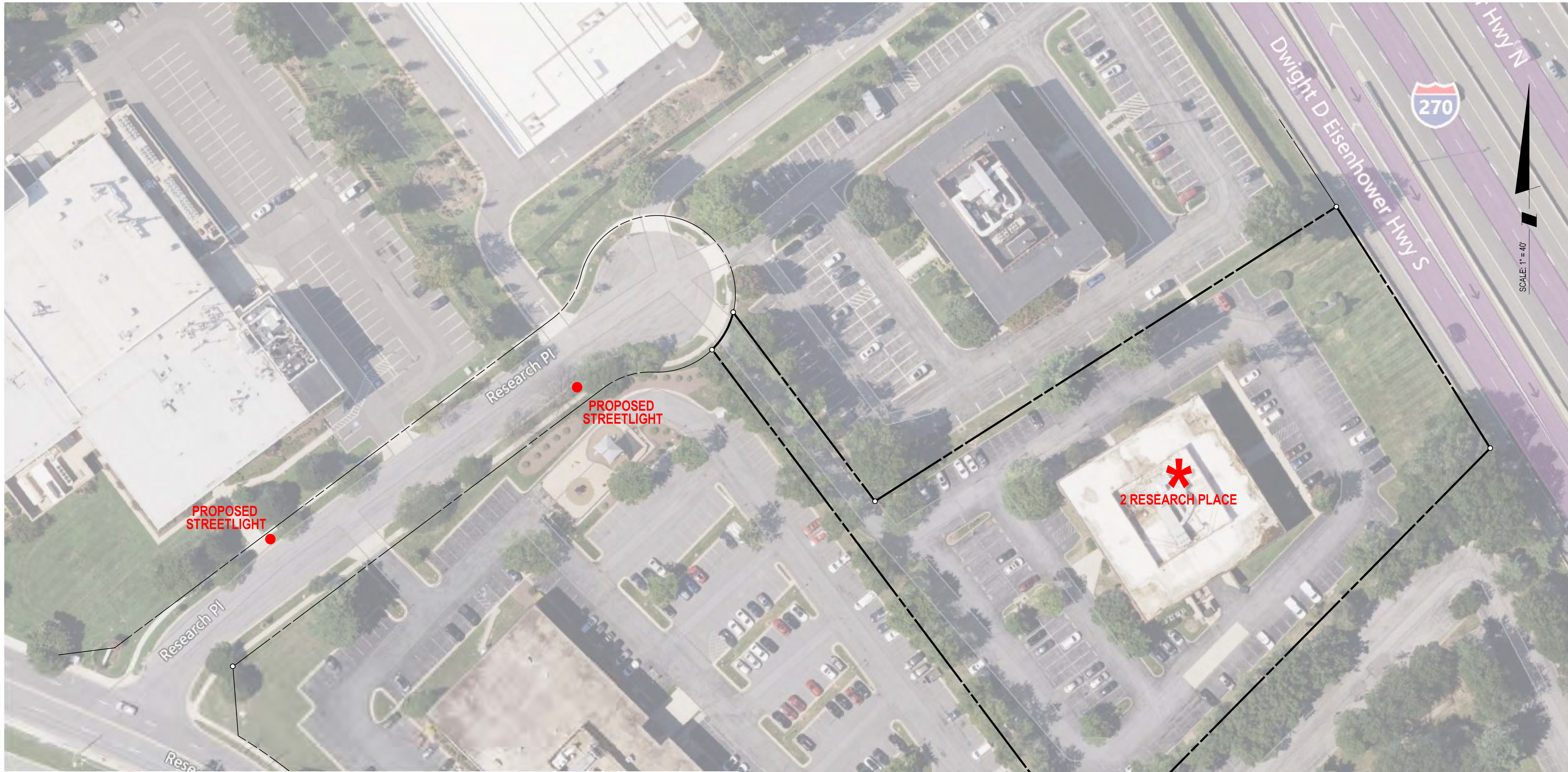
OWNER / DEVELOPER / APPLICANT
2 RESEARCH PLACE, LLC
2 RESEARCH PLACE, SUITE 100
ROCKVILLE, MD 20850
301-948-2750

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. _____ EXPIRATION DATE: _____

SITE FURNISHINGS
LANDSCAPE & LIGHTING PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

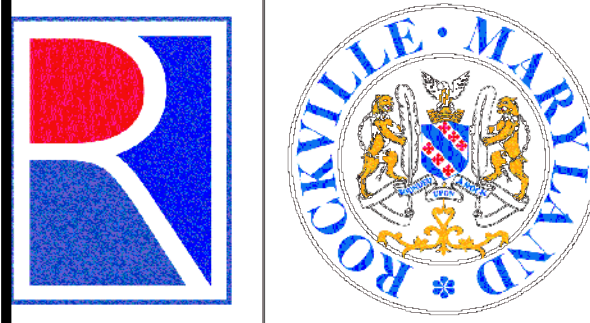
TAX MAP FSS1_000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATUM HORIZONTAL: BMD 839'1 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JS CAD STD: CONNECT / VERSION: NCS
SHEET L-3 OF L-5	PROJECT NO. 4316-00-01

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Engineering
 Planning
 Environmental Sciences



MISS UTILITY NOTE
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OWNER / DEVELOPER / APPLICANT
 2 RESEARCH PLACE, LLC
 2 RESEARCH PLACE, SUITE 100
 ROCKVILLE, MD 20850
 301-948-2750

CONTACT: JAMES SOLTESZ
 EMAIL: JSOLTESZ@SOLTESZCO.COM

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. _____ EXPIRATION DATE: _____

RESEARCH PLACE IMPROVEMENTS
LANDSCAPE & LIGHTING PLAN
2 RESEARCH PLACE
LOT P5, BLOCK A
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

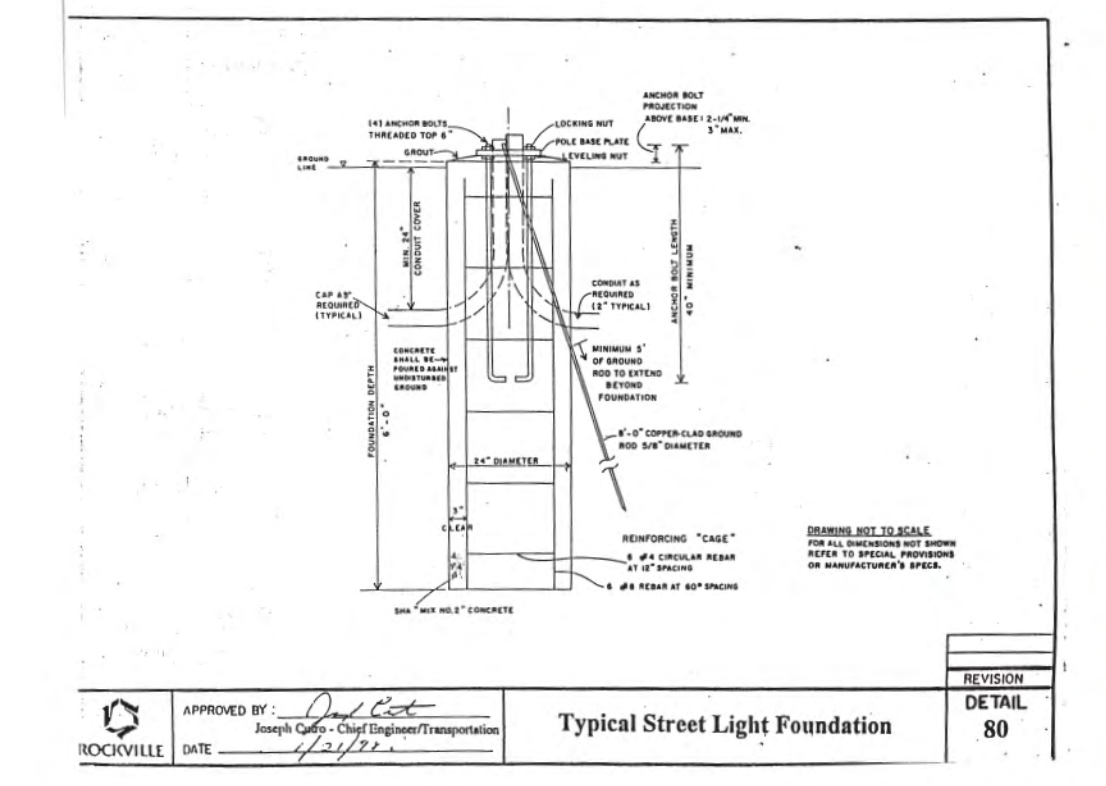
Evolve*
 ERL1 Cobra Head
 The Best of LED Roadway LED Luminaires
 Features:
 - Aluminum die cast enclosure casting design
 - 5000K color temperature
 - Lens: Impact resistant polycarbonate
 - Color: White
 - Mount: 1/2" x 1/2" mounting bracket
 - Finish: Black Die Cast, Gray, White
 - Optics: Clear, Frosted
 - Weight: 2.5 lbs (1.1 kg)
 - Dimensions: 12.0" x 6.0" x 2.0"
 - Distribution: Type III, Type IV
 - Power Factor: 0.95
 - Life: 100,000 hours
 - Voltage: 120V AC, 277V AC, 480V AC
 - Surge Protection: Yes
 - Warranty: 5 Year (LEDs), 3 Year (Housing)

Evolve*
 ERL1 Cobra Head
 LED Roadway Lighting

Ordering Information	Color	Beam Spread	Height	Notes
ERL1 0-05-C5-30-E-GRAY-AIR	Gray	50°	30'	

EVOLVE
 Roadway Lighting Poles
 Round Tapered Aluminum (6061) 24" to 42" (6m to 10m)

Ordering Number Logic	Notes
R - Round Tapered Aluminum Pole	
T - Tapered Pole	
A - 25' Pole	
SA - 45' Pole	
4S - 6.5' Spacing	
6.5 - 6.5' Spacing	
I - 1.8m Spacing	
B - 1.8m Spacing	



PROPOSED STREET LIGHT
 PRODUCT NUMBER: ERL1-0-05-C5-30-E-GRAY-AIR
 QUANTITY: 2
 HEIGHT: 25'
 NOTES: OR APPROVED EQUAL

PROPOSED STREET LIGHT POLE
 PRODUCT NUMBER: R-R-T-A-25-SA-4S-6.5-1-B
 QUANTITY: 2
 HEIGHT: 25'
 NOTES: OR APPROVED EQUAL

PROPOSED STREET LIGHT FOUNDATION DETAIL

NOTE: RESEARCH PLACE STREETLIGHT LOCATIONS TO BE CONFIRMED BY CITY STAFF.

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2 Research Place, Rockville, Maryland
Justification Statement for
Level 1 Site Plan (2026-225-STP) Application

I. INTRODUCTION

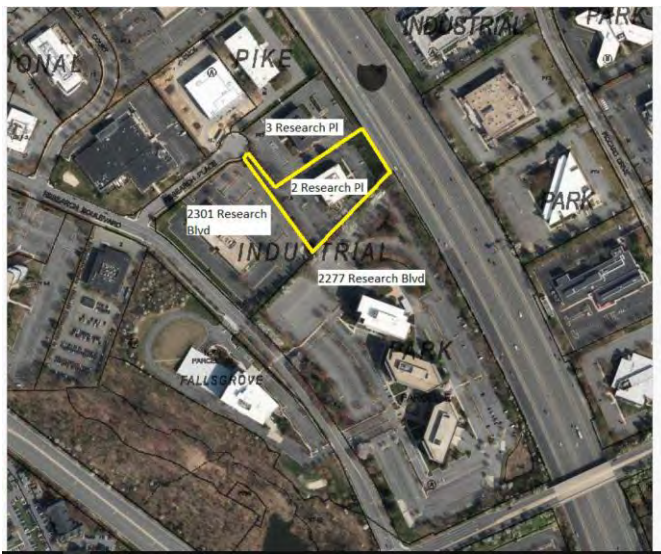
On behalf of 2 Research Place, LLC (the “Applicant”), we respectfully submit this Level 1 Site Plan application (the “Site Plan” or “2026-225-STP”) for redevelopment of the existing office building located at 2 Research Place in Rockville, Maryland (the “Property”).

The Property is known as Part of Lot 5, Block A of the Washington National Pike Industrial Park Subdivision, as shown on Record Plat No. 9024 recorded in the Land Records of Montgomery County, Maryland. The Property is currently improved with a three-story 45,400 square foot office buildings, ancillary surface parking spaces, and landscape improvements.

The surrounding properties are described as follows:

North: 3 Research Place (±41,511 square-foot office building); West: 2301 Research Boulevard (±96,000 square-foot office building).; South: 2277 Research Boulevard (Office Park with 3-buildings totaling approximately 440,000 square feet. The office building closest to the Property is proposed to be demolished and replaced with ±133 townhouse and 2 over 2 dwelling units pursuant to PAM2026-180); and East: I-270.

The Property is outlined in yellow with the surrounding context in the image below.



The Property is currently zoned MXE (Mixed-Use Employment), within Planning Area 15 of the

August 2, 2021, approved Rockville 2040: Comprehensive Plan Update (the “Comprehensive Plan”). While the Comprehensive Plan designates the Property for Office land uses, the Property is immediately to the north of Area 3, which is designated for Office, Commercial and Residential Mix (OCRM) land uses (Comprehensive Plan, p. 387).

II. PROJECT DESCRIPTION

The City of Rockville Planning Commission approved a Level 2 Site Plan application (STP2023-00454) on June 23, 2023, for 7-story life sciences building with 200,000 square feet of gross floor area and an ancillary 6-story parking garage. Given that market conditions do not support implementation of this life sciences building, the Applicant intends to move expeditiously to submit the Site Plan to redevelop the Property with up to 68 two over two dwelling units (including approximately 11 Moderately Priced Dwelling Units – “MPDUs”), private streets, green area, and parking spaces (the “Project”).

In order to serve the proposed 2 over 2 residential community, the Project includes private streets with sidewalks, hardscape and landscape improvements that serve as open space, approximately 150 vehicle parking spaces, approximately 25 bicycle parking spaces, and modern stormwater management facilities. The Project will further many of the Comprehensive Plan recommendations and comply with applicable development standards for the MXE Zone and special design regulations as set forth in Sections 25.13.05.b.1 and 25.13.06.c of the Zoning Ordinance. While the Chief of Zoning will approve this Site Plan as a Level 1 Site Plan, the Applicant is requesting that staff present the Site Plan to the City of Rockville Planning Commission (the “Planning Commission”) at a public meeting to make a finding that the proposed residential community (uses and overall layout) are compatible with adjoining and confronting uses by means of landscaping and screening. As described in greater detail below, the adjacent site to the south is proposed for residential uses (townhouse and 2 over 2 units)¹, and this Project will allow for a continuation of compatible residential uses that better complement the surrounding commercial uses along the Research Boulevard corridor.

¹ The neighboring site to the south (2277 Research Boulevard) is proposed for residential development as illustrated in PAM2026-180.

Stormwater Management (ESD) - Chapter 19 of the City Code

The existing impervious area is approximately 68%, categorizing the Property as a redevelopment project. The Property currently drains to an existing 66” storm sewer. Due to the age of the existing structure on the Property, there is no on-site stormwater management for quality or quantity control. As part of the redevelopment, runoff will be collected through a new storm drain system that will connect to the existing 66-inch storm sewer. Additionally, the Property will incorporate micro-scale Environmental Site Design (ESD) practices in accordance with the 2009 revised Maryland Department of the Environment (MDE) Stormwater Management Regulations to achieve the Maximum Extent Practicable (MEP). Stormwater management will be provided through three Modular Wetland Systems. Each system consists of two components: a storage component and a treatment cell. The storage component captures 100% of the ESD volume before releasing it slowly into the treatment cell. The treatment cell receives the stormwater from the storage vault into its perimeter void area and treats it through WetlandMedia (filter media) before discharging the treated stormwater into the storm drain system.

Forestry – Chapter 10.5 of the City Code

The site falls under the MXE zone, and with a total tract area of 2.82 acres, a minimum of 0.42 acres (18,426 sf) of forest conversion is required. The Applicant is proposing to meet this requirement on-site through a combination of tree planting (17,200 sf) and fee-in-lieu (1,226 sf), thereby satisfying the minimum tree cover for this Property of 18,426. This requirement is exceeded through a combination of tree planting for afforestation credit and significant tree replacement.

The Project proposes to remove all 24 significant trees from the Property, which will require 41 significant tree replacements. The Applicant also proposed to remove 21 off-site significant trees for a total of 28 in replacement. Out of the total of 69 trees required to be planted, 50 are proposed. The remaining amount will be addressed through fee-in-lieu. In addition, there will be 2 specimen (larger than 30” diameter by breast height) trees removed, and under the provisions of City Code, a tree variance will be provided to justify the removal of these 2 trees.

III. Mixed Use Employment (MXE) Zone Development Standards

As described in greater detail below, the Project complies with all applicable development standards under the MXE Zone.

A. Section 25.13.05 – Development Standards

1. Subsection 25.13.05a – Build to Line

This standard is not applicable to the Project.

2. Subsection 25.13.05b – Development Standards

a. Subsection 25.13.05b (1)

The Project satisfies all the applicable development standards in the MXE Zone as set forth in the chart below:

2 Research Place - Project Data Table: MXE Zone (Mixed-Use Employment)		
	<u>Required Development Standards</u>	<u>Proposed</u>
Site Area:		
Gross Tract Area		2.82 ac. / 122,804 sf.
Lot 5 (Tax #: 00148896)		2.82 ac. / 122,804 sf.
Net Site Area		2.82 ac. / 122,804 sf.
MXE Zone Development Standards (Sec.25.13.05.b.1)		
Maximum Building Height	120'	60'
Min. Lot Width at Front Lot Line	10' min.	30'
Open Area and Public Use Space		
Open Area	20% (0.56 ac., 24,560 sf.)	32.90% (0.93 ac., 40,407 sf.)
Public Use Space Required within Open Area	5% (0.14 ac., 6,140 sf.)	7.69% (0.22 ac., 9,447 sf.)
Building Setbacks		
Public right-of-way abutting	None or 10' min. if provided.	185'
Side setback:		
Residential land abutting:	Greater of 25' or 1/2 height of building.	N/A
Non-residential land abutting:	None or 10' min. if provided.	10'
Rear setback:		
Residential land abutting:	Greater of 25' or 1/2 height of building.	N/A
Non-residential land abutting:	None or 10' min. if provided.	10'
Residential Uses:		
Market Rate Units		
Dwelling, multiple-unit		
24'x52' Two-Over-Two Units	N/A	57 DU
MPDU's		
Dwelling, multiple-unit		
24'x52' Two-Over-Two Units	N/A	11 DU
TOTAL DWELLING UNITS		68 DU

5	Residential Parking (Sec. 25.16.03.d)		
7	Auto Parking Spaces		
8	Dwelling, multiple-unit (For 2 or more bedrooms)	102 sp. (1.5 sp. per DU)	136 sp.
9	Off-street parking	-	6 sp.
10			
11	Total Auto Parking Spaces:	102 sp.	142 sp.
12	Bicycle Parking Spaces		
13			
14	Short Term	2 sp. (1 per 50 DU)	*2 sp. Min.
15	Long Term	23 sp. (1 per 3 DU)	*23 sp. Min.
16	Total Bicycle Parking Spaces:	25 sp.	*25 sp. Min.

* Bicycle spaces are to be located inside the buildings.

b. *Subsection 25.13.05b(2)*

The layback slope requirements do not apply to the Project.

3. *Subsection 25.13.05c – Other Standards and Requirements for New Development*

1. *Conversion of space. Areas of a building originally designed for commercial or office use are encouraged to be designed to accommodate the conversion of the space to residential uses.*

The Project does not propose to convert any building areas originally designed for commercial uses to residential uses. This provision is not applicable to the Project.

2. *Entryways. Areas of a building originally designed for residential use at the ground floor level, having individual entries to the units, should have the entry from the ground level raised at least two (2) feet, or have another form of demarcation between the public sidewalk and the private entry. In order to be readily convertible to retail space, such areas must have a minimum ceiling height of fifteen (15) feet.*

This provision does not apply to for-sale 2 over 2 units.

3. *Access. Areas of a building intended for nonresidential uses must not have any access to areas of the building used for residential purposes. The residential areas must have their own private entries.*

No areas for nonresidential use are proposed as part of the Site Plan; therefore, this provision does not apply.

4. *Moderately priced dwelling unit ordinance compliance. Any development that includes residential units must comply with the moderately priced dwelling unit requirements of chapter 13.5 of the Code.*

As delineated on the Site Plan, the Applicant is proposing to designate 11 of the dwelling units in the City’s MPDU program in full compliance with Chapter 13.5 of the City Code.

5. *Public use space. In the mixed-use zones, public use space shall be provided consistent with the provisions of section 25.17.01.*

As described above and reflected on the Site Plan, the Project includes 7.69% of the Property as public use space (approximately 9,447 square feet) which exceeds the minimum requirement of 5% in the MXE Zone.

6. Floor area limitation.

As noted above, no non-residential space is proposed in the Project. Therefore, this provision is not applicable.

4. *Subsection 25.13.06 – Additional Design Guidelines*

b. Aesthetics and visual characteristics for all zones

1. *Facades and exterior walls including sides and backs.*

The 2 over 2 units will incorporate articulated elevations with a variety of building materials and colors that break down the scale of the various sticks of units in compliance with this design standard.

2. *Roofs.*

This provision peaks to larger, mid-rise or high-rise structures which is not applicable to the proposed 2 over 2 units. Notwithstanding the foregoing, the 2 over 2 units incorporate roof variation to further the intent of this provision.

3. *Materials and color.*

The 2 over 2 units will consist of combination of siding and masonry materials. A variety of colors will be incorporated to ensure that the 2 over 2 units are not uniform visually.

4. *Items allowed not facing a public street.*

This provision does not apply to the 2 over 2 units because the Project is in a mixed-use zone.

5. *Entryways.*

This provision does not apply to the 2 over 2 units because there are no customer entrances proposed as part of the Project.

6. *Screening of mechanical equipment.*

All mechanical equipment serving the 2 over 2 units will be screened in accordance with this provision.

c. Site design and relationship to surrounding community.

1. Buffers.

This requirement requires visual and noise buffers to nearby residential uses. The Applicant is coordinating with an acoustical engineer to ensure that any noise levels from I-270 and Research Boulevard that exceed 65 dBA Ldn will be mitigated to acceptable levels. The acoustical engineer has completed all field testing and the recommended mitigation will satisfy all regulations applicable to projects in the City. The Applicant intends to select a combination of mitigation approaches, including the use of berms and barriers for open areas and public use space, and building elements (increased window/door STC ratings) to attenuate noise in the interior of units. With respect to the exterior noise levels impacting the Applicant's proposed outdoor activity areas, the acoustical engineer recommends that an 18' tall noise barrier be installed between I-270 and the Project. The Applicant will incorporate this recommended noise barrier and anticipates that the neighboring development to the south (2277 Research Boulevard) will implement a similar noise barrier to enhance the use and enjoyment of the various outdoor areas for future residents of both developments. As a result, the noise mitigation approaches are anticipated to be implemented in a manner that enhances compatibility between the Project and the surrounding properties. Mitigation measures will be finalized and shown on the Site Plan. The Project incorporates a landscape buffer along the southern property line to complement the proposed townhouse and 2 over 2 units on the adjacent property (2277 Research Boulevard). All other neighboring properties are developed with non-residential uses, which does not require a buffer.

2. Outdoor sales and storage.

No outdoor sales or storage are proposed for the Project.

3. Trash recycling, waste oil/grease collection area.

The 2 over 2 units are designed with garages that will store trash and recycling receptacles. Trash and recycling service will be conducted by a private company contracted by the future HOA and will occur within the network of private streets that the 2 over 2 units front on in the Project. The layout of the Project and designation of a private trash collection service eliminates the need to designate loading areas for trash collection.

4. Parking lots and structures.

The 2 over 2 units will contain code compliant parking for residents in individual garages, and additional on-street parking along the private streets for visitors.

5. Pedestrian and bicycle flows.

The Project incorporates continuous internal pedestrian walkways along the network of private streets that allow for safe and efficient access to Research Place. As illustrated below, the Project includes a mix of private pedestrian walkways ranging from 4' to 6' in width. The sidewalks highlighted in green are 6' wide, the sidewalks highlighted in yellow are 5' wide, and the sidewalks highlighted in blue are 4' wide. Pursuant to Section 25.17.05.b.3 of the Zoning Ordinance, the minimum width for sidewalks is generally 6'. However, Section 25.17.03.b.3 of the Zoning Ordinance provides that the "minimum widths may be waived by the Approving Authority for short portions of a private sidewalk for a good cause shown." The Applicant is requesting approval of a waiver from the Chief of Zoning for the segments with sidewalks that are 4 and 5 feet wide for the following good cause.

- The draft Zoning Ordinance rewrite (Zoning Text Amendment No. 25-1900) proposes to reduce the minimum width for all sidewalks and pedestrian walkways to five (5) feet. *See* Section 25.8.3.3.(a)(1). Therefore, the pending policy proposed for the City would make all of the sidewalks shown below in yellow and green fully compliant.
- The 5'-wide sidewalk section that runs from the main entrance (cul-de-sac) to Research Place was previously approved at this reduced width as part of the prior Level 2 Site Plan (STP2023-00454) for the Property. The Applicant is proposing to maintain this same condition as part of the Project.
- The Applicant arrived at the proposed layout based on a number of competing goals, including allowing for: (a) sufficient open area and public use space, (b) additional landscape buffers between the Property and the commercial office to the north to ensure appropriate screening, and (c) maximizing open areas and connectivity adjacent to the proposed redevelopment occurring to the south (2277 Research Boulevard) to ensure that the Project furthers Comprehensive Plan's Action 3.1 ("Plan for and construct neighborhood-to-neighborhood connections for people walking, rolling, and bicycling."). In consultation with City staff, the Applicant prioritized the creation of a 6'-wide sidewalk

to help facilitate pedestrian and bicycle connections between the Property and the redevelopment to the south. The Project provides open area and pedestrian infrastructure that will allow for safe and efficient pedestrian access between the Project and the neighboring development to the south. Significantly, the Project includes approximately 13% additional open area and approximately 2.70% additional public use space beyond the Zoning Ordinance requirement in the MXE Zone.

- The current sidewalk design prioritizes increased landscape buffers in lieu of 6'-wide sidewalks which is reasonable and appropriate for this context (i.e., entirely private streets serving 68 two over two units). To this end, the 4'-wide sidewalks along the northern boundary of the Property was selected to provide additional landscape planting areas. The Applicant will continue to coordinate the landscape materials provided in this buffer to ensure that the Project is compatible with the neighboring site.
- The Property is a small site and constrained for redevelopment with residential uses. The Applicant is attempting to allow for a sufficient number of dwelling units (including MPDUs) to meet market demands and ensure that the Project can be constructed in a timely manner.

For all the good causes set forth above, the Applicant respectfully requests that the Chief of Zoning approve the requested waiver to allow for portions of the private sidewalk network to be less than 6'-wide.



6. Central features and community spaces.

The Project proposes a total of 40,407 square feet of open space in the form of sidewalks, natural trails, green spaces, and seating areas. The proposed open space exceeds the minimum requirement of the MXE Zone by 12.90% ($\pm 16,000$ square feet).

7. Delivery and loading spaces, hours of operation.

No loading facilities are proposed for the 2 over 2 units. The 2 over 2 units will be serviced from the network of private streets in the Project. In response to comments from City staff, the Applicant

evaluated the feasibility of designating loading spaces along the main drive aisle to accommodate loading and service operations. However, there are substantial site constraints that preclude the Applicant from providing such loading spaces due to conflicts with the proposed sidewalks, landscape improvements and utilities. Notwithstanding the fact that loading spaces are not proposed, the Applicant has developed a strategy to ensure that the 2 over 2 units can be serviced efficiently. The Applicant will provide a loading management plan in the future HOA governing documents to address the loading and servicing needs of future residents. To this end, the HOA documents will require that owners moving in and out of the Project coordinate the timing for such loading activities to avoid conflicts, and also require that such loading activities be performed outside of weekday peak hour times. The HOA documents will also address more frequent loading operations from mail and delivery vehicles to reduce conflicts amongst all users of the internal private streets.

8. Ancillary uses.

No ancillary uses are proposed.

9. Noise abatement.

The Project satisfies all applicable noise standards under the Montgomery County Code (Chapter 31B). As noted above, the Applicant has coordinated with an acoustical engineer to ensure that noise above 65 dBA Ldn will be mitigated to allowable levels through a combination of design features. More specifically, the Project will incorporate the recommended (18'-tall) noise barrier and anticipates that the neighboring development to the south (2277 Research Boulevard) will implement a similar noise barrier to enhance the use and enjoyment of the various outdoor areas for future residents of both developments. The developer of the 2 over 2 units will mitigate any noise impacts to the interior of the dwelling with building elements (increased window/door STC ratings).

10. Outdoor lighting.

The Project incorporates outdoor lighting to allow for safe and efficient circulation through the Project in accordance with the City's landscaping, screening, and lighting manual.

11. Landscaping.

As illustrated on the landscape plans submitted with the Site Plan, the Project's landscaping is

proposed in conformance with the City’s landscaping, screening, and lighting manual

5. 25.13.07c – Special Design Regulations for MXE Zone

1. *Building location.*

This provision does not apply to the Project because the Comprehensive Plan does not provide a build-to-line for this planning area or Property.

2. *Uses by floor.*

The Project is proposed to consist of 100% residential uses (68 2 over 2 units).

3. *Façade.*

This standard relates to buildings taller than 35 feet and contemplates commercial or multi-family buildings as opposed to 2 over 2 units. Thus, this provision does not apply to the Site Plan.

4. *Sidewalks.*

Section 25.17.05.b.2 provides that sidewalks in mixed-use zones should generally be constructed to the standards in Article 13 of the City’s Zoning Ordinance. The Project incorporates private streets with sidewalks that comply with these standards, as modified by the proposed waivers requested on page 7-9 of this document.

5. *Parking.*

Parking is provided in the garages of the individual 2 over 2 units, as well as along the private streets to ensure there is sufficient excess parking for visitors. A total of 150 spaces are proposed for the 2 over 2 units, which exceeds the minimum requirement.

6. *Special Regulations for residential development in the MXE zone.*

The Chief of Zoning is authorized to approve this Site Plan following a finding from Planning Commission that the proposed 2 over 2 units are compatible with adjoining and confronting uses by means of landscaping and screening. The Site Plan is responsive to the Comprehensive Plan vision to introduce a mix of uses to the Research Boulevard. As noted above, the neighboring site to the south is presently processing a development application to convert the nearest office building and surface parking lot to townhouse and 2 over 2 units. The neighboring development to the south also includes restaurant uses, which is complementary to the proposed 2 over 2 units by the

Applicant. This Project is compatible and responsive to this future condition by providing open areas and public use space along the shared property line. As illustrated below, the Project includes a sidewalk and natural trails with seating that will enhance connectivity between these two neighboring residential communities. The Applicant's landscape plan incorporates a number of tree plantings and a privacy fence along this shared property line to ensure there will be sufficient screening. Additionally, the Project incorporates open area and a 4' wide sidewalk to buffer the Project from the neighboring commercial office building to the north (3 Research Place). Within this landscape buffer, the Applicant is proposing to screen the residential uses from the neighboring commercial office building with shrubs and ornamental trees. Similarly, the Applicant is proposing a 5' wide sidewalk along its western boundary along the proposed driveway access point to the Project. From the end of the driveway to the Project's southern boundary, the Applicant is proposing a ± 10 setback to allow for a 6' wide sidewalk and 6' tall privacy fence between the Project and the commercial office building located to the west (2301 Research Boulevard). The inclusion of a continuous sidewalk along the edge of the Property will promote pedestrian connectivity to and from the surrounding network of public streets, which satisfies several Comprehensive Plan recommendations for this planning area. Last, the Applicant is also proposing a $\pm 19'$ tall sound wall along the Property's eastern boundary to mitigate noise from I-270 and ensure that the future residents will be able to use and enjoy proposed dwelling units and outdoor spaces. In summary, the Project's inclusion of residential uses will be compatible with adjoining and confronting uses by means of landscaping and screening as required under the MXE Zone's special design regulations. In addition to the following, the Applicant will ensure that any noise impacts from I-270 and Research Boulevard are sufficiently mitigated through a variety of design features to enhance the quality of life of future residents in the Project.



IV. REQUIRED FINDINGS

The Site Plan complies with all required findings for approval as delineated in Section 25.07.01.a.3(a) of the Zoning Ordinance because the Project will not:

- A. Adversely affect the health or safety of persons residing or working in the neighborhood of the proposed development

The Project will enhance the health and safety of persons residing and working in the neighborhood by replacing an underutilized office building with 2 over 2 units that will be served by upgraded private streets, sidewalks, open space, and modern stormwater management facilities. The Comprehensive Plan’s Housing Element recognizes the need to provide a diverse range of housing types at different income levels throughout the City, and this Project will provide market-responsive residential units (2 over 2 units), including 11 MPDUs. Significantly, the Project, along with several other proposed developments along the Research Boulevard corridor, will introduce residential units that will make the neighborhood more pedestrian friendly with upgraded connections that allow for the mix of commercial and residential uses to better complement each other.

B. Be detrimental to the public welfare or injurious to property or improvements in the neighborhood

The Project will not be detrimental to the public welfare or injurious to the property or improvements in the neighborhood as it will replace an underutilized office building with street-activating residential units that will help to support the surrounding commercial uses in the neighborhood. The proposed pedestrian oriented roadway improvements and stormwater management facilities will enhance existing and proposed adjacent development.

C. Overburden existing and programmed public facilities as set forth in Article 20 of this Chapter and as provided in the adopted Adequate Public Facilities Standards

The Project will be served by adequate public facilities in the form of transportation infrastructure, schools, fire and rescue service, and water and sewer facilities. As described in the Comprehensive Transportation Review (CTR) scoping intake form, the Project will result in a net-reduction in peak hour site trips as compared to the existing office building. Consistent with the prior Level 2 Site Plan approval (STP2023-00454) conditions of approval, the Applicant will continue to add street lighting on Research Place. The Property is served by two (2) fire stations with a response time within 3 to 10 minutes (Rockville Volunteer Fire Department at 380 Hungerford Drive, and Montgomery Fire Station 32 at 9615 Darnestown Road) and by the City of Rockville police station located less than 3 miles from the Property (2 West Montgomery Avenue). Water and sewer capacity is also available to serve the Project. The Project will be served by Ritchie Park elementary school, Julius West middle school, and Richard Montgomery high school. All three (3) school levels presently have adequate capacity to serve the Project.

D. Adversely affect the natural resources or environment of the City or surrounding areas

The Project will not adversely affect the natural resources or environment of the City or surrounding neighborhood. As described above, the Property contains no on-site stormwater management facilities, and the Applicant is proposing to incorporate micro-scale Environmental Site Design (ESD) practices to the Maximum Extent Practicable (MEP). The incorporation of modern stormwater management facilities will enhance and improve natural resources and the environment. In addition to providing modern stormwater management facilities, the Applicant is proposing to provide a combination of on-site tree planting (17,200 sf) and fee-in-lieu (1,226 sf),

thereby satisfying the minimum tree cover for this Property. The replacement of the underutilized office building and surface parking facility with 2 over 2 units, modern ESD facilities, and upgraded streetscape and landscape improvements will enhance the natural resources and environment in the surrounding neighborhood.

E. Be in conflict with the Plan

The Site Plan will further many of the Comprehensive Plan goals for the Property and surrounding neighborhood. The Comprehensive Plan recommends identifying “potential opportunities for conversion of obsolete offices and hotels to residences,” and conducting “an inventory of vacant and under-utilized land to identify any sites that may be suitable for needed affordable units.” (Comprehensive Plan, pages 100 and 206). The Site Plan is responsive to both of these recommendations as it will allow for replacement of an underutilized office building with 2 over 2 units (including 11 MPDUs). Additionally, the Comprehensive Plan recommends providing “amenities and uses that would support and complement office and commercial uses in the area,” and improving “bicycle and pedestrian access and safety within the Research Boulevard corridor.” (Comprehensive Plan, page 388-389). The Project includes upgraded pedestrian walkways, street lighting, and private roads to create a mix of uses and amenities in this neighborhood that will better complement the existing commercial office uses.

F. Constitute a violation of any provision of this Chapter or other applicable law

The proposed Project complies with the City Code provisions governing the development of the Property. As noted above, the Project complies with all of the MXE Zone’s standards. The Project will also comply with the City's Publicly Accessible Art in Private Development Ordinance by providing public art on-site in accordance with Chapter 4, Article IV of the City Code.

G. Be incompatible with the surrounding uses or property

The Site Plan’s inclusion of 2 over 2 units, upgraded pedestrian walkways and modern stormwater management facilities is compatible with the surrounding area. As noted above, the adjoining site to the south (2277 Research Boulevard) is proposed to be redeveloped with townhouse and 2 over 2 units. The Project’s design and layout allows for a pedestrian connection to the proposed residential community to the south, which will further the Comprehensive Plan’s recommendation to “Plan for and construct neighborhood-to-neighborhood connections for people walking, rolling,

and bicycling.” (Comprehensive Plan, page 56). As noted above, the introduction of residential uses (including MPDUs) in place of an underutilized office building furthers many Comprehensive Plan goals for the Research Boulevard corridor and will enhance the Property’s compatibility with the surrounding uses and properties.

V. COMMUNITY OUTREACH

Pursuant to the City’s Pre-Application Area Meeting (“PAM”) requirements, the Applicant held a PAM meeting on September 4, 2025. The presentation, notice list, and meeting minutes were filed with the PAM application. The Applicant will satisfy all remaining notice requirements for a Level 1 Site Plan application.

VI. CONCLUSION

The Site Plan will further many of the Comprehensive Plan goals, satisfies all development standards in the MXE Zone, and fulfills all required findings for approval of a Level 1 Site Plan application. The Applicant respectfully requests that the Planning Commission make a finding that the Project is compatible with adjoining and confronting uses by means of landscaping and screening, and that the Chief of Zoning approve this Site Plan.

Respectfully submitted,
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