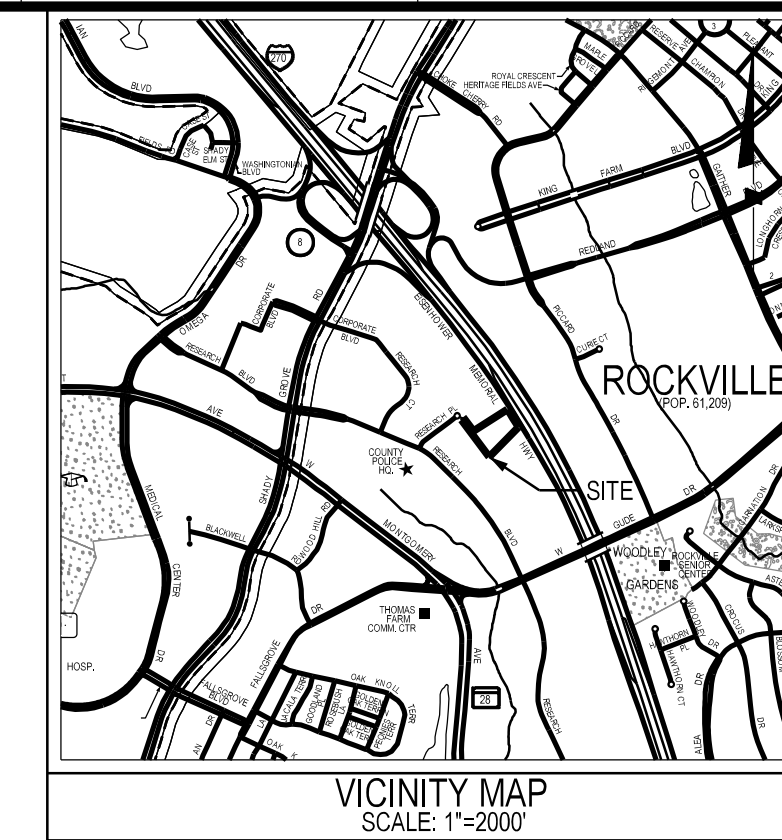


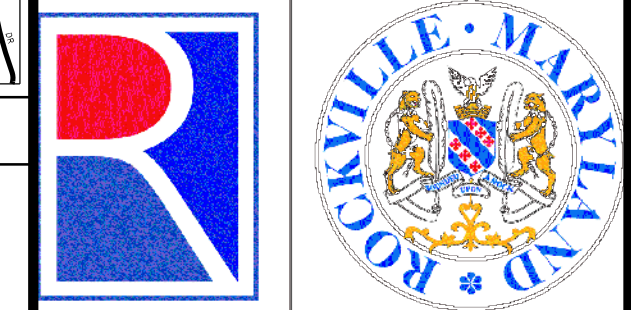
# 2 RESEARCH PLACE

## 2026-225-STP



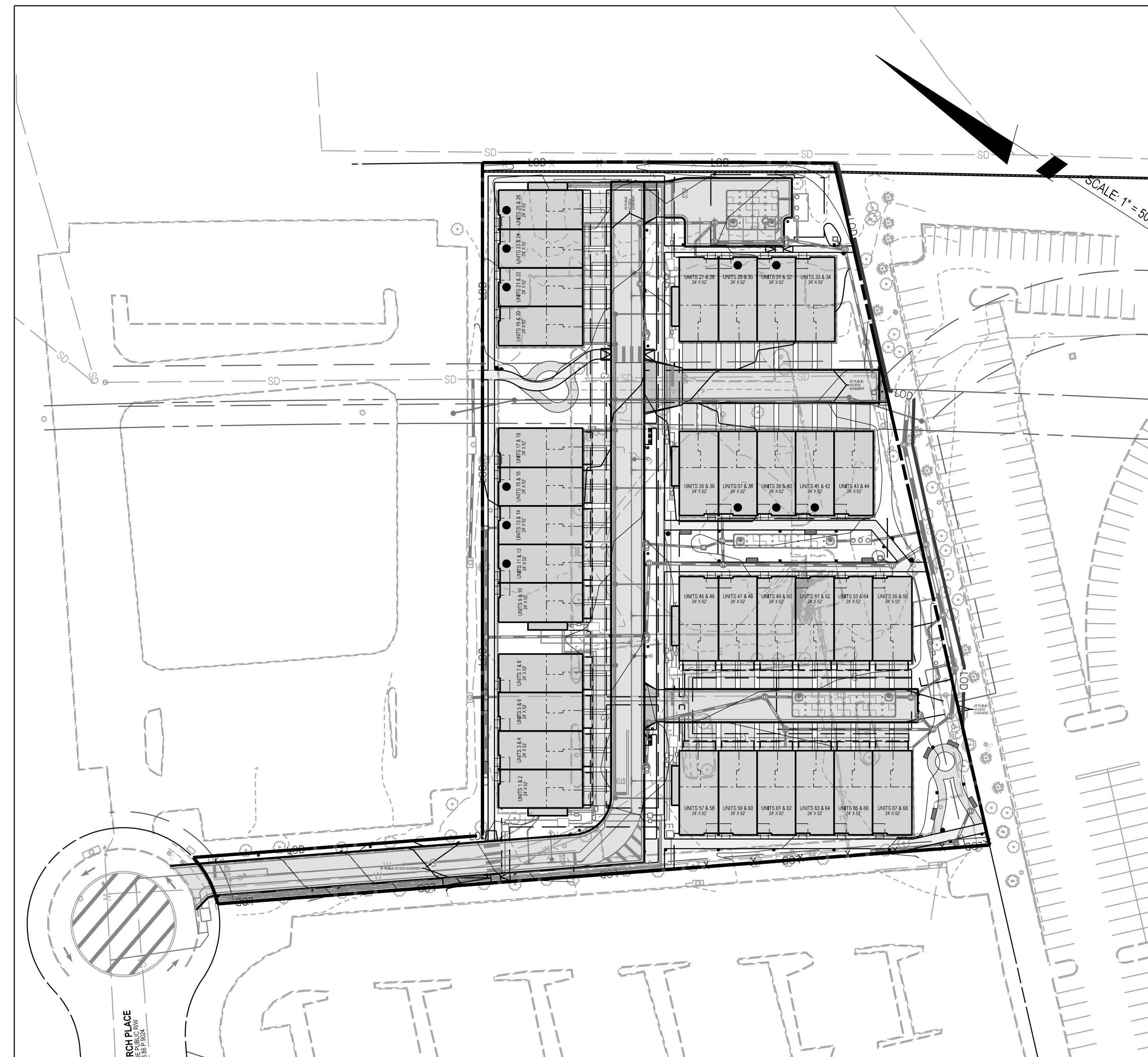
**SOLTESZ, INC.**  
 ROCKVILLE OFFICE  
 2 Research Place, Suite 100  
 Rockville, MD 20850  
 P. 301.948.2750 F. 301.948.9067  
 www.solteszco.com

Engineering  
 Surveying  
 Planning  
 Environmental Sciences



**SHEET INDEX:**

- SITE PLAN**
- SHEET 1 COVER SHEET
  - SHEET 2 EXISTING CONDITIONS
  - SHEET 3 DETAILED SITE PLAN
  - SHEET 4 NOTES & DETAILS
  - SHEET 5 EASEMENTS EXHIBIT
  - SHEET 6 PUBLIC USE SPACE, PARKS & OPEN SPACE PLAN
  - SHEET 7 ON-SITE VEHICLE & PEDESTRIAN CIRCULATION PLAN
  - SHEET 8 DELIVERY TRUCK TURNING EXHIBIT
  - SHEET 9 PRIVATE PAVEMENT MARKING & SIGNAGE PLAN
  - SHEET 10 IMPERVIOUS AREA EXHIBIT
  - SHEET 11 COLOR CODED UTILITY EXHIBIT
  - SHEET 12 FUTURE DEVELOPMENT EXHIBIT
  - SHEET 13 ADDRESS PLAN
- LANDSCAPE & LIGHTING PLAN**
- SHEET L-1 LANDSCAPE PLAN
  - SHEET L-2 LANDSCAPE NOTES & DETAILS
  - SHEET L-3 SITE FURNISHINGS
  - SHEET L-4 LIGHTING PLAN
  - SHEET L-5 RESEARCH PLACE IMPROVEMENTS
- FIRE PROTECTION SITE PLAN**
- SHEET 1 FIRE PROTECTION SITE PLAN
- FINAL FOREST CONSERVATION PLAN**
- SHEET 1 TREE REMOVAL PLAN
  - SHEET 2 FINAL FOREST CONSERVATION PLAN
  - SHEET 3 NOTES AND DETAILS
  - SHEET 4 FCP EASEMENT EXHIBIT



**GENERAL NOTES:**

1. THE EXISTING ZONE IS MXE.
2. BOUNDARY INFORMATION IS FROM A SURVEY PREPARED BY SOLTESZ, INC.
3. THIS SITE LIES WITHIN THE WATTS BRANCH WATERSHED.
4. PEPCO, BELL ATLANTIC, MD., INC., WASHINGTON GAS LIGHT CO. OF MD., THE CITY OF ROCKVILLE, AND CABLE TV MONTGOMERY ARE THE PUBLIC UTILITY COMPANIES THAT WILL PROVIDE SERVICE TO THE PROPOSED DEVELOPMENT.
5. THE PROPOSED LAYOUT, PARKING, DRIVEWAYS, BUILDINGS, AREA, LOCATION, DIMENSIONS, AND UTILITIES ARE APPROXIMATE AND SUBJECT TO FINAL COMPUTATIONS PRIOR TO RECORD PLAT.
6. ALL RETAINING WALLS TO BE DESIGNED BY OTHERS.
7. THERE IS NO FLOODPLAIN ON THIS PROPERTY. SOURCE OF THE INFORMATION IS FROM FEMA FLOODPLAIN COMMUNITY - PANEL NUMBER 24031C0331D.
8. THERE ARE NO WETLANDS WITHIN 100 FEET OF THE PROPERTY.
9. THERE ARE NO RARE, THREATENED, OR ENDANGERED (RTE) SPECIES ON SITE. AWAITING CONFIRMATION LETTER FROM MD-DNR.
10. THE SITE IS NOT WITHIN THE CITY OF ROCKVILLE HISTORIC DISTRICT AND IS NOT A BUILDING OR STRUCTURE WITHIN THE CITY OF ROCKVILLE'S HISTORIC BUILDING CATALOG, PER CITY OF ROCKVILLE MAPS ARCGIS.
11. THE SOIL TYPE THROUGHOUT THE SITE IS 67UB.
12. NO STATE OR CHAMPION TREES EXIST ON SITE.
13. NATURAL RESOURCE INVENTORY / FOREST STAND DELINEATION WAS PREVIOUSLY APPROVED UNDER CASE NUMBER FTP2022-00454.

2 Research Place - Project Data Table: MXE Zone (Mixed-Use Employment)		
	Required Development Standards	Proposed
<b>Site Area:</b>		
Gross Tract Area		2.82 ac. / 122,804 sf.
Lot 5 (Tax #: 00148896)		2.82 ac. / 122,804 sf.
Net Site Area		2.82 ac. / 122,804 sf.
<b>MXE Zone Development Standards (Sec.25.13.05.b.1)</b>		
Maximum Building Height	120'	60'
Min. Lot Width at Front Lot Line	10' min.	30'
<b>Open Area and Public Use Space</b>		
Open Area	20% (0.56 ac., 24,560 sf)	32.90% (0.93 ac., 40,407 sf.)
Public Use Space Required within Open Area	5% (0.14 ac., 6,140 sf)	7.68% (0.22 ac., 9,447 sf.)
<b>Building Setbacks</b>		
Public right-of-way abutting	None or 10' min. if provided.	185'
Side setback:		
Residential land abutting:	Greater of 25' or 1/2 height of building.	N/A
Non-residential land abutting:	None or 10' min. if provided.	10'
Rear setback:		
Residential land abutting:	Greater of 25' or 1/2 height of building.	N/A
Non-residential land abutting:	None or 10' min. if provided.	10'
<b>Residential Uses:</b>		
<b>Market Rate Units</b>		
Dwelling, multiple-unit		
24x52' Two-Over-Two Units	N/A	57 DU
<b>MPDU's</b>		
Dwelling, multiple-unit		
24x52' Two-Over-Two Units	N/A	11 DU
<b>TOTAL DWELLING UNITS</b>		<b>68 DU</b>
<b>Residential Parking (Sec. 25.16.03.d)</b>		
<b>Auto Parking Spaces</b>		
Dwelling, multiple-unit (For 2 or more bedrooms)	102 sp. (1.5 sp. per DU)	138 sp.
Off-street parking	-	6 sp.
<b>Total Auto Parking Spaces:</b>	<b>102 sp.</b>	<b>142 sp.</b>
<b>Bicycle Parking Spaces</b>		
Short Term	2 sp. (1 per 50 DU)	*2 sp. Min.
Long Term	23 sp. (1 per 3 DU)	*23 sp. Min.
<b>Total Bicycle Parking Spaces:</b>	<b>25 sp.</b>	<b>*25 sp. Min.</b>

**OWNER / APPLICANT**  
 2 RESEARCH PLACE, LLC  
 2 RESEARCH PLACE, SUITE 100  
 ROCKVILLE, MD 20850  
 PHONE: 301-948-2750  
 ATTN: JAMES SOLTESZ

**ATTORNEY**  
 SELZER GURVITCH RABIN WERTHEIMER & POLOTT, P.C.  
 4416 EAST WEST HIGHWAY, SUITE 400  
 BETHESDA, MD 20814  
 PHONE: 301-455-5451  
 ATTN: MATTHEW GORDON

**ENGINEER**  
 2 RESEARCH PLACE, LLC  
 2 RESEARCH PLACE, SUITE 100  
 ROCKVILLE, MD 20850  
 PHONE: 301-948-2750  
 ATTN: JIGAR BHATT

NO.	REVISIONS	BY	DATE

**MISSING UTILITY NOTE**  
 INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-2777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

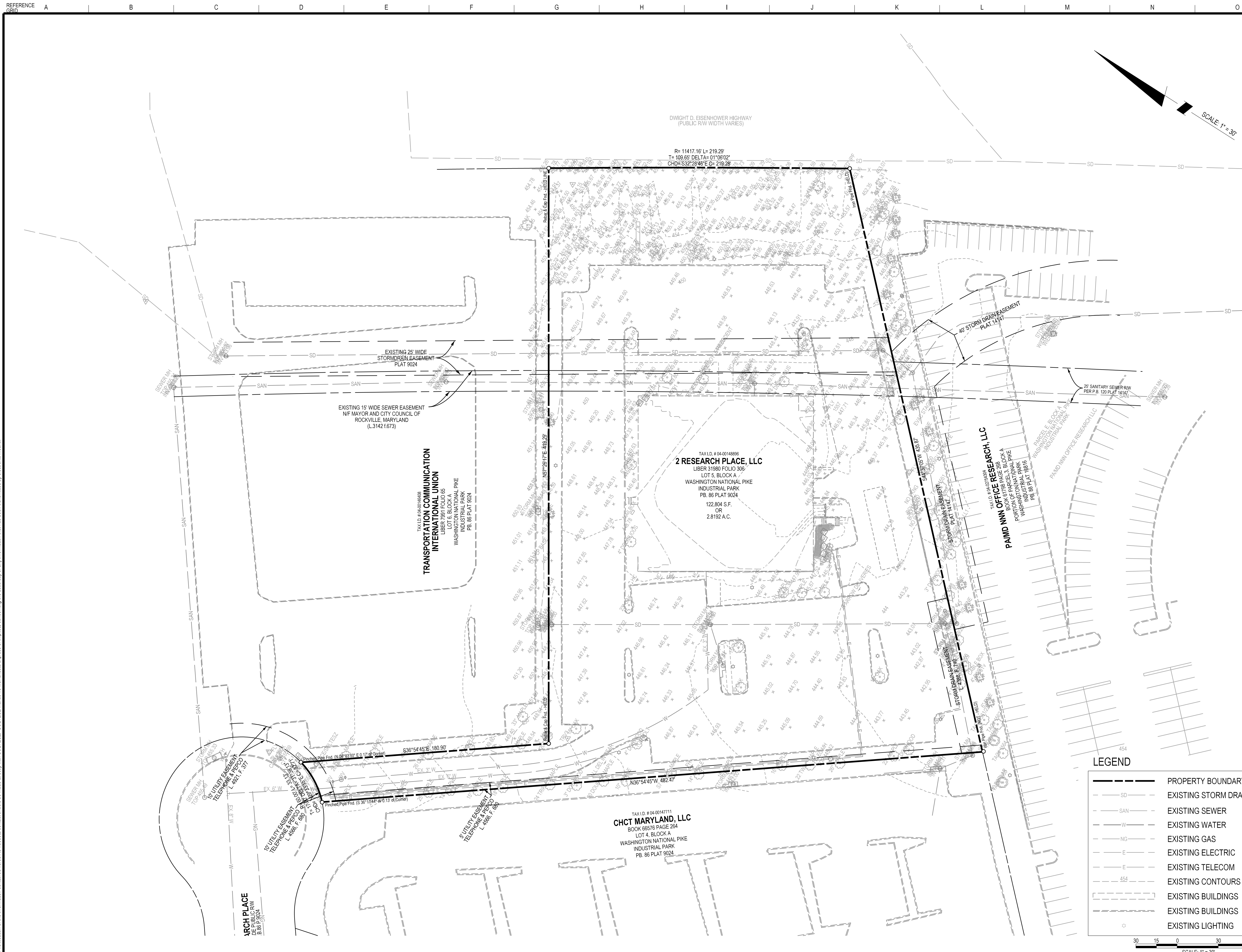
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 ROCKVILLE, MD 20850  
 301-948-2750  
 CONTACT: JAMES SOLTESZ  
 EMAIL: JSOLTESZ@SOLTESZCO.COM

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

**COVER SHEET**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FSS1, 0000	ZONING CATEGORY: MXE
WSSC 200 SHEET 220N09	SITE DATA: HORIZONTAL: IAD 8391 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS	
SHEET 1 OF 13	
PROJECT NO. 4316-00-01	

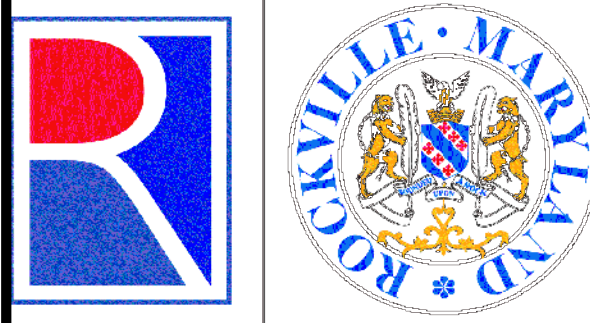
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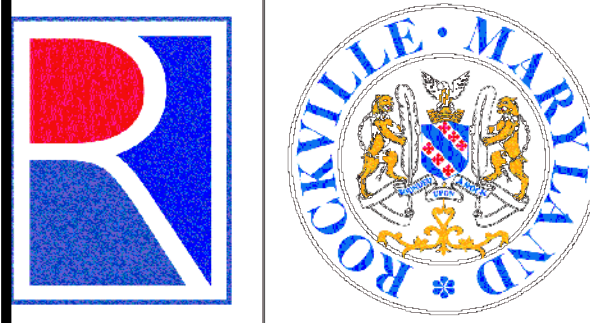
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 LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

**EXISTING CONDITIONS PLAN**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

**LEGEND**

	PROPERTY BOUNDARY
	EXISTING STORM DRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING GAS
	EXISTING ELECTRIC
	EXISTING TELECOM
	EXISTING CONTOURS
	EXISTING BUILDINGS
	EXISTING BUILDINGS
	EXISTING LIGHTING

TAX MAP FSS1, 0000	ZONING CATEGORY: MXE
WSSC 200 SHEET 220NW09	SITE DATUM HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD: CONNECT / VERSION: NCS	
SHEET 2 OF 13	PROJECT NO. 4316-00-01



**MISS UTILITY NOTE**

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 301-948-2750

**CONTACT: JAMES SOLTESZ**

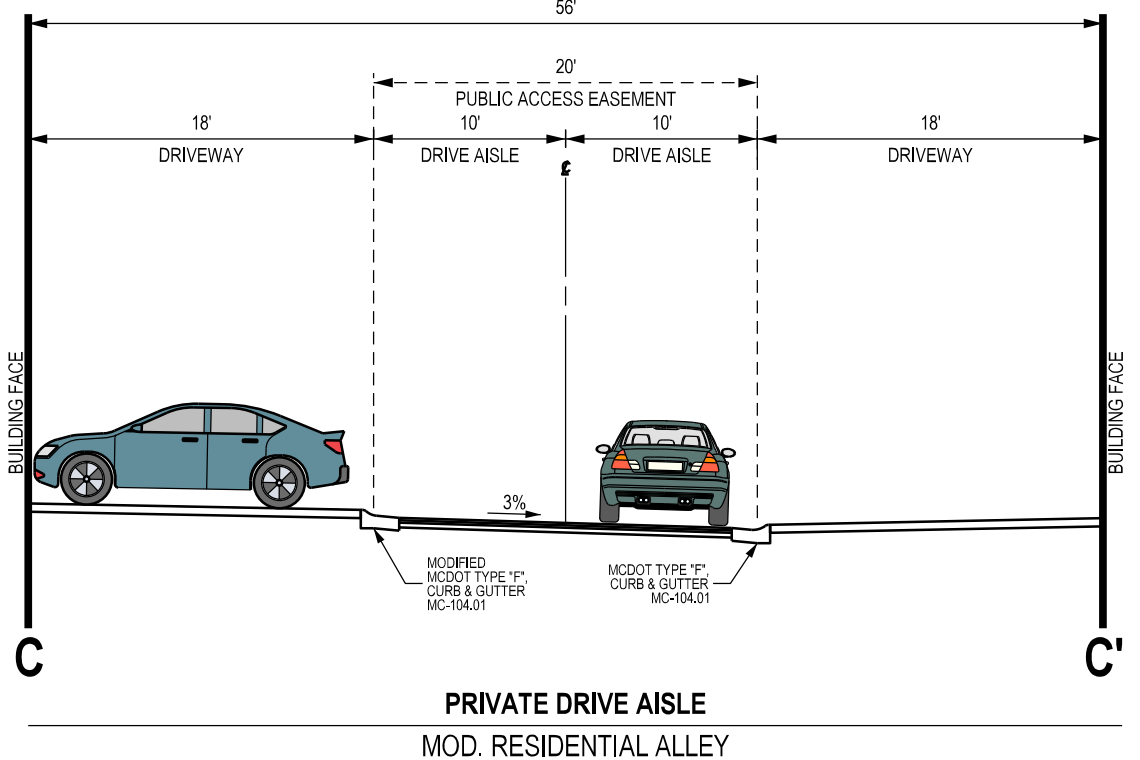
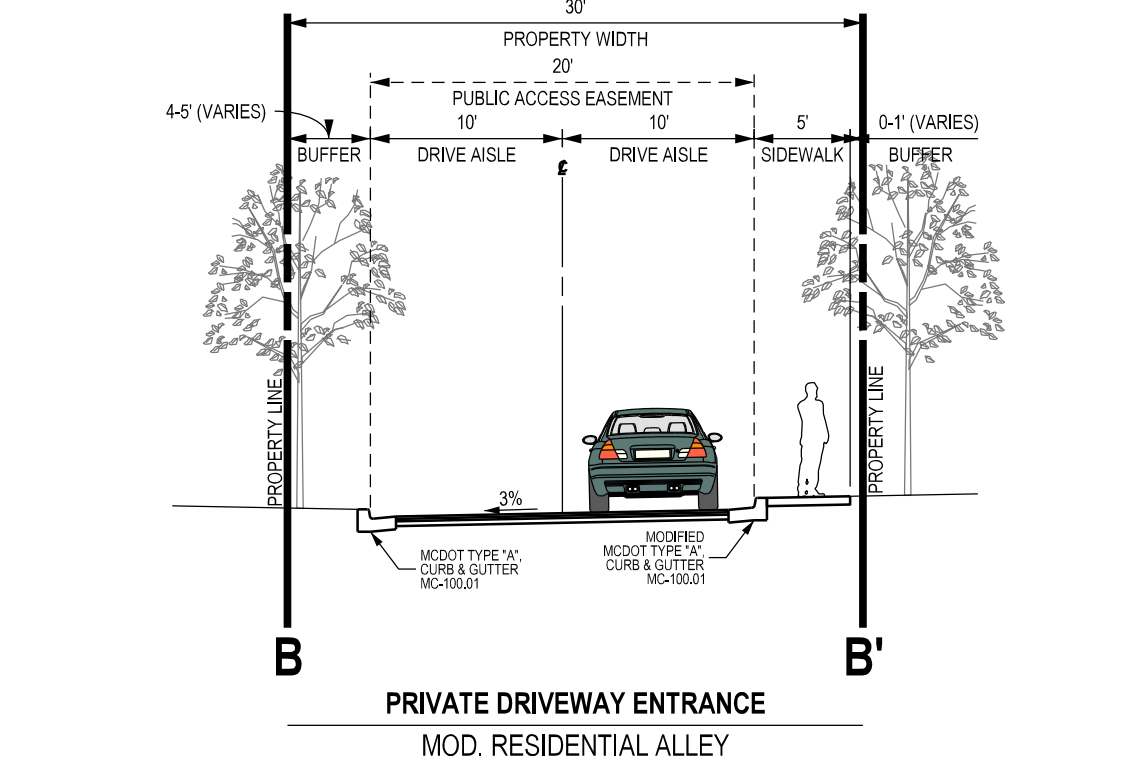
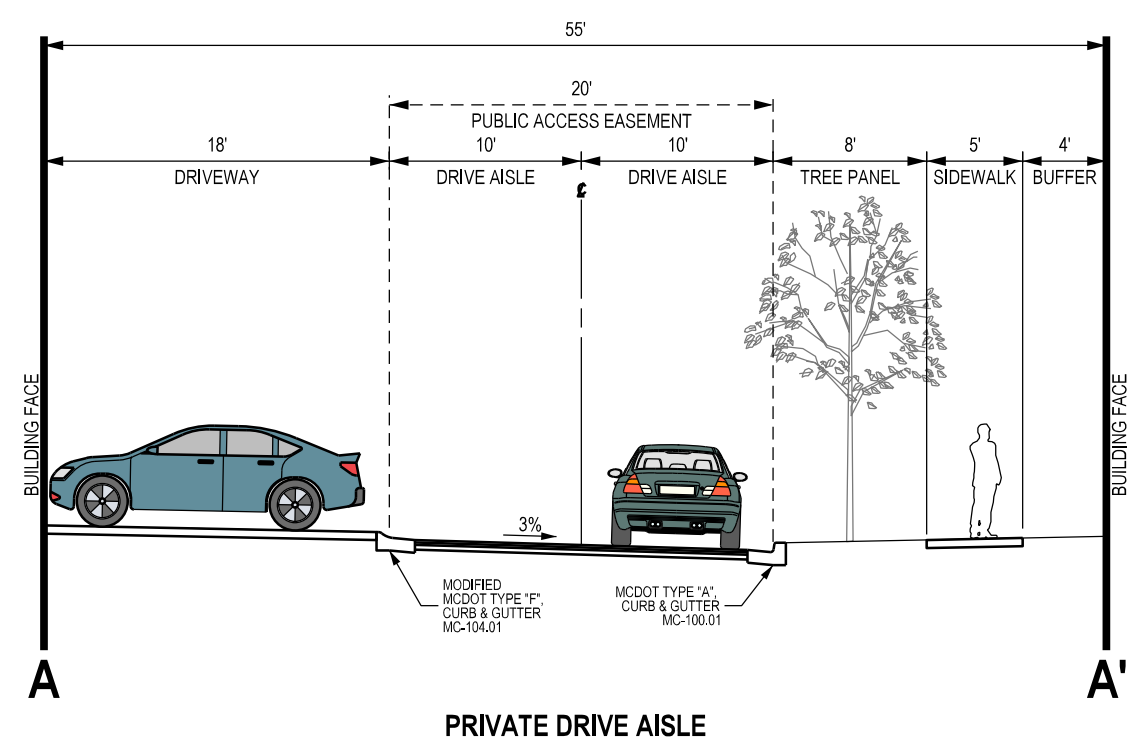
EMAIL: JSOLTESZ@SOLTESZCO.COM

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 LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

**DETAILED SITE PLAN**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

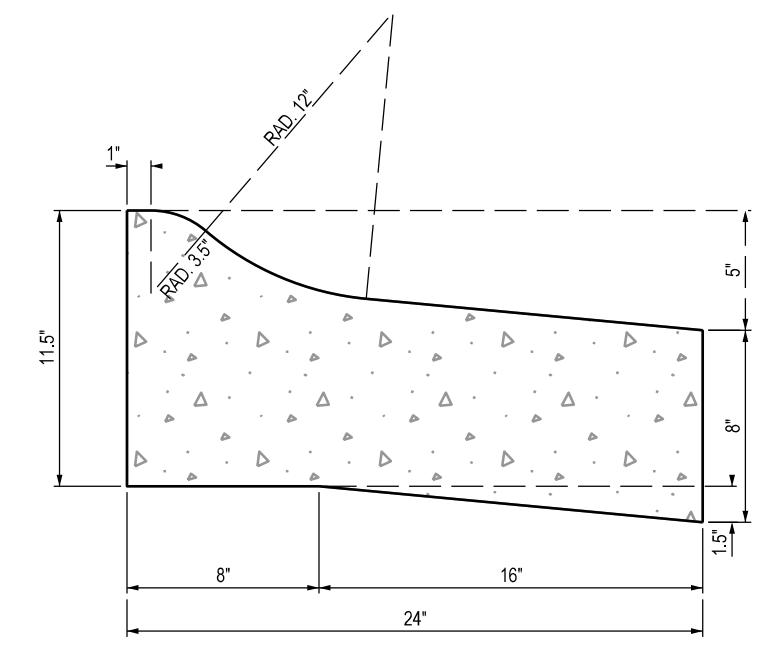
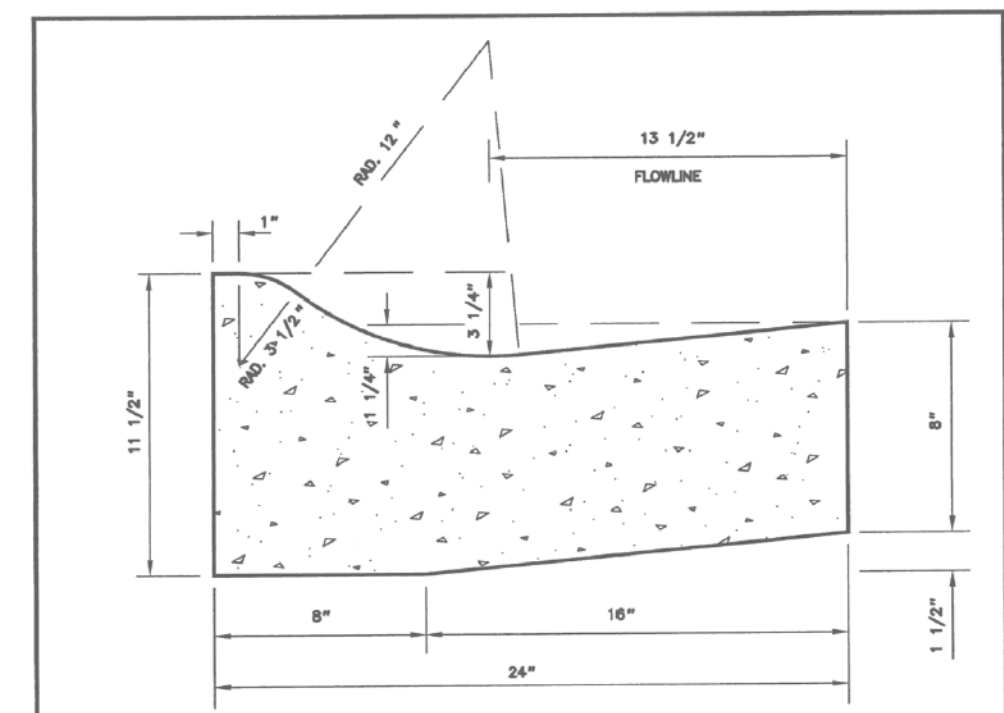
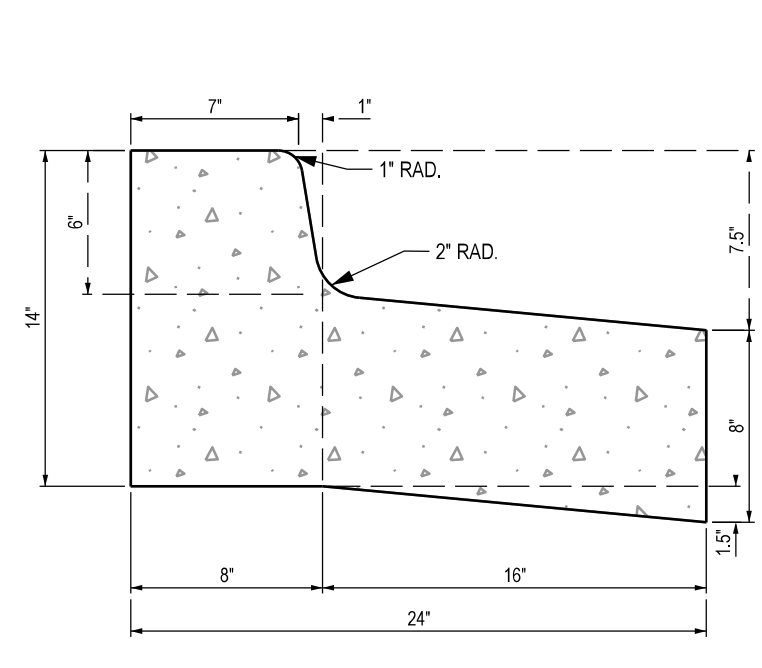
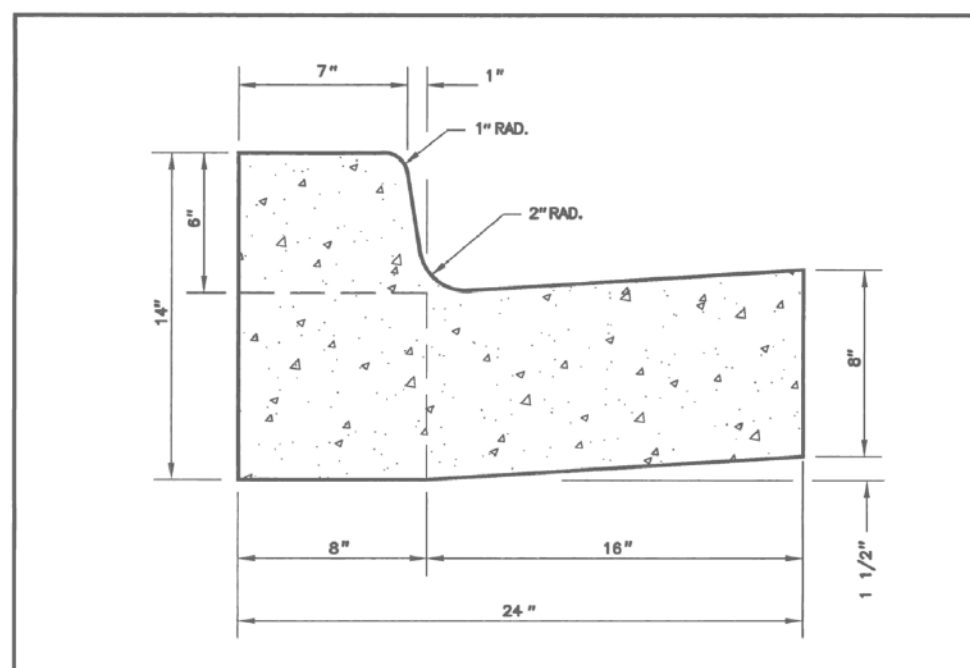
TAX MAP FSS1, 000	ZONING CATEGORY: MXE
WSSC 200 SHEET 220N09	SITE DATA HORIZONTAL: BAO 8391 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD: CONNECT / VERSION: NCS	
SHEET 3 OF 13	PROJECT NO. 4316-00-01



**LEGEND**

	PROPERTY BOUNDARY
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING SEWER
	PROPOSED SEWER
	EXISTING WATER
	PROPOSED WATER
	EXISTING GAS
	PROPOSED GAS
	EXISTING ELECTRIC
	PROPOSED ELECTRIC
	EXISTING TELECOM
	PROPOSED TELECOM
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING BUILDINGS
	EXISTING ROADS
	EXISTING LIGHTING
	PROPOSED LIGHTING
	PROPOSED BUILDINGS
	PROPOSED MPDUs
	PROPOSED FENCE
	PROPOSED STORMWATER MANAGEMENT FACILITIES
	PROPOSED BENCH
	PROPOSED TRANSFORMER

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**GENERAL NOTES**

- REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
- THIS STANDARD SHALL BE USED ON PRIMARY RESIDENTIAL, ARTERIAL AND BUSINESS DISTRICT ROADS AS WELL AS CURB RETURNS AND INLET THROATS.
- WHENEVER STANDARD MC-100.01 CURB IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-100.01 TO STANDARD MC-100.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
- THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
- EXPANSION JOINT MATERIAL SHALL BE 1/2" INCH PREFORMED CONK, TRIMMED AND SEALED WITH NON-STANNING TWO-COMPONENT POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.

APPROVED	14 APR 06	REVISED	DATE	Δ 4/24/06	4/2004	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
COMBINATION CONCRETE CURB AND GUTTER TYPE A						
STANDARD NO. MC-100.01						

**COMBINATION CONCRETE SPILL CURB & GUTTER - TYPE A**  
MODIFIED NO. MC-100.01

**GENERAL NOTES**

- REFER TO MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
- MOUNTABLE CURB SHALL ONLY BE USED ON TERTIARY STREETS OR ON SECONDARY RESIDENTIAL, CUL-DE-SACS 500 FEET OR LESS IN LENGTH, MEASURED FROM THE LAST INTERSECTING STREET.
- WHENEVER STANDARD MC-100.01 IS USED IN CONJUNCTION WITH THIS STANDARD, A TEN FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD MC-104.01 TO STANDARD MC-100.01 FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
- TRANSITION BETWEEN STANDARD MC-104.01 AND MC-100.01 OR MC-101.01 SHALL BE ACCOMPLISHED HOLDING THE FLOW LINE SLOPE CONSTANT.
- THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
- EXPANSION JOINT MATERIAL SHALL BE 1/2" INCH PREFORMED CONK, TRIMMED AND SEALED WITH NON-STANNING TWO-COMPONENT POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.

APPROVED	14 APR 06	REVISED	DATE	Δ 4/24/06	4/2004	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
MOUNTABLE CONCRETE CURB AND GUTTER TYPE F						
STANDARD NO. MC-104.01						

**MOUNTABLE CONCRETE SPILL CURB & GUTTER - TYPE F**  
MODIFIED NO. MC-104.01

**GENERAL NOTES**

- REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIAL AND METHODS OF CONSTRUCTION.
- SIDEWALK RAMP SHOULD BE LOCATED AS REQUESTED. HOWEVER, EXISTING SURFACE UTILITIES AND EXISTING OR PROPOSED GEOMETRICS MAY AFFECT PLACEMENT.
- EXPANSION JOINT MATERIAL SHALL BE 1/2" INCH PREFORMED CONK, TRIMMED AND SEALED WITH NON-STANNING TWO-COMPONENT POLYURETHANE ELASTOMERIC TYPE SEALANT, COMPLYING WITH ASTM-C920.

APPROVED	14 APR 06	REVISED	DATE	Δ 4/24/06	4/2004	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
RESIDENTIAL SIDEWALK RAMP						
STANDARD NO. MC-112.01						

**GENERAL NOTES**

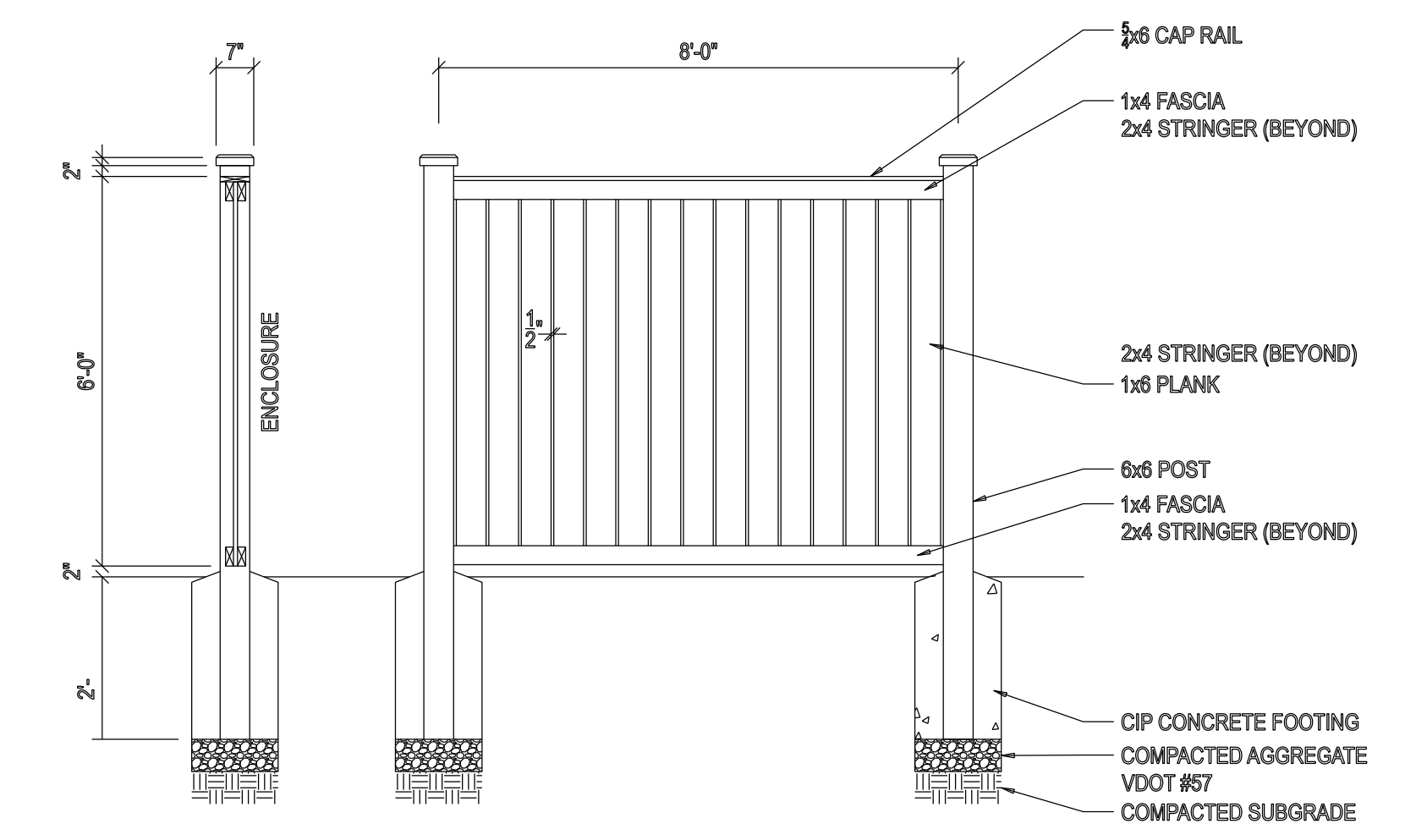
- REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
- REFER TO THE APPLICABLE MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS FOR DETAILS AT DRIVEWAYS.
- EXPANSION JOINTS SHALL HAVE A MAXIMUM SPACING OF 100 FEET AND BE LOCATED AT POINTS OF CURVATURE. EXPANSION JOINT MATERIAL SHALL BE 1/2" INCH PREFORMED CONK, TRIMMED AND SEALED WITH NON-STANNING TWO-COMPONENT POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920.
- REFER TO THE APPLICABLE ROAD STANDARD AND CURB AND GUTTER STANDARDS FOR OTHER OPTIONS.
- SIDEWALK SHALL BE 4'-0" FOR SECONDARY AND TERTIARY ROADWAYS.

APPROVED	9/1/20	REVISED	DATE	Δ 4/24/06	4/2004	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
RESIDENTIAL SIDEWALK CLOSED SECTION						
STANDARD NO. MC-110.01						

**GENERAL NOTES**

- REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
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- REFER TO THE APPLICABLE ROAD STANDARD AND CURB AND GUTTER STANDARDS FOR OTHER OPTIONS.
- SIDEWALK SHALL BE 4'-0" FOR SECONDARY AND TERTIARY ROADWAYS.

APPROVED	14 APR 06	REVISED	DATE	Δ 4/24/06	4/2004	MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION
RESIDENTIAL SIDEWALK CLOSED SECTION						
STANDARD NO. MC-110.01						



**PRIVACY / SOUND FENCE**  
 Manufacturer: Custom  
 Model: PVC Privacy Fence  
 Size: 6' HT. x 8' W. Panels  
 Mounting: CIP Concrete Footing  
 Comments: Or Approved Equivalent

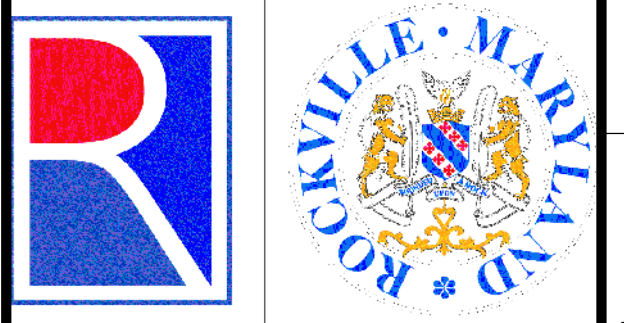
1 1/2" BITUMINOUS CONCRETE SURFACE COURSE	1 1/2" BITUMINOUS CONCRETE SURFACE COURSE
1 1/2" BITUMINOUS CONCRETE SURFACE COURSE	1 1/2" BITUMINOUS CONCRETE SURFACE COURSE
3" BITUMINOUS CONCRETE BASE COURSE	5" BITUMINOUS CONCRETE BASE COURSE
4" GRADED AGGREGATE BASE COURSE	APPROVED SUBGRADE

**NOTES:**  
 - ANY ASPHALT COURSE THAT EXCEEDS 4" IN THICKNESS MUST BE APPLIED IN TWO COURSES OR LAYERS.  
 - PAVING SECTION IS SUBJECT TO CHANGE PENDING SOIL ANALYSIS.

**ALTERNATE PAVING SECTIONS**  
PRIVATE DRIVE AISLES

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NO.	REVISIONS	BY	DATE

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 CONTACT: JAMES SOLTESZ  
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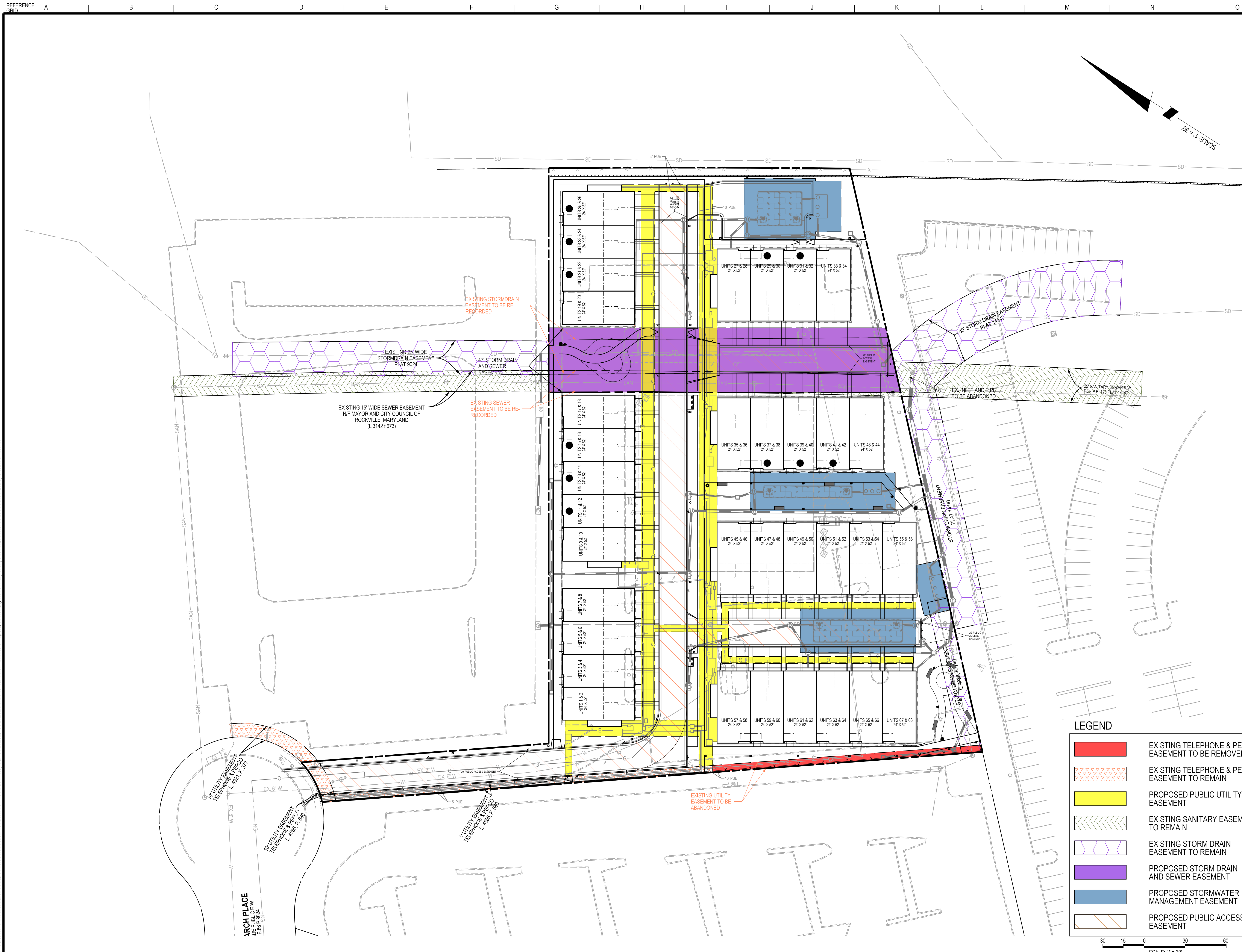
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 LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

**NOTES & DETAILS**

**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FS61, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATUM HORIZONTAL: BAAD 839.1 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD. S: CONNECT / VERSION: NCS	PROJECT NO. 4316-00-01

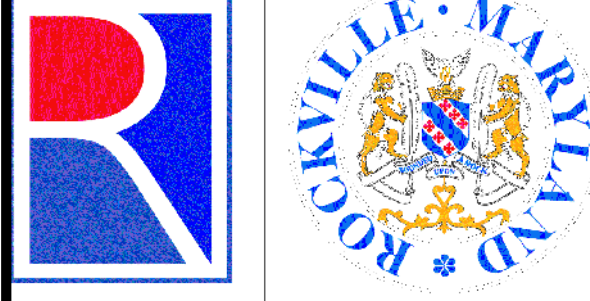
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Engineering  
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NO.	REVISIONS	BY	DATE
MISSING UTILITY NOTE			
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.			

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 2 RESEARCH PLACE, LLC  
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 ROCKVILLE, MD 20850  
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**EASEMENTS EXHIBIT**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

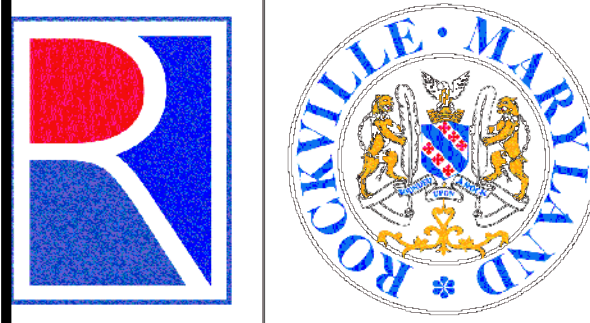
**LEGEND**

	EXISTING TELEPHONE & PEPCO EASEMENT TO BE REMOVED
	EXISTING TELEPHONE & PEPCO EASEMENT TO REMAIN
	PROPOSED PUBLIC UTILITY EASEMENT
	EXISTING SANITARY EASEMENT TO REMAIN
	EXISTING STORM DRAIN EASEMENT TO REMAIN
	PROPOSED STORM AND SEWER EASEMENT
	PROPOSED STORMWATER MANAGEMENT EASEMENT
	PROPOSED PUBLIC ACCESS EASEMENT

TAX MAP FSS1, 0000	ZONING CATEGORY: MXE
WSSC 200 SHEET 220NW09	SITE DATA HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / NCS	
SHEET 5 OF 13	
PROJECT NO. 4316-00-01	

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**REVISIONS**

NO.	REVISIONS	BY	DATE

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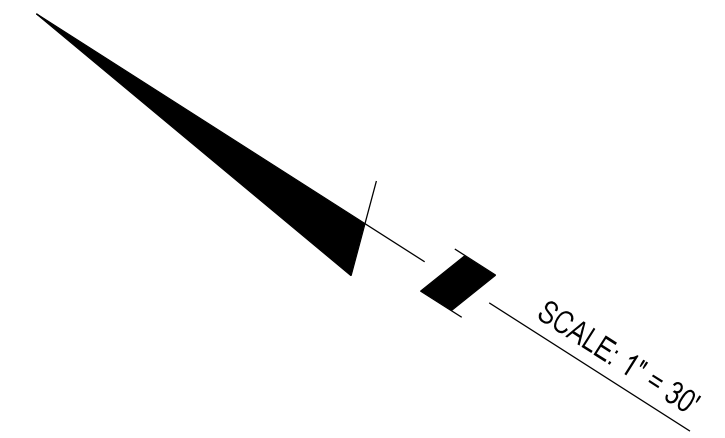
2 RESEARCH PLACE, LLC  
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**PUBLIC USE SPACE, PARKS & OPEN SPACE**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FS61, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS
PROJECT NO. 4316-00-01	



DWIGHT D. EISENHOWER HIGHWAY  
 (PUBLIC R/W WIDTH VARIES)

PROPOSED SOUND FENCE

FUTURE DEVELOPMENT SOUND WALL

EMERGENCY ACCESS BOLLARDS

PANEL E, BLOCK A  
 WASHINGTON NATIONAL PIKE  
 PANAMIN OFFICE RESEARCH LLC

PROPOSED 6' PRIVACY FENCE



**PUBLIC USE SPACE & OPEN AREA**

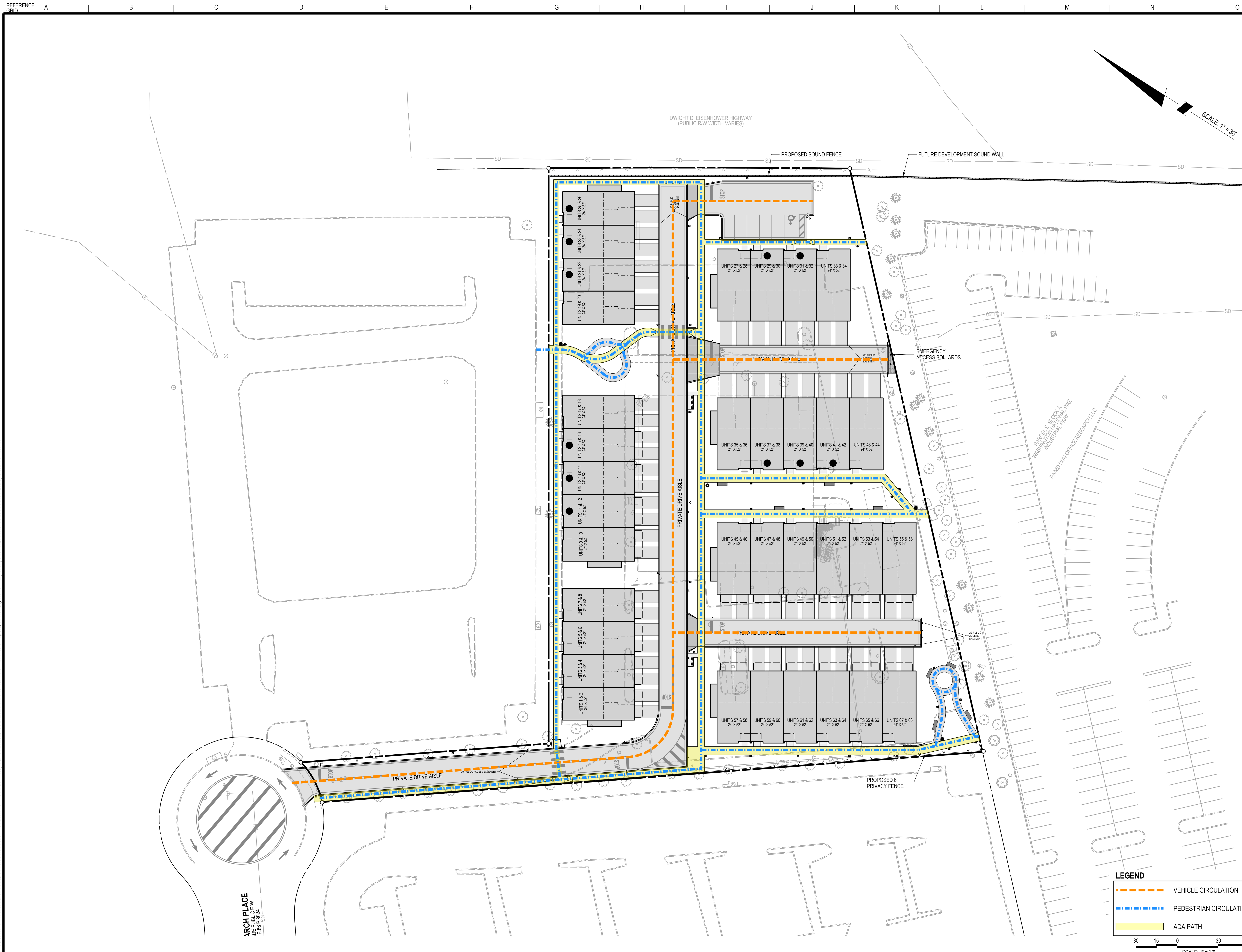
NET TRACT AREA: 2.82 AC / 122,804 SF

PUBLIC USE SPACE	REQUIRED: 5.00% (0.58 AC / 6,140 SF) PROVIDED: 7.69% (0.22 AC / 9,447 SF)
OPEN AREA	REQUIRED: 20.00% (0.56 AC / 24,560 SF) PROVIDED: 32.90% (0.93 AC / 40,407 SF)

Scale: 1" = 30'

ARCH PLACE  
 DE PUBLIC R/W  
 B 86 P 5024

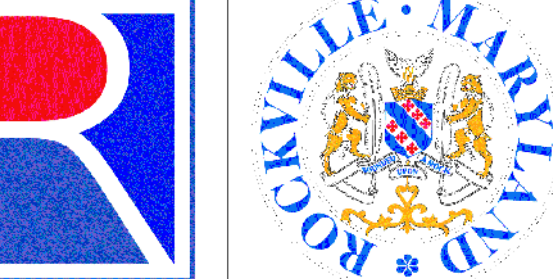
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**ON-SITE VEHICLE & PEDESTRIAN CIRCULATION PLAN**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

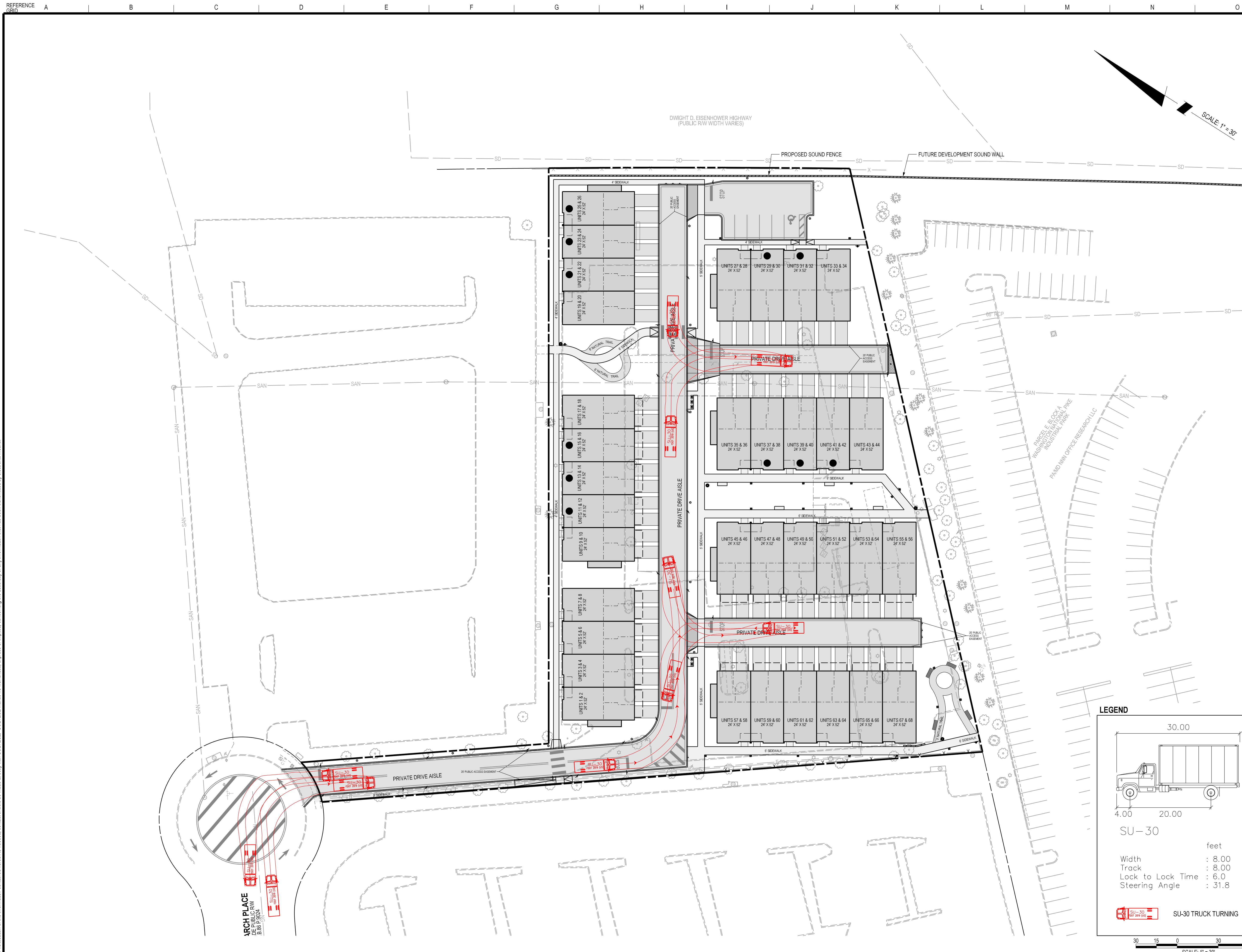
TAX MAP FS61, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA: HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS
PROJECT NO. 4316-00-01	

**LEGEND**

- VEHICLE CIRCULATION
- PEDESTRIAN CIRCULATION
- ADA PATH

SCALE: 1" = 30'

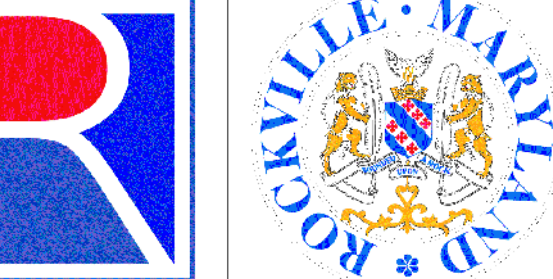
ARCH PLACE  
 DE PUBLIC R/W  
 B 88' P 0/24



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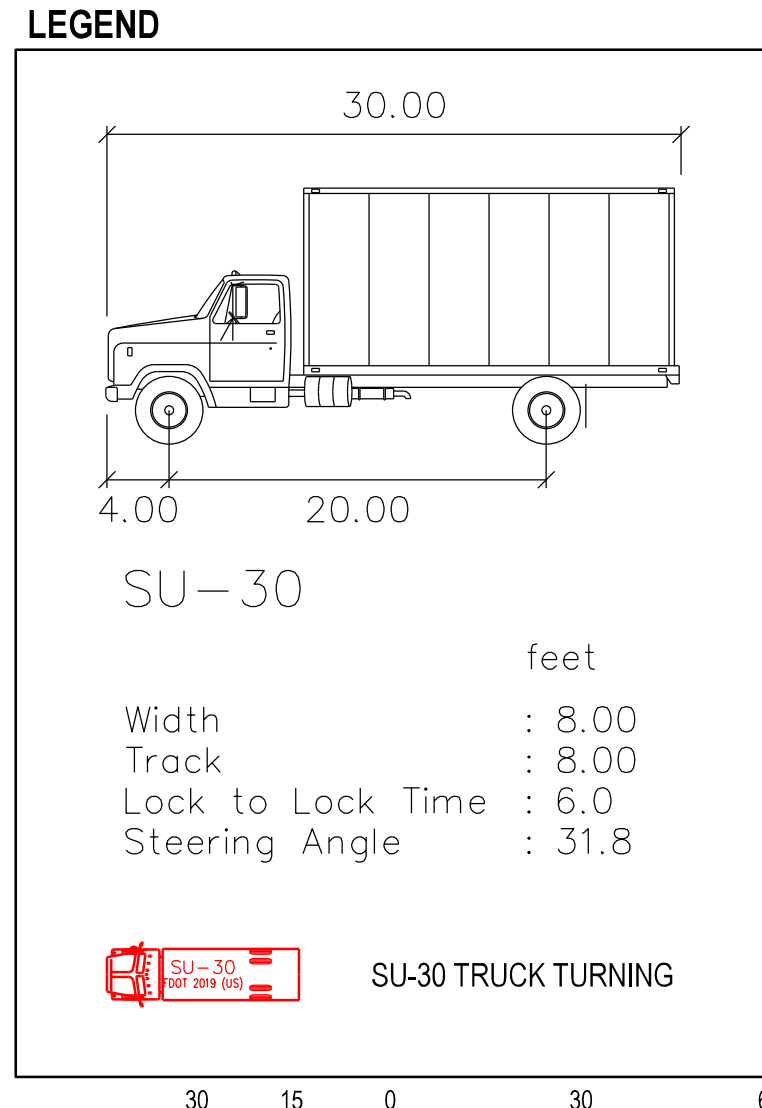


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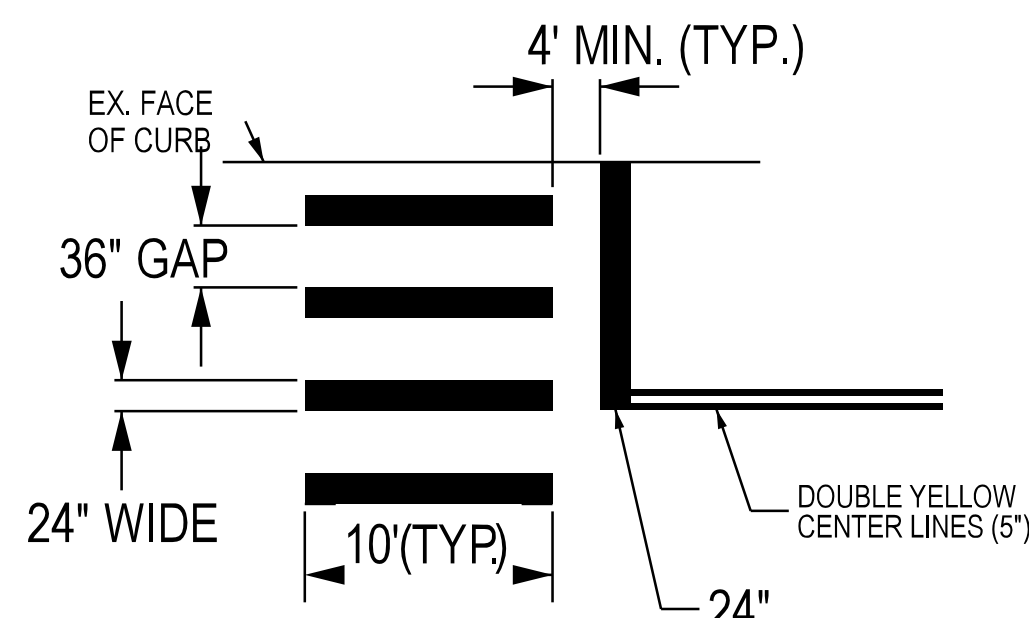
**DELIVERY TRUCK TURNING EXHIBIT**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND



TAX MAP FS61_0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA HORIZONTAL: BAO 83991 VERTICAL: NVD29
SHEET 9 OF 13	DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS
PROJECT NO. 4316-00-01	

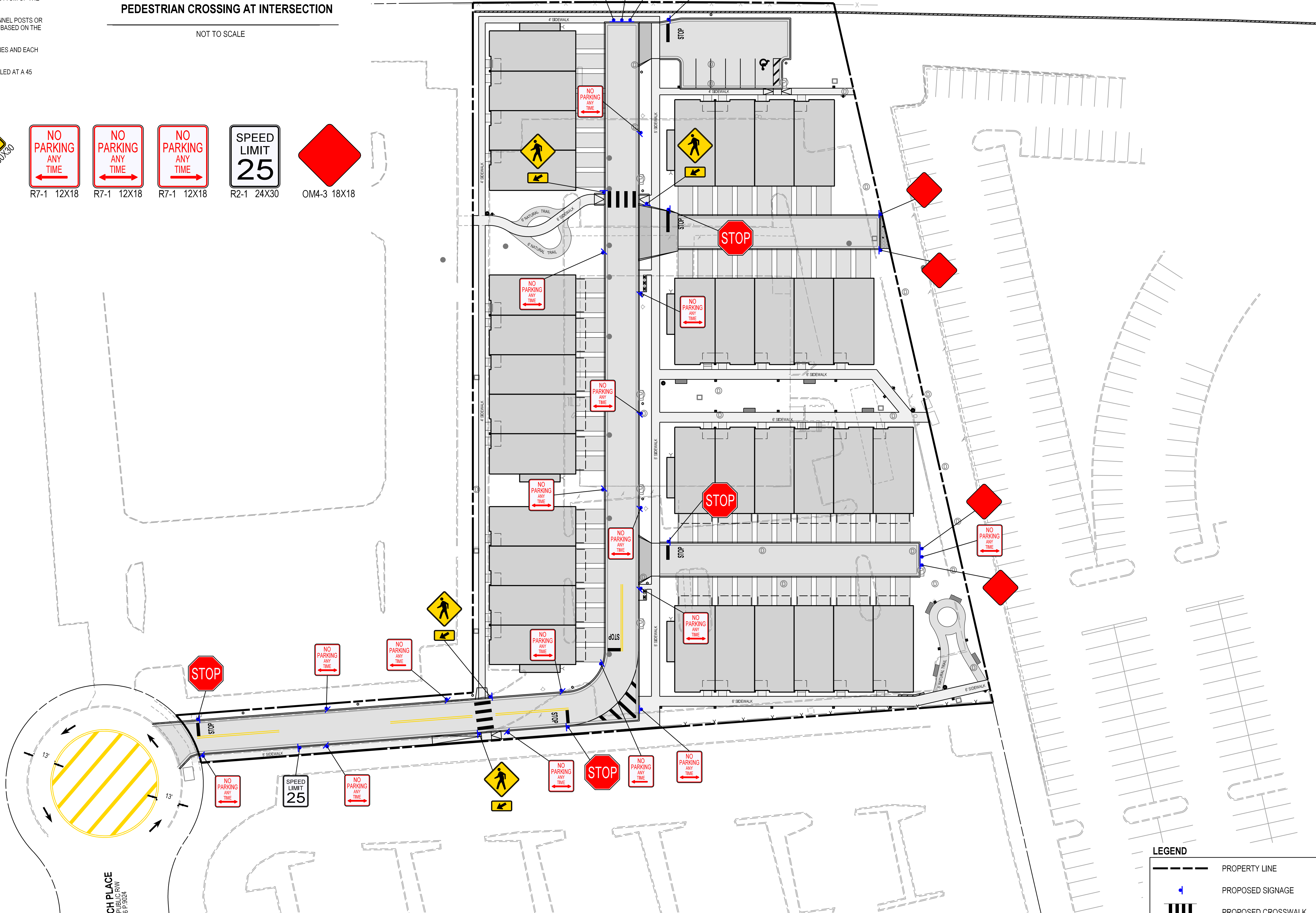
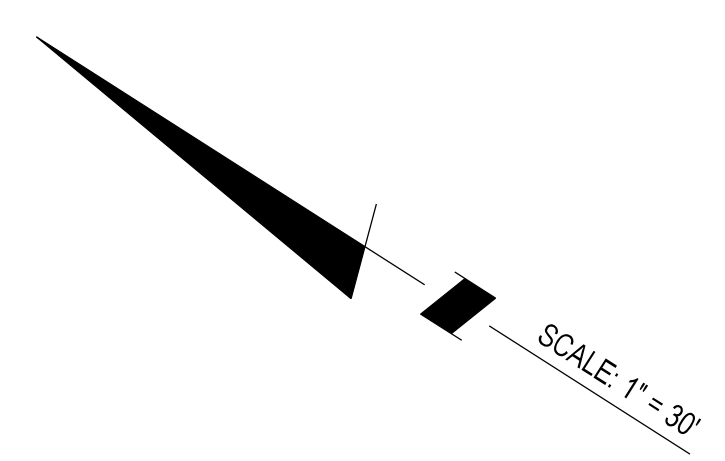
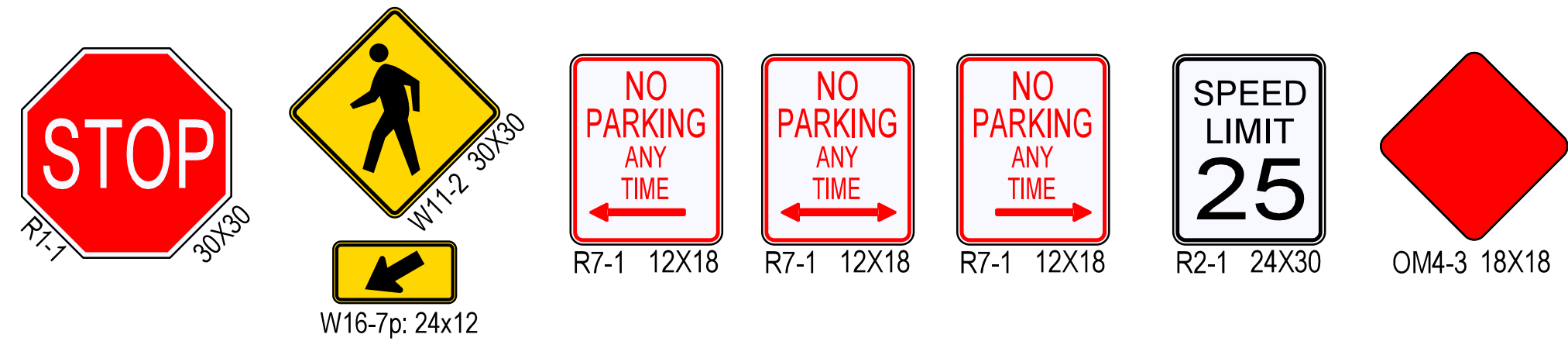
**PAVEMENT MARKINGS AND SIGNING NOTES:**

1. ALL SIGNING AND MARKING SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MARYLAND MUTCD), MARYLAND STATE HIGHWAY ADMINISTRATION'S BOOK OF STANDARDS, SPECIFICATIONS, AND GUIDELINES.
2. PROPOSED SIGN & MARKING LOCATIONS ARE APPROXIMATE AND MAY BE MODIFIED IN THE FIELD.
3. LIMITS SHOWN OF PROPOSED PAVEMENT MARKINGS ARE APPROXIMATE AND MAY BE MODIFIED IN THE FIELD TO ENSURE THAT PROPOSED PAVEMENT MARKINGS DO NOT CONFLICT WITH PERIPHERAL MARKINGS.
4. MAINTENANCE OF TEMPORARY PAVEMENT MARKINGS AND SIGNS SHALL BE THE CONTRACTOR'S RESPONSIBILITY UNTIL IMPLEMENTATION OF FINAL PAVEMENT MARKINGS AND SIGNS.
5. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, NOT PAINT.
6. SIGN HEIGHT SHALL BE MINIMUM 7 FEET FROM THE BOTTOM OF THE SIGN FACE TO THE GROUND.
7. FOR SIGN POSTS, USE EITHER 2" GALVANIZED U CHANNEL POSTS OR GALVANIZED BREAKAWAY TUBULAR STEEL SIGN POSTS BASED ON THE MD SHA STANDARD #802.04.
8. CENTERLINE MARKING SHALL BE DOUBLE YELLOW LINES AND EACH LINE SHALL BE 5 INCH WIDE.
9. IN GENERAL, 'NO PARKING' SIGNS SHOULD BE INSTALLED AT A 45 DEGREE ANGLE.



**PEDESTRIAN CROSSING AT INTERSECTION**

NOT TO SCALE



**LEGEND**

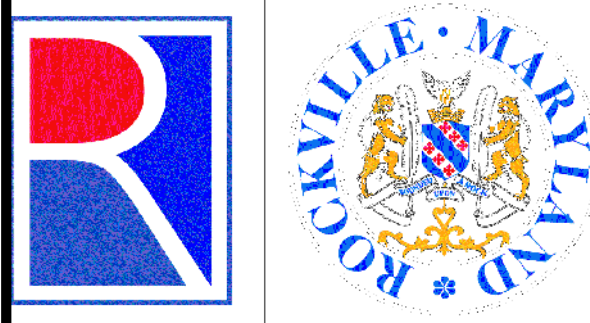
- PROPERTY LINE
- ▲ PROPOSED SIGNAGE
- ▨ PROPOSED CROSSWALK

SCALE: 1" = 30'

**NOTE: ALL PAVEMENT MARKINGS SHOWN IN BLACK ARE TO BE PAINTED WHITE.**

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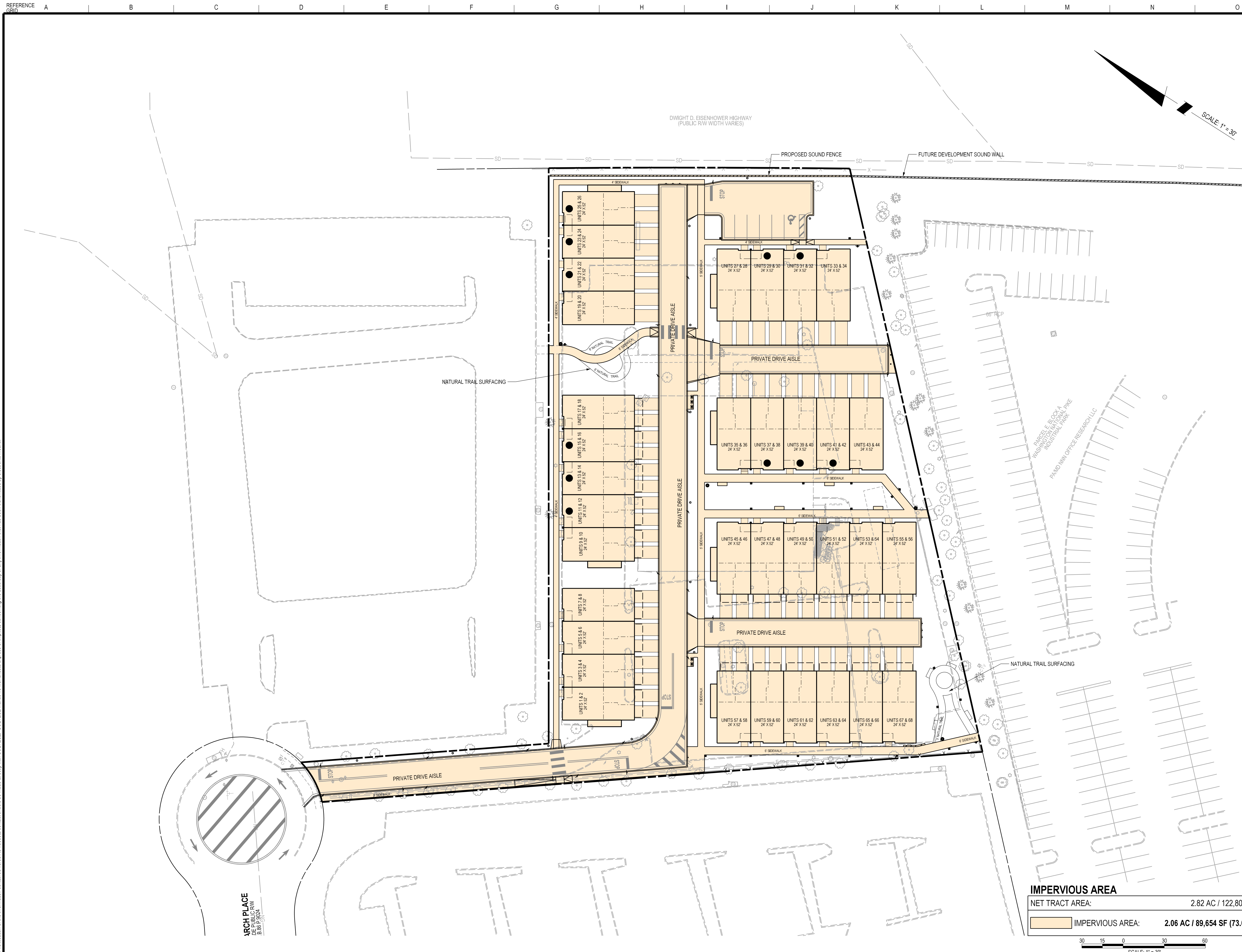
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**PRIVATE PAVEMENT MARKING & SIGNAGE PLAN**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FSS1_000	ZONING CATEGORY: MXE
WSSC 200 SHEET 220NW09	SITE DATA HORIZONTAL: IAD 83891 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	SHEET 10 OF 13
CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS	
PROJECT NO. 4316-00-01	

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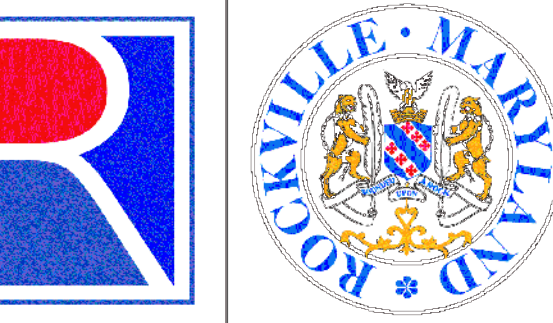


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B 88 P 024

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**IMPERVIOUS AREA EXHIBIT**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FSS1, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA: HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS
SHEET 11 OF 13	PROJECT NO. 4316-00-01

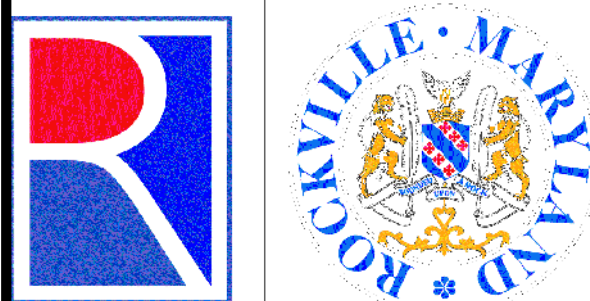
**IMPERVIOUS AREA**  
NET TRACT AREA: 2.82 AC / 122,804 SF  
IMPERVIOUS AREA: 2.06 AC / 89,654 SF (73.00%)



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 LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

**COLOR CODED UTILITY EXHIBIT**

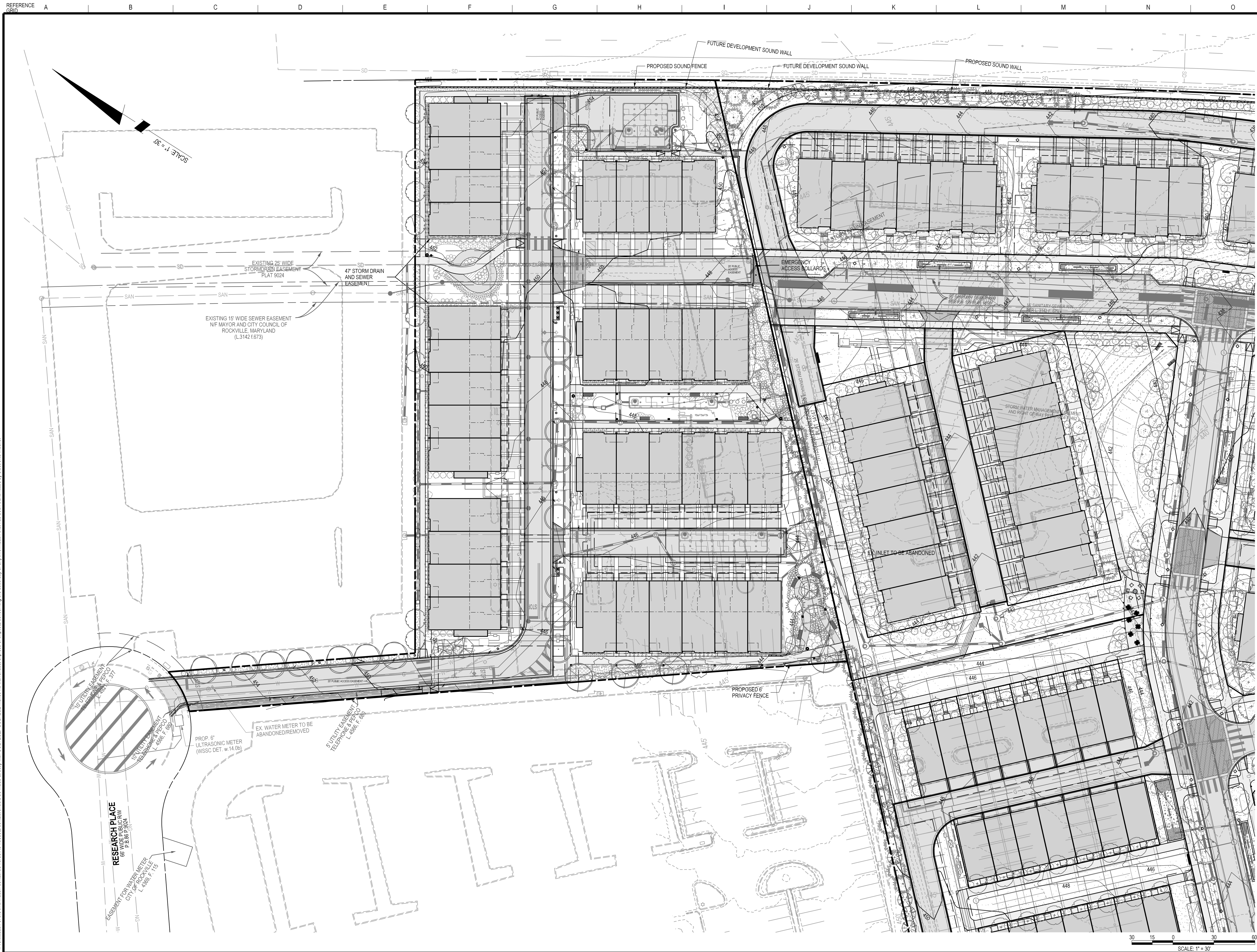
**SITE PLAN**

**2 RESEARCH PLACE**

**LOT P5, BLOCK A**

ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

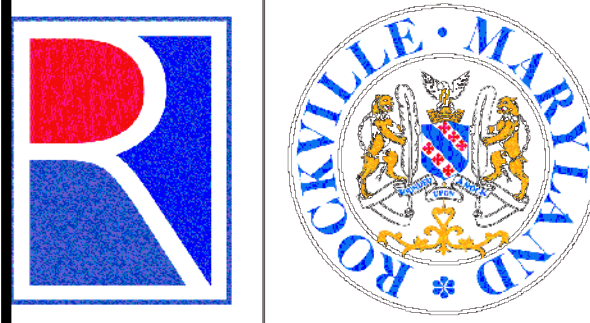
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WSSC 200' SHEET: 220N09	SITE DATA: HORIZONTAL: NAD 83/91 VERTICAL: NAD 83/91
DATE: 2/26/2026	DESIGNED: JS
TECHNICIAN: JS	CHECKED: JDS
CAD STD'S: CONNECT /	VERSION: NCS
PROJECT NO. 4316-00-01	



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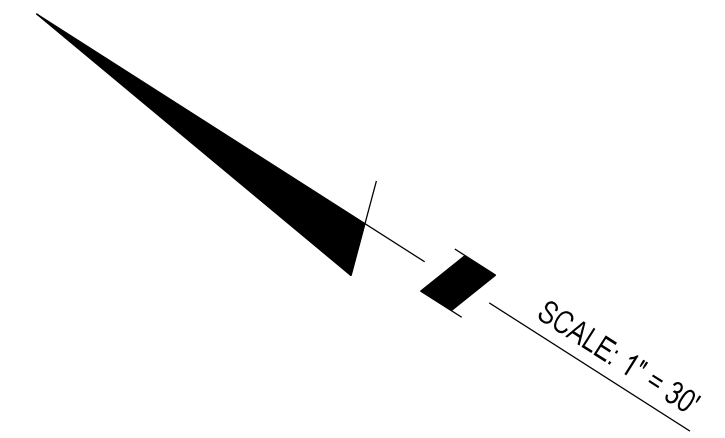
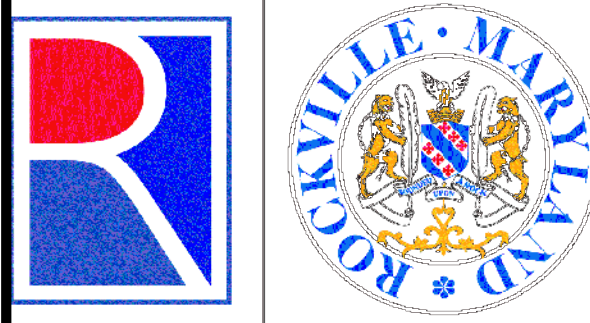
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**FUTURE DEVELOPMENT EXHIBIT**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP: FSS1_000	ZONING CATEGORY: MXE
WSSC 200' SHEET: 220NW09	SITE DATA: HORIZONTAL: IAD 839'1" VERTICAL: NGVD29
DATE: 2/27/2026	DESIGNED: JS
TECHNICIAN: JS	CHECKED: JDS
CAD STD'S: CONNECT /	VERSION: NCS
PROJECT NO. 43116-00-01	

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**ADDRESS PLAN**  
**SITE PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FS61, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS	PROJECT NO. 4316-00-01

PLANT SCHEDULE							
QUANTITY	CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	B&B/CONT.	REMARKS
<b>DECIDUOUS TREES</b>							
4	ARC	<i>Acer rubrum 'Columnare'</i>	Columnar Red Maple	2.5' Cal.	As Shown	B&B	Matching
12	GBP	<i>Ginkgo biloba 'Princeton Sentry'</i>	Princeton Sentry Ginkgo	2.5' Cal.	As Shown	B&B	Male, Matching
7	POC	<i>Platanus occidentalis</i>	Sycamore	2.5' Cal.	As Shown	B&B	Matching
11	QPH	<i>Quercus phellos 'Hightower'</i>	Hightower Willow Oak	2.5' Cal.	As Shown	B&B	Matching
5	QRU	<i>Quercus rubra</i>	Northern Red Oak	2.5' Cal.	As Shown	B&B	Matching
<b>ORNAMENTAL TREES</b>							
8	CAN	<i>Cercis canadensis</i>	Eastern Redbud	10' Ht.	As Shown	B&B	Single Stem, Matching
5	LIM	<i>Lagerstroemia indica 'Muskogee'</i>	Muskogee Crepe Myrtle	10' Ht.	As Shown	B&B	Multi-Stem
3	MAS	<i>Magnolia x soulangeana</i>	Saucer Magnolia	10' Ht.	As Shown	B&B	Single Stem, Matching
<b>EVERGREEN TREES</b>							
6	INS	<i>Ilex x Nelly R. Stevens</i>	Nelly Stevens Holly	10' Ht.	As Shown	B&B	Matching
<b>EVERGREEN SHRUBS</b>							
32	Agp	<i>Azalea 'Gumpo Pink'</i>	Gumpo Pink Azalea	24"	As Shown	Cont.	Dense, Full
133	Bwg	<i>Buxus microphylla 'Winter Gem'</i>	Winter Gem Boxwood	30"	As Shown	Cont.	Dense, Full
20	Igl	<i>Ilex glabra</i>	Inkberry	36"	As Shown	Cont.	Dense, Full
9	Kal	<i>Kalmia latifolia</i>	Mountain Laurel	36"	As Shown	Cont.	Dense, Full
143	Plo	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken Laurel	36"	As Shown	Cont.	Dense, Full
28	Pls	<i>Prunus laurocerasus 'Schipkaensis'</i>	Schip Laurel	72"	As Shown	Cont.	Dense, Full
32	Rho	<i>Rhododendron maximum</i>	Great Rhododendron	48"	As Shown	Cont.	Dense, Full
79	Tag	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	72"	As Shown	Cont.	Dense, Full
<b>DECIDUOUS SHRUBS</b>							
29	Hyd	<i>Hydrangea arborescens</i>	Smooth Hydrangea	48"	As Shown	Cont.	Dense, Full
22	Ivt	<i>Ilex verticillata</i>	Smooth Winterberry	36"	As Shown	Cont.	Dense, Full
13	Ham	<i>Hamamelis virginiana</i>	American Witch-Hazel	60"	As Shown	Cont.	Dense, Full
<b>PERENNIALS</b>							
206	Adi	<i>Adiantum pedatum</i>	Maidenhair Fern	#1	18" o.c.	Cont.	Full, Mature
374	AcS	<i>Astilbe chinensis var. taquetii 'Superba'</i>	Superba False Spirea	#1	18" o.c.	Cont.	Full, Mature
45	Ger	<i>Geranium maculatum</i>	Wild Geranium	#1	12" o.c.	Cont.	Full, Mature
309	Heu	<i>Heuchera americana</i>	Coral Bells	#1	12" o.c.	Cont.	Full, Mature
376	Pol	<i>Polemonium reptans</i>	Spreading Jacob's Ladder	#1	12" o.c.	Cont.	Full, Mature
50	Rud	<i>Rubbeckia hirta</i>	Black-Eyed-Susan	#1	18" o.c.	Cont.	Full, Mature
<b>GRASSES</b>							
593	Car	<i>Carex pensylvanica</i>	Pennsylvania Sedge	#1	12" o.c.	Cont.	Full, Mature
<b>GROUNDCOVER</b>							
289	Gau	<i>Gaussia procumbens</i>	Eastern Teaberry	#1	12" o.c.	Cont.	Full, Mature
<b>ANNUALS</b>							
94	Ann	Annuals	Annuals	#1	12" o.c.	Cont.	Full, Mature

NOTE: OFFSITE TREES ARE NOT INCLUDED IN THIS PLANT SCHEDULE. PLEASE SEE PRELIMINARY FOREST CONSERVATION PLAN FOR OFFSITE TREE SCHEDULE.

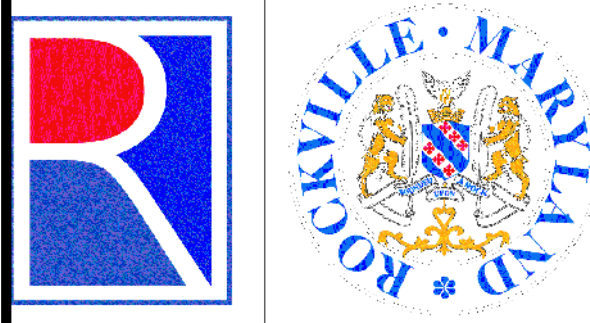


**LEGEND**

- PROPERTY BOUNDARY
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING GAS
- PROPOSED GAS
- EXISTING ELECTRIC
- PROPOSED ELECTRIC
- EXISTING TELECOM
- PROPOSED TELECOM
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- PROPOSED MPDUs
- PROPOSED STORMWATER MANAGEMENT FACILITIES
- PROPOSED SHADE TREES
- PROPOSED EVERGREEN TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED OFFSITE TREES
- PROPOSED SHRUBS
- PROPOSED GRASSES, PERENNIALS & GROUNDCOVERS

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**DETAILED SITE PLAN**  
**LANDSCAPE & LIGHTING PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
 ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FS61, 0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATA: HORIZONTAL: NAD 83/91 VERTICAL: NAVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JDS CAD STD: S. CONNECT / VERSION: NCS
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# Planting Notes for Landscape Plans

NOVEMBER 2019

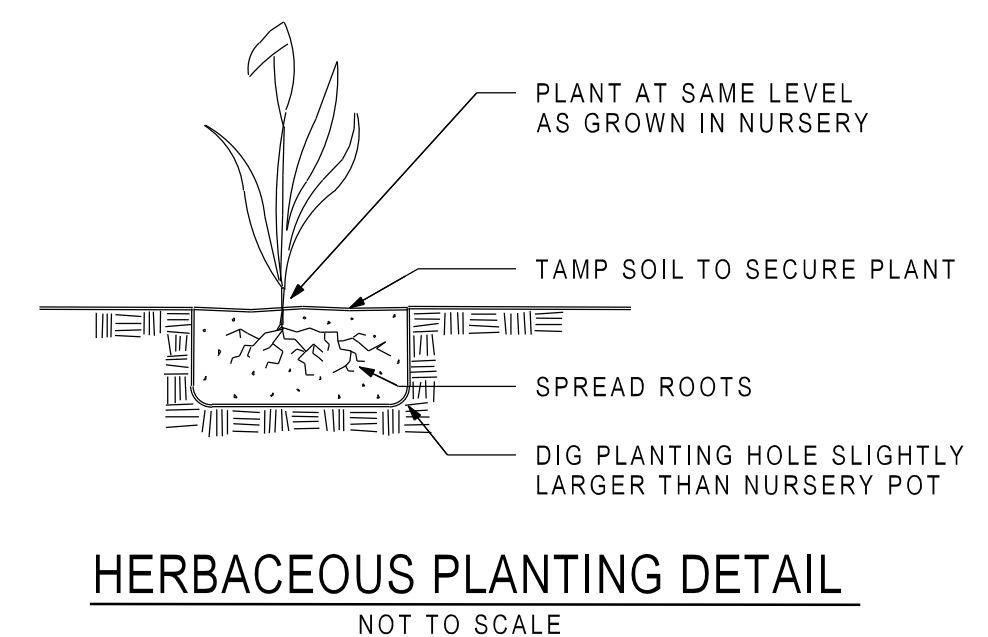
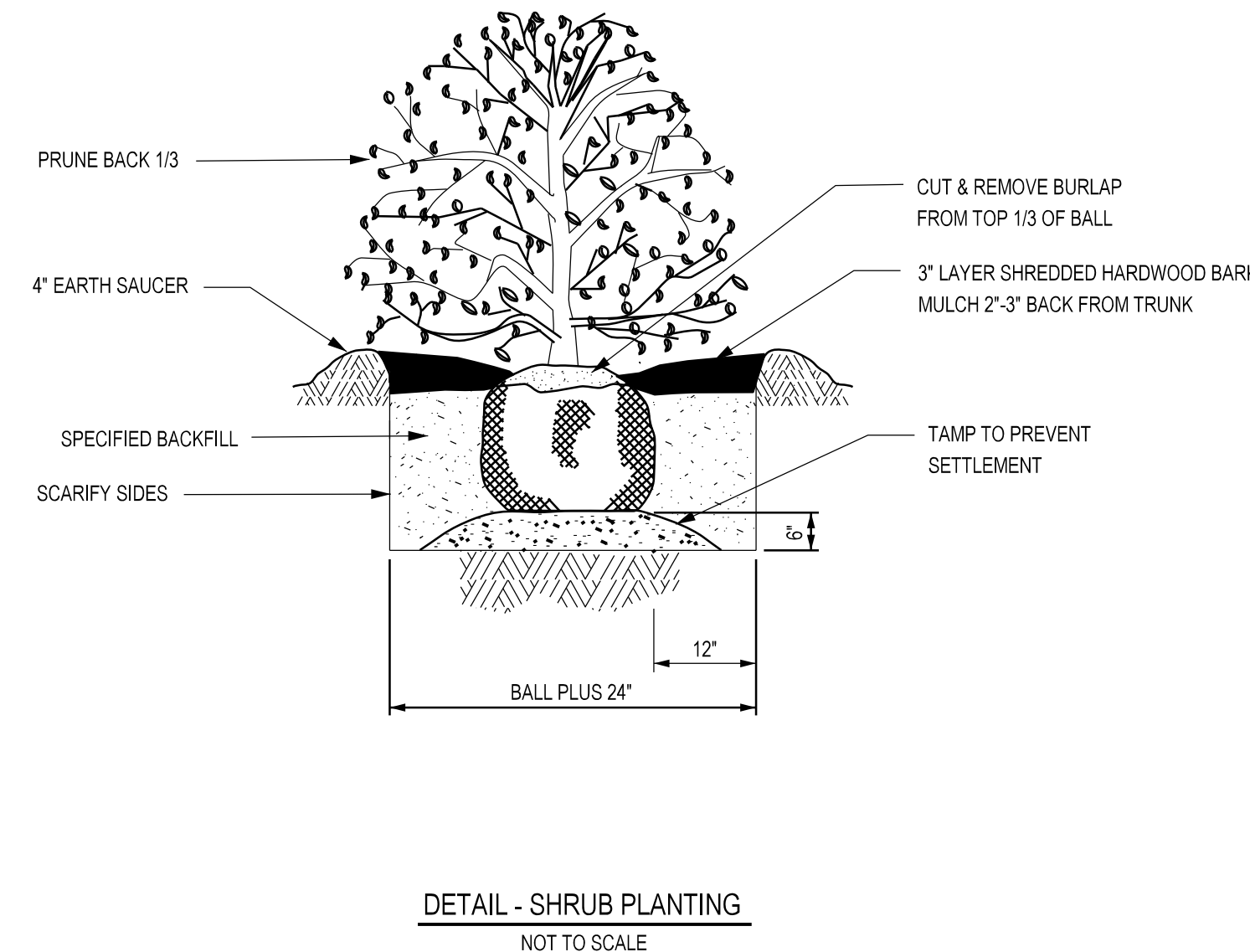
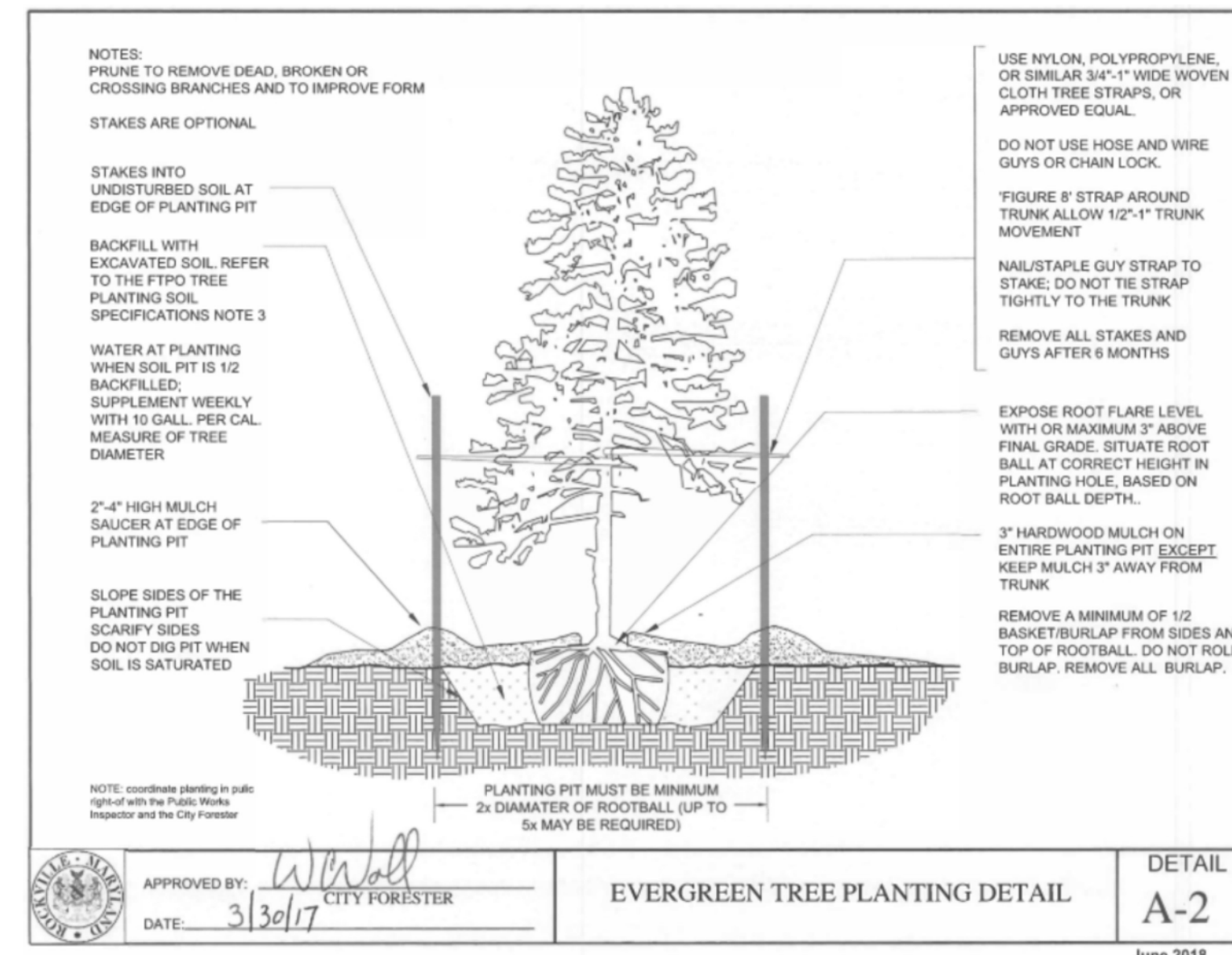
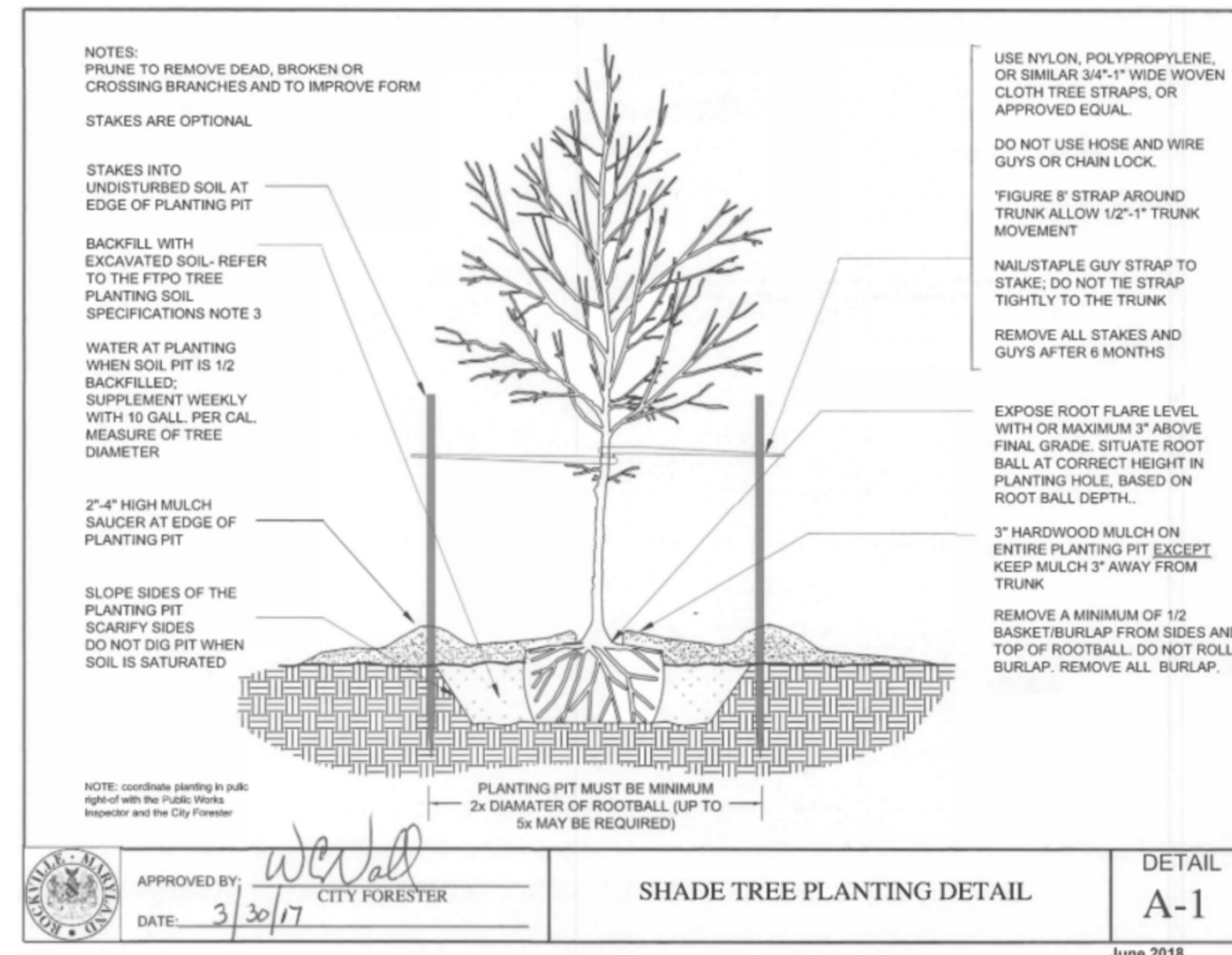
## INSTALLATION OF PLANT MATERIAL

- The Permittee is responsible for obtaining the approved Forest Conservation Plan/Landscape Plan and providing a copy to the Landscape Contractor. The Permittee shall ensure that the Landscape Contractor can secure the plants shown the FCP/Landscape Plan. Plant substitutions are not allowed. It is strongly recommended that plant material be secured from supplier by the project start date.
- A pre-planting meeting is required before installation of landscaping, afforestation, or reforestation. The applicant must schedule an on-site pre-planting meeting with the City Forestry Inspector. Attendees must include the Permittee, landscape contractor, and Forestry Inspector. Trees and shrubs shall conform to the current edition of the American Standard for Nursery Stock (ANSI Z60.1).
- Comply with appropriate City Soil Specification:
  - Soil Specification FOR TREE PLANTING WHERE EXISTING PAVEMENT OR OTHER IMPERVIOUS SURFACES WERE PREVIOUSLY LOCATED OR WHERE EXISTING GREENSPACE HAS BEEN SEVERELY DEGRADED<sup>1</sup>
    - Site Preparation
      - Demolish existing impervious surface and remove all existing asphalt, concrete, stone and construction materials to expose subsoil free of debris.
      - Excavate so that final planting bed will provide quality soil to a depth of forty-eight (48) inches, and to a radius of 10' minimum or to new hard edge of planting bed, whichever is less.
      - Loosen exposed subsoil below 48" by ripping 18" into the sub grade elevation.
      - Test to ensure that planting bed drains at a rate of at least 1 inch per hour.
      - Install imported soil to fill excavated planting bed. Imported soil shall have a texture of LOAM, per the USDA soil classification system and a chemical composition compatible with healthy tree growth. When installing the soil, it should be installed in lifts or layers of < 12 inches (30 cm), tamping or watering (not both) between lifts to minimize potential setting.
      - Immediately prior to installation of plant material, the soil must be tested and must have a pH range between 5.5 and 7 and a nutrient content which corresponds to an adequate rating, per current industry standards. Amend soil, if necessary, to achieve the current industry standard.
      - The Forestry Inspector may require additional soil specifications, based on site conditions.
    - Soil Specification FOR PLANTING WHERE EXISTING GREEN SPACE HAS NOT BEEN PROTECTED FROM CONSTRUCTION IMPACTS BUT IS NOT SEVERELY DEGRADED.
      - Site Preparation:
        - Remove all construction debris and top four to six inches of existing soil.
        - Test remaining existing soil to verify a pH range between 5.5 and 7, and has a nutrient content which corresponds to an adequate rating, per current industry standards.
        - Apply four (4) inches of mature compost evenly over the entire planting surface. (4" = 12 Cubic Yard/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
        - Till the compost into the existing soil to a minimum depth of thirty-six (36) inches using the city's soil profile rebuilding specification.
        - If soil does not meet nutrient standards, mitigate soil chemistry to meet the chemical parameters.
      - The Forestry Inspector may require additional soil specifications, based on site conditions.
    - Soil Specification FOR PLANTING WITHIN EXISTING GREEN SPACE AREAS WHICH HAVE BEEN PROTECTED FROM CONSTRUCTION IMPACTS (One of two options, as determined by Forestry Inspector) Refer to approved City of Rockville Detail A-7

- Test existing soil to verify it has a pH range between 5.5 and 7, and a nutrient content which corresponds to an adequate rating, per current industry standards. If soil does not meet nutrient standards, one of two options will be performed to mitigate the soil:
    - Option 1 - Till Method- Depth of tilling for planting must be at least twenty-four (24) inches:
      - Apply four (4) inches of mature compost evenly over the entire planting surface (4" = 12 cubic yards/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
      - Till the compost into the existing soil to a minimum depth of twenty-four (24") inches.
    - Option 2 - Aeration and Vertical Mulching
      - Using a 2- 3" Auger, drill a series of holes in the soil to a depth of twenty-four (24) inches.
      - Begin at the edge of the hole dug for the root ball and continue drilling at one-foot intervals (maximum), in concentric rings around the tree out to ten (10) feet from the tree.
      - Each hole must be refilled with mature compost.
  - The Forestry Inspector may require additional soil specifications, based on site conditions.
- Soil testing of the existing soil may be conducted with PRIOR approval from the City's Forestry Inspector to determine the number and location of the samples. The above requirements may be reduced if soil testing shows the following:
  - Soil pH is between 5.5 and 7
  - The top 24" of existing soil contains a minimum of 4-6% organic matter by weight
  - The soil is free of contaminants
  - The soil texture is sandy loam or loam
  - The soil has an infiltration rate not less than 1" per hour
  - The soil does not contain debris or stones greater than one inch
  - The soluble salt content is less than 3 dS/m
  - Consult the University of Maryland Extension website: <http://extension.umd.edu/> for a listing of commercial soil testing facilities.
- Soil preparation is required for street trees planted within the city's rights-of-way and private street trees, if they are part of the approved plan.
- The depths and grades shown on plan drawings are final grades after settlement and shrinkage of the organic material. The contractor shall install the soil mix at a higher level to anticipate this reduction of volume. All grades are assumed to be "as measured" to be prior to the addition of any surface compost till layer or mulch or sod.
- All details of the planting plans regarding plant quality and proper planting will be discussed including but not limited to:
  - Plant quality.
  - Proper form for species.
  - Proper ratio of caliper size/height to container size/root ball size.
  - Proper pruning cuts if applicable in accordance with current ANSI A300 pruning standards (generally there should be no recent pruning).
  - No co-dominant stems or multiple trunks (unless approved by FCP or by the Forestry Inspector).
  - Sound graft union.
  - Free of girdling roots, or the ability to remove girdling roots without damaging the tree.
  - Trees shall be healthy, vigorous, insect/disease free, and without cankers/cracks or trunk damage.
- Proper installation
  - Root flare no higher than 3 inches from existing grade.
  - Exposed root flare (not graft); removing more than several inches of soil to expose the root flare may result in the rejection of the plant material.
  - Wire baskets/twine/burlap removed from at least the top half of root ball, or as directed by Forestry Inspector.
  - All burlap or twine removed completely.
  - No hose and wire; staking and strapping per City planting detail.
  - Planting Hole a minimum of twice the width of the root ball; could be greater. Planting detail assumes soil has been prepared per the city's specifications (Planting, #3).
  - Mulched properly, per City planting detail.
  - Wildlife protection installed, if required, type approved by the Forestry Inspector.
- Trees not complying with the above requirements may be rejected at the discretion of the City Forestry Inspector.

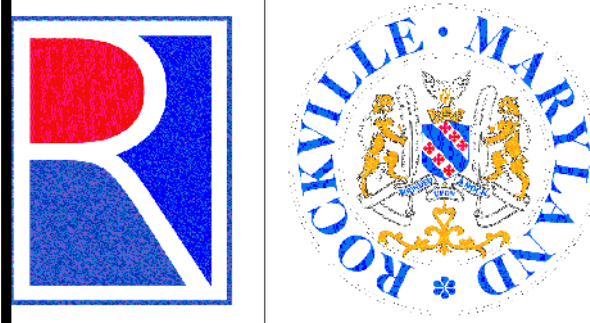
- Tree planting will generally not be permitted between the dates of June 1 and September 1, or when the ground is frozen.
- DEFINITIONS
  - Topsoil
    - Soil can be considered topsoil if it originates from an A horizon of a natural soil or is a mineral soil with 4-6% organic matter content, and a NRCS textural class similar to pre-development conditions A horizon soils for the site, or as specified by the City Forestry Division. The city Forestry Division will specify a LOAM texture in the absence of native conditions listed above. Blended soils shall not be used unless specified by the City Forestry Division. In addition, topsoil shall:
      - Be friable and well drained.
      - Have a pH between 5.5-7.
      - Have an organic matter content between 4-6%.
      - Have low salinity as indicated by a soluble salt content which is less than 3 dS/m
      - Be free of debris, stone, gravel, trash, large sticks, heavy metals, and other deleterious contaminants, (if screening is used to remove debris, screen size must be ¼ inch or larger).
      - Have a nutrient profile such that it has an adequate rating, per current industry standards.
      - Be free of noxious weed seeds
  - Compost
    - Compost shall be composed of leaves, yard waste, or food waste. Biosolid-based composts shall not be applied. A compost sample with analysis shall be submitted for approval to the City Forestry Division before application.
    - Stability refers to the rate of biological breakdown, measured by carbon dioxide release. Maturity refers to completeness of the aerobic composting process and suitability (lack of plant toxicity) as a plant growth media, often measured by ammonia release and by plant growth tests. Compost manufacturers that subscribe to the US Composting Council's testing program may document stability as compost testing 7 or below in accordance with TMECC 05.08-B, "Carbon Dioxide Evolution Rate". Maturity (suitability for plant growth) may be documented as compost testing greater than 80% in accordance with TMECC 05.05-A, "Germination and Vigor". Compost is considered mature and stable if it tests at 6.0 or higher on the Solvita Compost Maturity Index Rating, which is a combination of Carbon Dioxide and Ammonia Maturity Tests (test information and equipment available at [www.solvita.com](http://www.solvita.com)).
    - Compost shall also be:
      - Free of weed seeds.
      - Free of heavy metals or other deleterious contaminants.
      - Have a soluble salt content which is less than 3 dS/m.
  - Severely Degraded Soil
    - Soil shall be considered severely degraded if grade was lowered or raised more than 14 inches OR soil was compacted in lifts regardless of the final grade OR was used as a staging area for construction materials, equipment or processes.

<sup>1</sup> See definitions section #9



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**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

**NOTES & DETAILS**  
**LANDSCAPE & LIGHTING PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FSS1_0000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220N09	SITE DATA: HORIZONTAL: IAD 83891 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS CHECKED: JDS CAD STD'S: CONNECT / VERSION: NCS	
SHEET OF L-2 L-5	
PROJECT NO. 4316-00-01	

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**ANOVA.**  
L1360  
Rendezvous 6' Contour Bench

Material: The contour bench is composed of a 12-gauge steel slat seat with a 70" wide slat pattern and cast aluminum armrests and legs. The bench will support 200 lbs. per linear foot.

Features: Steel slat seat is protected by the patented Fusion Advantage™ finish. The bench is designed to be portable for flexibility in placement or surface mounted using pre-drilled 4" diameter holes in feet to prevent movement. Mounting hardware is not included.

Finish: Fusion Advantage is a heat fused polyester coating with an average .025" thickness that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading. Plastisol is then encapsulated with a highly textured, high-performance powder coating that won't rust, fade, peel, chip, crack, mold, or mildew. The finish has been tested to the requirements of ASTM E3354 and is in compliance with California Uniform Fire Code 1903.2.1.4.2.

Assembly: This product requires some assembly. Stainless steel assembly hardware is included.

Maintenance: The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty: 30-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at [www.fusionhills.com/warranty](http://www.fusionhills.com/warranty). Manufactured in the U.S.

**ANOVA.**  
L1371  
Rendezvous 6' Flat Bench

Material: The flat bench is composed of a 12-gauge steel slat seat with a 70" wide slat pattern and cast aluminum legs. The bench will support 200 lbs. per linear foot.

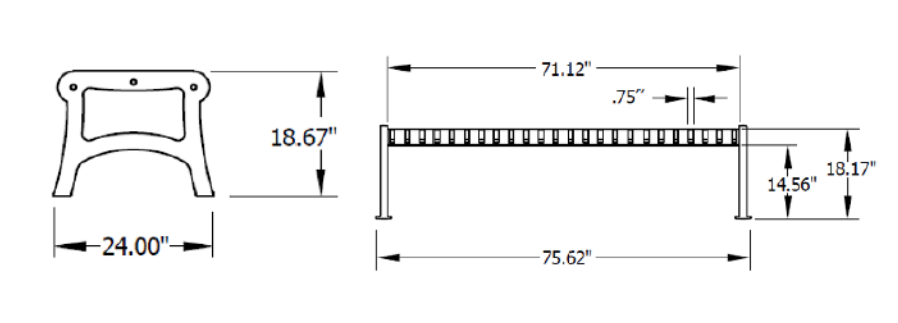
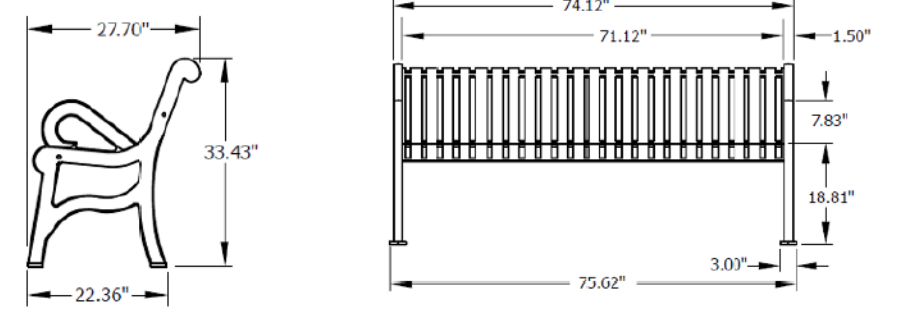
Features: Steel slat seat is protected by the patented Fusion Advantage™ finish. The bench is designed to be portable for flexibility in placement or surface mounted using pre-drilled 4" diameter holes in feet to prevent movement. Mounting hardware is not included.

Finish: Fusion Advantage is a heat fused polyester coating with an average .025" thickness that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading. Plastisol is then encapsulated with a highly textured, high-performance powder coating that won't rust, fade, peel, chip, crack, mold, or mildew. The finish has been tested to the requirements of ASTM E3354 and is in compliance with California Uniform Fire Code 1903.2.1.4.2.

Assembly: This product requires some assembly. Stainless steel assembly hardware is included.

Maintenance: The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty: 30-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at [www.fusionhills.com/warranty](http://www.fusionhills.com/warranty). Manufactured in the U.S.



**BENCH, TYP.**  
MANUFACTURER: ANOVA  
PRODUCT: RENDEVOUS 6' CONTOUR BENCH  
SYMBOL:   
COLOR: BLACK  
QUANTITY: 4  
NOTES: OR APPROVED EQUAL

**FLAT BENCH, TYP.**  
MANUFACTURER: ANOVA  
PRODUCT: RENDEVOUS 6' FLAT BENCH  
SYMBOL:   
COLOR: BLACK  
QUANTITY: 4  
NOTES: OR APPROVED EQUAL

**ANOVA.**  
L1378BT  
Rendezvous 32-Gallon Trash Receptacle with Bonnet Top

Material: The receptacle is composed of 12-gauge slotted steel with a 75" gpp vertical pattern. The bonnet top is made of 16-gauge spun steel. The reusable plastic liner is made of high-density polyethylene.

Features: The steel slat receptacle body is protected by the patented Fusion Advantage™ finish. The bonnet top offers wide side access to waste opening. Top includes a 14" security strap and lifts off for easy trash removal. The rubber feet are adjustable to assist in leveling the receptacle. Federally ADA-compliant.

Finish: Fusion Advantage is a heat fused polyester coating with an average .025" thickness that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading. Plastisol is then encapsulated with a highly textured, high-performance powder coating that won't rust, fade, peel, chip, crack, mold, or mildew. The finish has been tested to the requirements of ASTM E3354 and is in compliance with California Uniform Fire Code 1903.2.1.4.2.

Assembly: This product ships fully assembled and ready-to-use. Using an optional corksole anchor may require some assembly.

Maintenance: The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty: 30-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at [www.fusionhills.com/warranty](http://www.fusionhills.com/warranty). Manufactured in the U.S.

**TRASH RECEPTACLE, TYP.**  
MANUFACTURER: ANOVA  
PRODUCT: RENDEVOUS 32 GALLON TRASH RECEPTACLE WITH BONNET TOP  
SYMBOL:   
COLOR: BLACK  
QUANTITY: 3  
NOTES: OR APPROVED EQUAL

**ANOVA.**  
L1378BT  
Rendezvous 32-Gallon Trash Receptacle with Bonnet Top

Material: The receptacle is composed of 12-gauge slotted steel with a 75" gpp vertical pattern. The bonnet top is made of 16-gauge spun steel. The reusable plastic liner is made of high-density polyethylene.

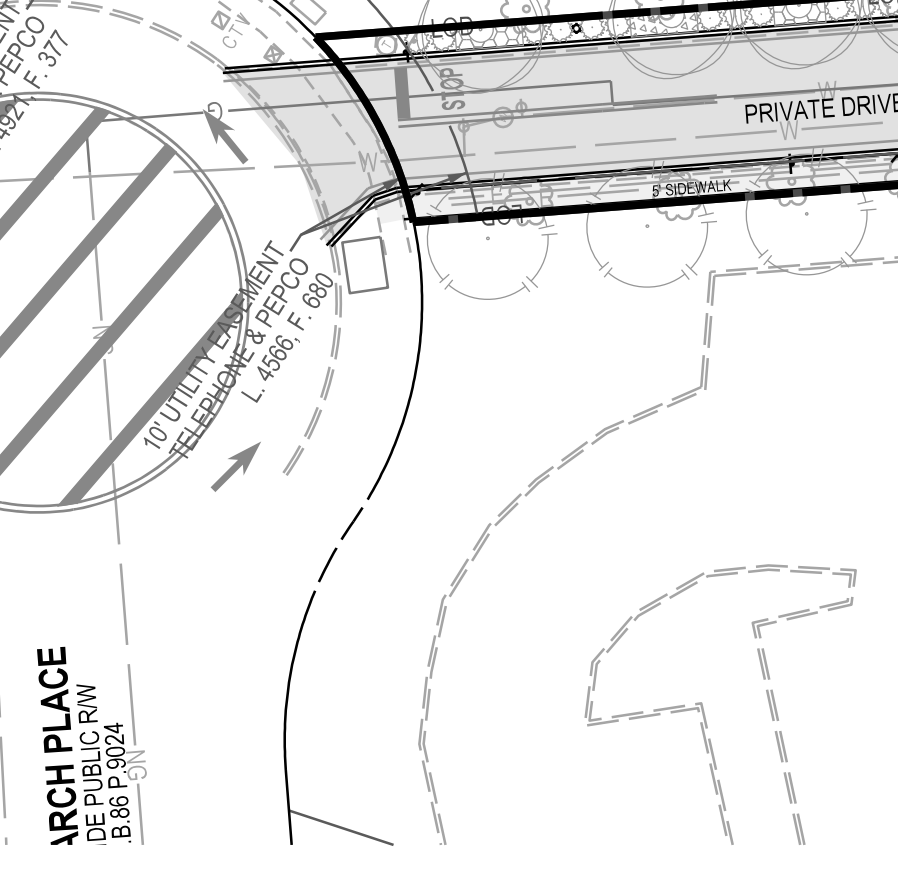
Features: The steel slat receptacle body is protected by the patented Fusion Advantage™ finish. The bonnet top offers wide side access to waste opening. Top includes a 14" security strap and lifts off for easy trash removal. The rubber feet are adjustable to assist in leveling the receptacle. Federally ADA-compliant.

Finish: Fusion Advantage is a heat fused polyester coating with an average .025" thickness that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading. Plastisol is then encapsulated with a highly textured, high-performance powder coating that won't rust, fade, peel, chip, crack, mold, or mildew. The finish has been tested to the requirements of ASTM E3354 and is in compliance with California Uniform Fire Code 1903.2.1.4.2.

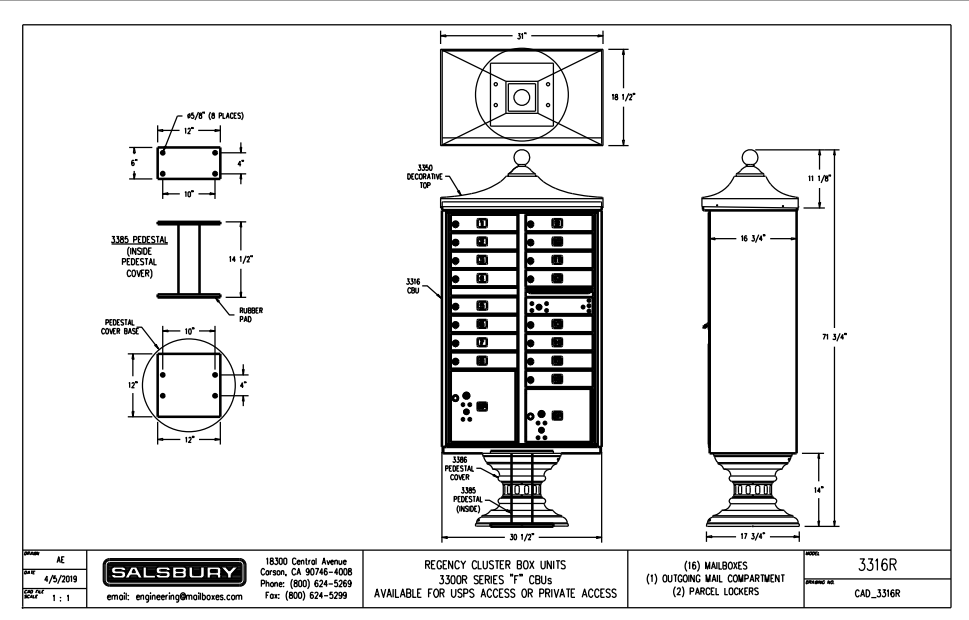
Assembly: This product ships fully assembled and ready-to-use. Using an optional corksole anchor may require some assembly.

Maintenance: The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty: 30-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at [www.fusionhills.com/warranty](http://www.fusionhills.com/warranty). Manufactured in the U.S.



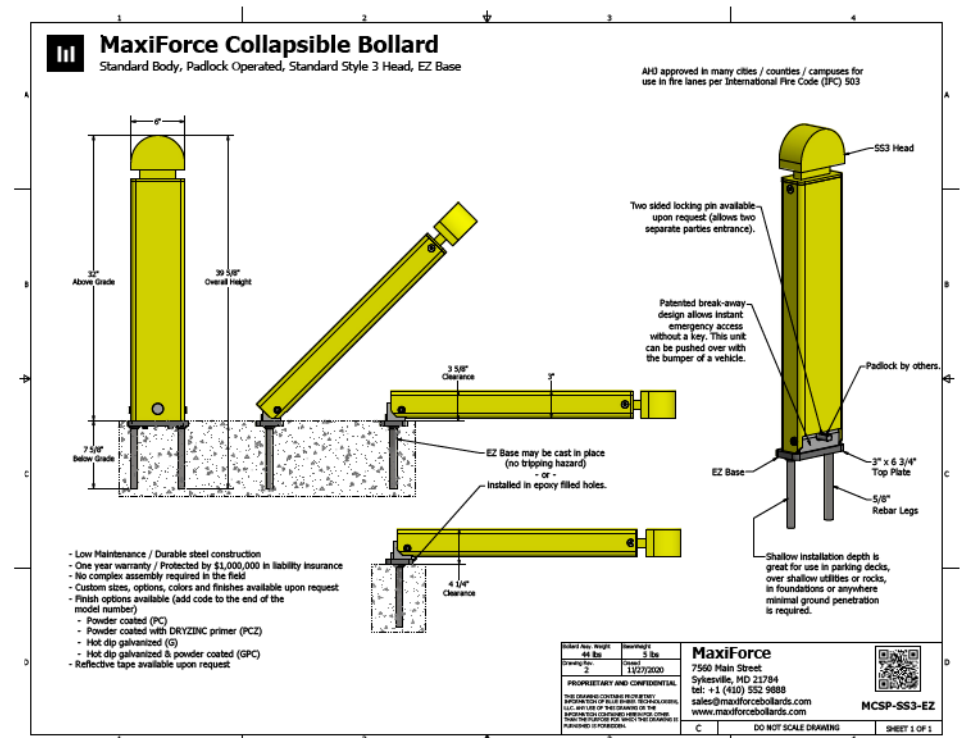
**DOG WASTE STATION, TYP.**  
MANUFACTURER: DOG WASTE DEPOT  
PRODUCT: DOG WASTE STATION  
SYMBOL:   
COLOR: GREEN  
QUANTITY: 4  
NOTES: OR APPROVED EQUAL



**CLUSTER MAILBOX, TYP.**  
MANUFACTURER: SALSBURY INDUSTRIES  
PRODUCT: SALSBURY CLUSTER BOX UNIT 16 DOORS 2 PARCEL LOCKER  
SYMBOL:   
COLOR: BLACK  
QUANTITY: 5  
NOTES: OR APPROVED EQUAL



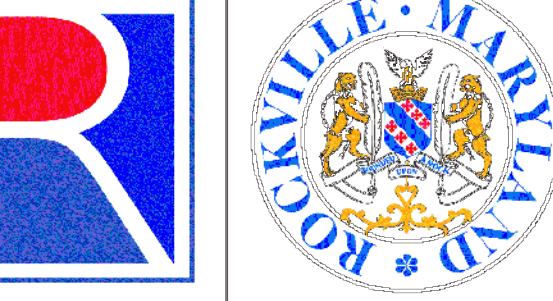
**PRIVACY FENCE**  
MANUFACTURER: TBD  
PRODUCT: 6 FT PVC PRIVACY FENCE  
SYMBOL:   
COLOR: WHITE  
QUANTITY: 209 LF  
NOTES: OR APPROVED EQUAL



**REMOVABLE BOLLARDS**  
MANUFACTURER: MAXIFORCE BOLLARDS  
PRODUCT: COLLAPSIBLE BOLLARDS  
SYMBOL:   
COLOR: MATTE BLACK  
QUANTITY: 2  
NOTES: OR APPROVED EQUAL

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Engineering  
Surveying  
Planning  
Environmental Sciences



NO.	REVISIONS	BY	DATE

**OWNER / DEVELOPER / APPLICANT**  
2 RESEARCH PLACE, LLC  
2 RESEARCH PLACE, SUITE 100  
ROCKVILLE, MD 20850  
301-948-2750

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

**SITE FURNISHINGS**  
**LANDSCAPE & LIGHTING PLAN**  
**2 RESEARCH PLACE**  
**LOT P5, BLOCK A**  
ROCKVILLE (4th) ELECTION DISTRICT, MONTGOMERY COUNTY, MARYLAND

TAX MAP FSS1_000	ZONING CATEGORY: MXE
WSSC 200' SHEET 220NW09	SITE DATUM HORIZONTAL: NAD 83/91 VERTICAL: NGVD29
DATE: 2/26/2026 DESIGNED: JS TECHNICIAN: JS	CHECKED: JDS CAD STD: CONNECT / VERSION: NCS
SHEET <b>L-3</b> OF <b>L-5</b>	PROJECT NO. 4316-00-01

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