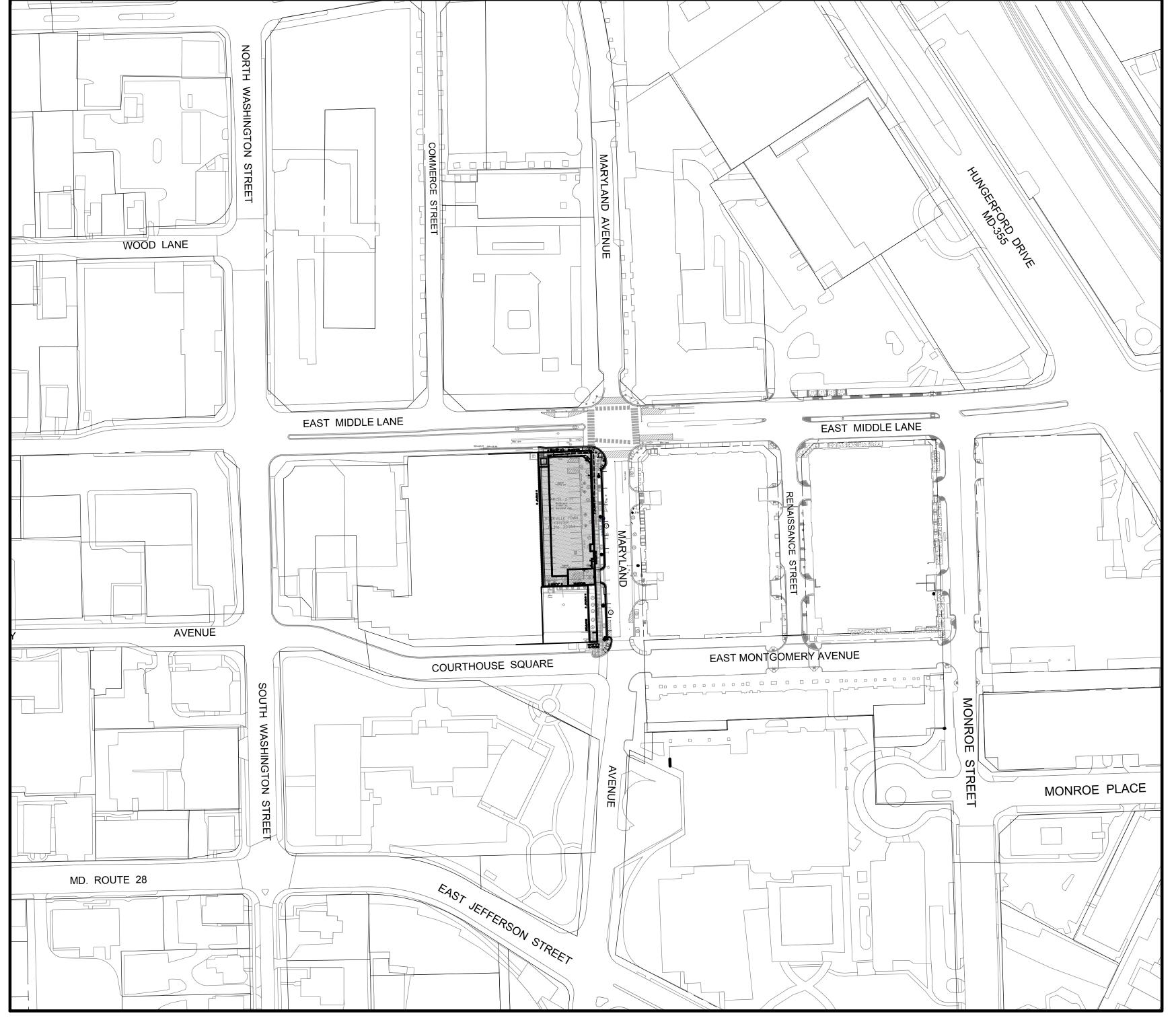
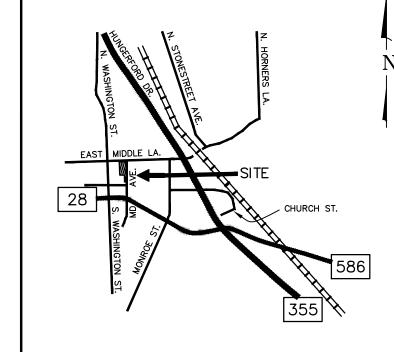
Community Planning & Development Services October 9, 2025

MOMENTUM AT ROCKVILLE STATION

ROCKVILLE TOWN CENTER PARCEL 2-H 41 MARYLAND AVENUE PJT#2025-00023







VICINITY MAP SCALE 1" = 2,000'

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ARCHITECTURAL SITE PLAN

GROUND LEVEL PLAN

TYPICAL LEVEL PLAN

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ELEVATION

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PERSPECTIVES

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PERSPECTIVES

PERSPECTIVES

SECTION

L1.01 ILLUSTRATIVE LANDSCAPE PLAN - GROUND LEVEL

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MHG

CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING

Owner: Comstock 41 Maryland, LLC Address: 1900 Reston Metro PLZ, 10th fl, Reston VA 20190 Contact: Robert Demchak Phone: 703.230.1985 Email: rdemchak@comstock.com Applicant: SCG Development Holdings, LLC / Comstock 41 Maryland, LLC c/o SCG Development Holdings, LLC Address: 8245 Boone Blvd #640, Vienna, VA 22182 Contact: Kirk Salpini Phone: 703-942-6610 x 200 Email: kas@scgdevelopment.com

PLAT 20464

MONTGOMERY COUNTY MARYLAND PARCEL 2-H

4TH ELECTION DISTRICT

ROCKVILLE TOWN CENTER

09/24/2025

MOMENTUM AT ROCKVILLE STATION PROJECT PLAN PJT2025-00023

PROJECT NO.

COVER SHEET

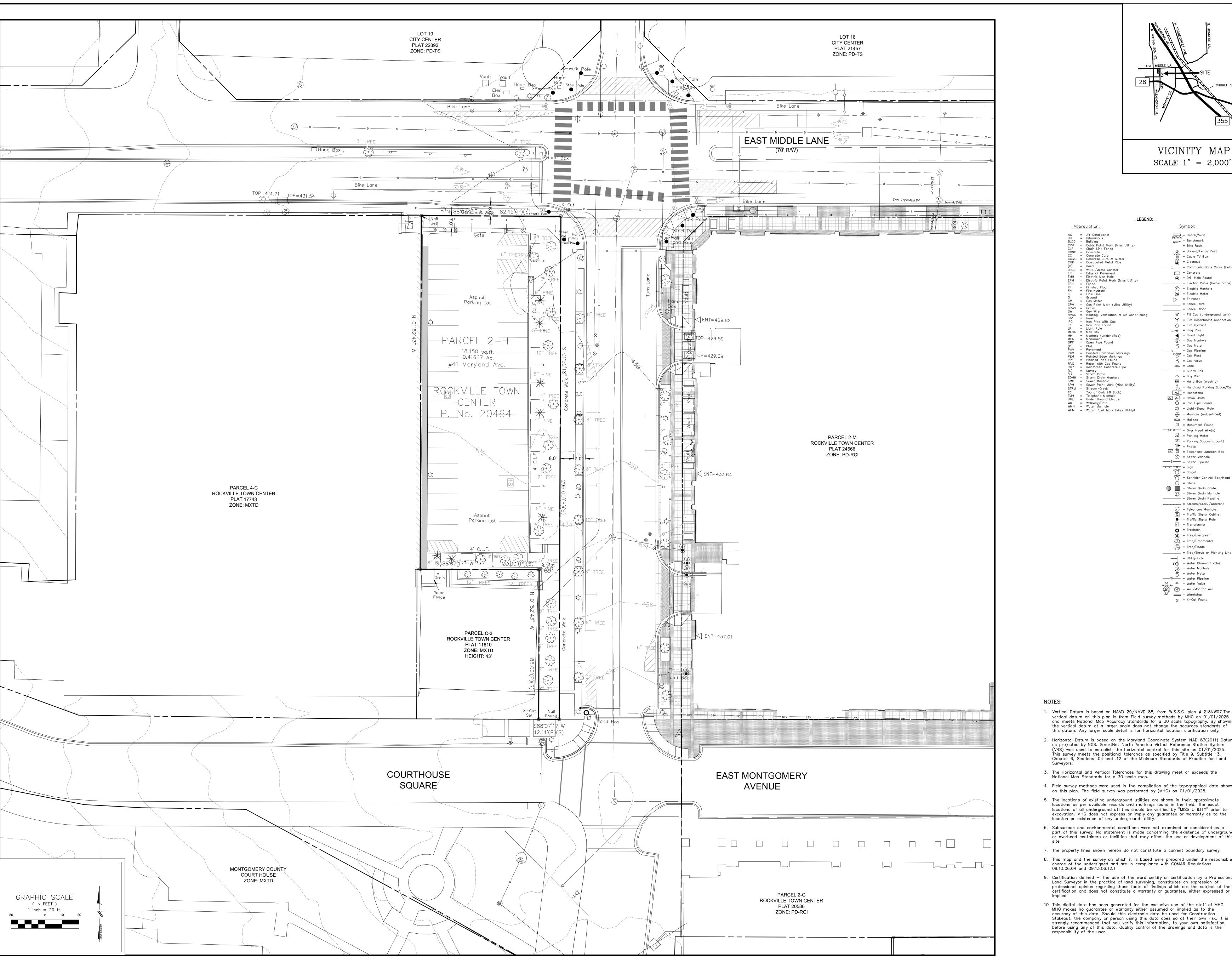
PROJECT TEAM 1900 RESTON METRO PLZ, 10TH FL RESTON VA 20190 CONTACT: ROBERT DEMCHAK RDEMCHAK@COMSTOCK.COM 12505 PARK POTOMAC AVENUE, #600 CONTACT: NANCY REGELIN NREGELIN@SHULMANROGERS.COM 1140 CONNECTICUT AVE, NW SUITE 600 WASHINGTON, DC 20036 CONTACT: KATIE WAGNER KLW@GOROVESLADE.COM 9220 WIGHTMAN ROAD, SUITE 120 MONTGOMERY VILLAGE, MD 20832 CONTACT: KYLE HUGHES KHUGHES@MHGPA.COM 9220 WIGHTMAN ROAD, SUITE 120 MONTGOMERY VILLAGE, MD 20832 CONTACT: KYLE HUGHES KHUGHES@MHGPA.COM

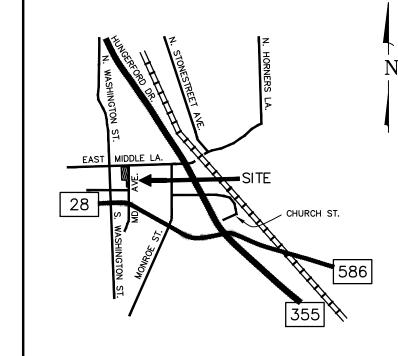
ARCHITECT
DAVIS CARTER SCOTT LTD DESIGN

8614 WESTWOOD CENTER DRIVE, #800

TYSONS, VA 22182 CONTACT: F. DOUGLAS CARTER, AIA

DCARTER@DCSDESIGN.COM





CIVIL ENGINEERING

LAND SURVEYING

LANDSCAPE ARCHITECTURE

LAND PLANNING

9220 Wightman Road, Suite 120 Montgomery Village, MD 20886 Phone: 301.670.0840 www.mhgpa.com

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Owner: Comstock 41 Maryland, LLC

VICINITY MAP SCALE 1" = 2,000'

Address: 1900 Reston Metro PLZ, 10th fl, LEGEND: Reston VA 20190 Contact: Robert Demchak <u>Symbol:</u> Phone: 703.230.1985 AC = Air Conditioner BENCH = Bench/Seat Email: rdemchak@comstock.com AC = Air Conditioner
BIT. = Bituminous
BLDG = Building
CPM = Cable Paint Mark (Miss Utility)
CLF = Chain Link Fence
CONC. = Concrete
CC = Concrete Curb
CC&G = Concrete Curb & Gutter
CMP = Corrugated Metal Pipe
(D) = Deed
DISC = WSSC/Metro Control
EP = Edge of Pavement = Benchmark Applicant: SCG Development Holdings, = Bike Rack LLC / Comstock 41 Maryland, LLC c/o ⊗ = Bollard/Fence Post SCG Development Holdings, LLC 47V ☑ = Cable TV Box Address: 8245 Boone Blvd #640, Vienna, CO = Cleanout VA 22182 _______ = Communications Cable (below grade) Contact: Kirk Salpini - Concrete = Edge of Pavement = Electric Man Hole Phone: 703-942-6610 x 200 = Drill Hole Found = Electric Paint Mark (Miss Utility)
= Fence
= Finished Floor
= Fire Hydrant
= Flow Line Email: kas@scgdevelopment.com ____E__ = Electric Cable (below grade) E) = Electric Manhole ₩ = Electric Meter = Entrance GM = Gas Meter
GPM = Gas Paint Mark (Miss Utility)
GRAV = Gravel
GW = Guy Wire
HVAC = Heating, Ventilation & Air Conditioning
INV = Invert
IPC = Iron Pipe with Cap
IPF = Iron Pipe Found
LP = Light Pole
MLBX = Mail Box
MH = Manhole (unidentified) = Fence, Wire _____ = Fence, Wood

^C₽ = Fill Cap (underground tank)

-Ó- = Fire Hydrant → = Flag Pole

← = Flood Light

G POST = Gas Post

€ATE = Gate ----- = Guard Rail Guy Wire

> HS = Headstone AC (AC) = HVAC Units

₩ BX = Mailbox = Monument Found ---OHW--- = Over Head Wire(s) PM = Parking Meter

©→ = Photo

GV = Gas Valve

= Hand Box (electric)

☆ = Light/Signal Pole

(WH) = Manhole (unidentified)

= Parking Spaces (count)

SPRINK = Sprinkler Control Box/Head

 $PH \square = Telephone Junction Box$

S = Sewer Manhole ----S--- = Sewer Pipeline *SPIGOT* = Spigot

) = Stone

= Storm Drain Grate

= Storm Drain Pipeline _____ = Stream/Creek/Waterline

Transformer O = Trashcan = Tree/Evergreen = Tree/Ornamental $\widetilde{\xi_+}$ = Tree/Shade _____ = Tree/Shrub or Planting Line

- Utility Pole

⋈ = X-Cut Found

= Water Blow-off Valve (i) = Water Manhole www = Water Meter

Storm Drain Manhole

(T) = Telephone Manhole = Traffic Signal Cabinet = Traffic Signal Pole

= Handicap Parking Space/Ramp

(G) = Gas Manhole GM = Gas Meter ____G___ = Gas Pipeline

= Fire Department Connection

Abbreviation:

MH = Manhole (unidentified)
MON. = Monument
OPF = Open Pipe Found
(P) = Plat
PAV = Pavement

Pavement
 Painted Centerline Markings
 Painted Edge Markings
 Pinched Pipe Found
 Rebar with Cap Found
 Reinforced Concrete Pipe

SDMH = Storm Drain Manhole SMH = Sewer Manhole SPM = Sewer Paint Mark (Miss Utility)

WPM = Water Paint Mark (Miss Utility)

STRM = Stream/Creek
TC = Top of Curb (@ Back)
TMH = Telephone Manhole
UGE = Under Ground Electric

WK = Walkway/Path WMH = Water Manhole

REVISIONS

2. Horizontal Datum is based on the Maryland Coordinate System NAD 83(2011) Datum as projected by NGS. SmartNet North America Virtual Reference Station System (VRS) was used to establish the horizontal control for this site on 01/01/2025. This survey meets the positional tolerance as specified by Title 9, Subtitle 13, Chapter 6, Sections .04 and .12 of the Minimum Standards of Practice for Land

vertical datum on this plan is from Field survey methods by MHG on 01/01/2025 and meets National Map Accuracy Standards for a 30 scale topography. By showing

the vertical datum at a larger scale does not change the accuracy standards of this datum. Any larger scale detail is for horizontal location clarification only.

3. The Horizontal and Vertical Tolerances for this drawing meet or exceeds the National Map Standards for a 30 scale map.

4. Field survey methods were used in the compilation of the topographical data shown on this plan. The field survey was performed by (MHG) on 01/01/2025. 5. The locations of existing underground utilities are shown in their approximate locations as per available records and markings found in the field. The exact

locations of all underground utilities should be verified by "MISS UTILITY" prior to excavation. MHG does not express or imply any guarantee or warranty as to the location or existence of any underground utility. 6. Subsurface and environmental conditions were not examined or considered as a

part of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of this

7. The property lines shown hereon do not constitute a current boundary survey.

This map and the survey on which it is based were prepared under the responsible charge of the undersigned and are in compliance with COMAR Regulations 09.13.06.04 and 09.13.06.12.T

9. Certification defined — The use of the word certify or certification by a Professional Land Surveyor in the practice of land surveying, constitutes an expression of professional opinion regarding those facts of findings which are the subject of the certification and does not constitute a warranty or guarantee, either expressed or

10. This digital data has been generated for the exclusive use of the staff of MHG. MHG makes no guarantee or warranty either assumed or implied as to the accuracy of this data. Should this electronic data be used for Construction Stakeout, the company or person using this data does so at their own risk. It is strongly recommended that you verify this information, to your own satisfaction, before using any of this data. Quality control of the drawings and data is the responsibility of the user.

TAX MAP GR342 WSSC 218NW07 PLAT 20464 4TH ELECTION DISTRICT MONTGOMERY COUNTY

PARCEL 2-H ROCKVILLE **TOWN CENTER**

MARYLAND

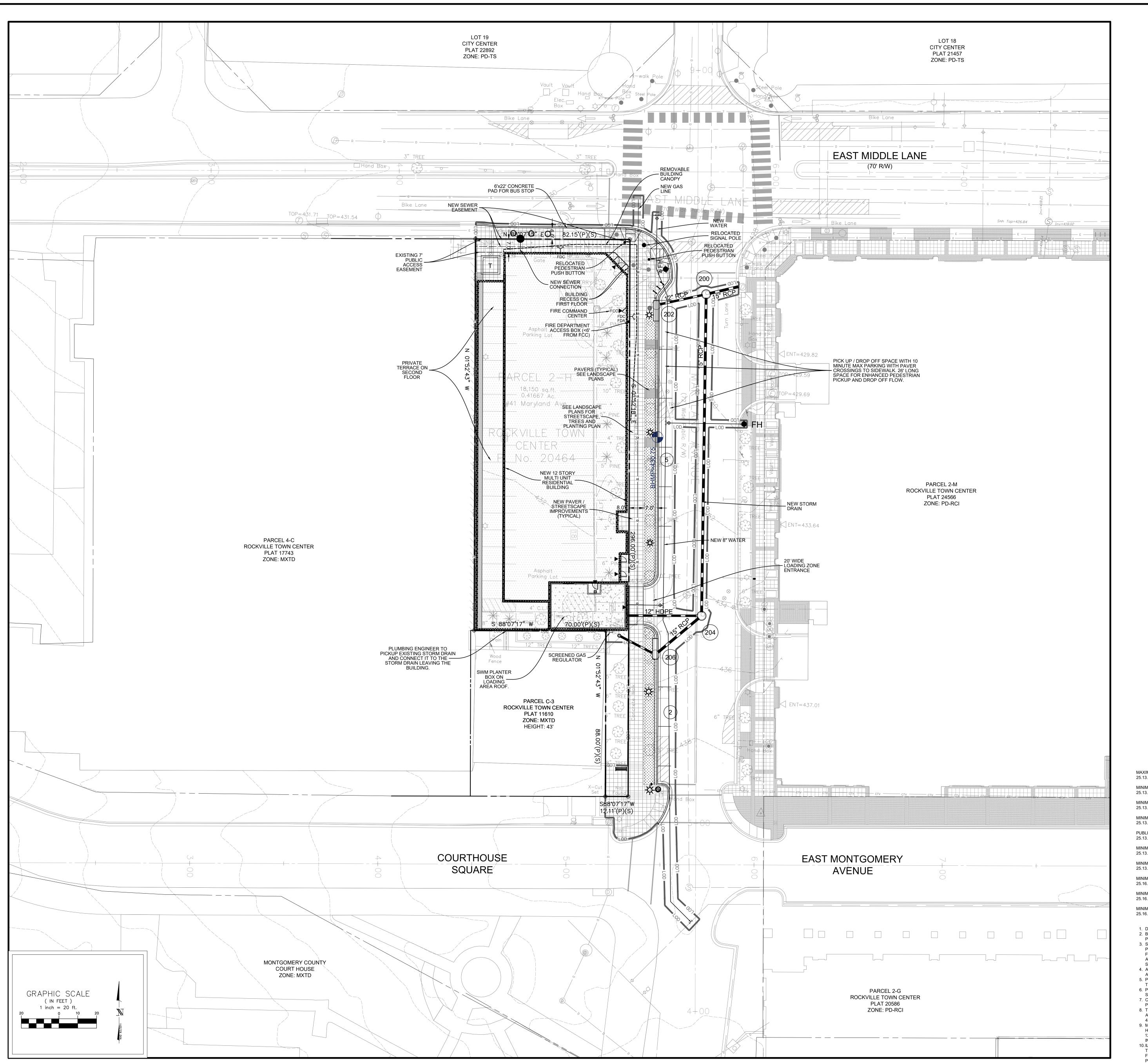
PLAN

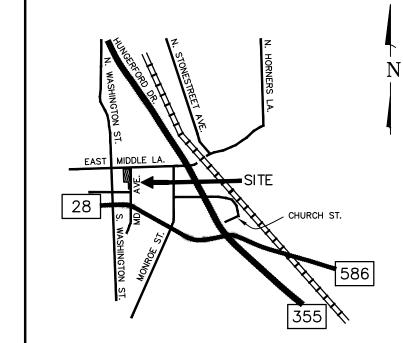
PROJ. MGR **DRAWN BY** SCALE 09/24/2025

MOMENTUM AT ROCKVILLE STATION PROJECT PLAN PJT2025-00023

EXISTING CONDITIONS

PROJECT NO. 24.271.11





VICINITY MAP SCALE 1" = 2,000'

<u> </u>	SITE DATA
SUBJECT PROPERTIES:	PARCEL 2-H ROCKVILLE TOWN CENTER PLAT 20464
PROPERTY ADDRESSES:	41 MARYLAND AVENUE
TAX ID NUMBERS:	04-03198603
PROPERTY OWNER:	COMSTOCK 41 MARYLAND, LLC 1900 RESTON METRO PLAZA, 10TH FLOOR RESTON, VA 20190
EXISTING / PROPOSED SITE AREA:	18,150 SF (0.41667 AC)
ZONING CLASSIFICATION:	PD-RCI (ROCKVILLE CENTER INC) & TOWN CENTER PERFORMANCE OVERLAY
EXISTING USES:	SURFACE PARKING LOT
PROPOSED USES:	MULTI-FAMILY RESIDENTIAL (147 UNITS TOTAL)

GENERAL NOTES

- 1. THE EXISTING CONDITIONS AND PROPERTY BOUNDARY SHOWN FOR PARCEL 2-H ARE TAKEN FROM TOPOGRAPHIC & BOUNDARY SURVEYS PREPARED BY MHG, LAST UPDATED IN JANUARY OF 2025.
- 2. EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, MARKINGS BY MISS UTILITY, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
- 3. THE PROPERTY IS WITHIN THE ROCK CREEK WATERSHED.
- 4. THE PROPERTY DOES NOT CONTAIN "WATERS OF THE UNITED STATES", WETLANDS, STREAMS, SEEPS, SPRINGS, FLOODPLAINS OR THEIR ASSOCIATED BUFFERS.
- 5. THE PROPERTY IS NOT IDENTIFIED IN THE CITY OF ROCKVILLE'S HISTORIC BUILDINGS INDEX.
- 6. A NATURAL RESOURCES INVENTORY / FOREST STAND DELINEATION (NRI/FSD) FOR THIS PROPERTY WAS SUBMITTED UNDER 2025-24-NRI ON 12/20/2024.
- 7. THE PROPERTY IS WITHIN THE CITY OF ROCKVILLE WATER AND SEWER SERVICE AREA.
- 8. REFER TO FINAL SITE PLAN FOR GRADING, UTILITIES AND ADDITIONAL SITE DEVELOPMENT DETAILS.

DEVELOPMENT STANDARDS - PD-RCI/MXTD ZONE 1	

	PERMITTED/REQUIRED	PROVIDED
MAXIMUM BUILDING HEIGHT 25.13.05 (b)	100 FT ABOVE 448 FT ² ELEVATION OR 117.25 ⁸	120 FT ^{9,10} ABOVE 448 FT ELEVATION / 137.25 FT ABOVE BHMP ^{9,10}
MINIMUM OPEN AREA 25.13.05 (b)	15% (2,722 SF)	27% (4,920 SF) ³
MINIMUM PUBLIC USE SPACE 25.13.05 (b)	0%4	N/A
MINIMUM LOT WIDTH AT FRONT LOT LINE: 25.13.05 (b)	10 FT	296 FT (MARYLAND AVE)
PUBLIC RIGHT-OF-WAY ABUTTING SETBACK: 25.13.05 (b)	NONE REQ'D.	0 FT
MINIMUM SIDE YARD SETBACK: 25.13.05 (b)	0FT OR 10FT IF PROVIDED⁵	OFT
MINIMUM REAR YARD SETBACK: 25.13.05 (b)	0FT OR 10FT IF PROVIDED ⁶	OFT
MINIMUM AUTO SPACES: 25.16.03	PARKING WAVER REQUESTED	0 SPACES
MINIMUM BICYCLE SPACES - SHORT TERM: 25.16.03	3 SPACES	6 SPACES
MINIMUM BICYCLE SPACES - LONG TERM:	49 SPACES	49 SPACES OR MORE

- <u>FOOTNOTES</u>

 1. DESIGNATED EQUIVALENT ZONE FOR PD-RCI IS THE MXTD ZONE.

 2. BUILDING HEIGHT OF UP TO 100 FEET ABOVE THE 448' ELEVATION WAS APPROVED BY PRELIMINARY DEVELOPMENT PLAN PDP94-0001 3. SEE OPEN AREA EXHIBIT FOR BACKUP. IN ADDITION, THE PROPERTY IS PART OF THE ORIGINAL COMPREHENSIVE PLAN OF THE PDP94-001 THAT IMPROVED AND DEDICATED A COMPREHENSIVE LINKED SET OF OPEN SPACES AND FUNCTIONAL GATHERING AREAS FROM THE EAST JEFFERSON STREET AND THE RED BRICK COURTHOUSE PARK
- AREAS UP TO PROMENADE PARK AT THE TIME OF ORIGINAL DEVELOPMENT OF THE BLOCKS, IN LIEU OF SMALL OPEN SPACES ON EACH BLOCK. 4. AS NOTED IN 25.17.01.e, THE PROJECT IS EXEMPT FROM PUBLIC SPACE REQUIREMENTS SINCE THIS IS A 100%
- AFFORDABLE HOUSING PROJECT. 5. PROJECT IS A CORNER LOT AND THE PROPERTY AT PARCEL C-3, IS A COMMERCIAL USE AND IS LESS THAN 45' TALL. THEREFORE THERE IS A 0 FT SIDE SETBACK THAT IS REQUIRED OR A SETBACK OF 10' MINIMUM IF PROVIDED. 6. PARCEL 4-C HAS A COMMERCIAL USE. THEREFORE THERE IS A 0 FT REAR SETBACKS REQUIRED OR A 10' MINIMUM
- SETBACK IF ONE IS PROVIDED 7. CONCURRENT WITH THIS APPLICATION, THE APPLICANT IS SUBMITTING A WAIVER REQUEST TO PURSUE FLEXIBLE PARKING STANDARDS PURSUANT TO SECTION 25.16.03.h.1 OF THE ZONING ORDINANCE. 8. THE BUILDING HEIGHT MEASURING POINT (BHMP) UNDER THE ZONING ORDINANCE IS THE ELEVATION OF THE
- APPROVED STREET GRADE AT THE MIDDLE OF THE FRONT OF THE BUILDING AT THE TOP OF THE CURB. BHMP = 430.75'. PERMITTED / REQUIRED BUILDING HEIGHT = $(448+100)_2 - 430.75' = 117.25'$. 9. MAX HEIGHT REQUESTED 120 FT OVER THE 448' ELEVATION. BASED ON THE BHMP THIS EQUATES TO A MAX BUILDING HEIGHT OF 137.25 FT. REQUEST TO WAIVE EQUIVALENT ZONE STANDARDS FOR INCREASED HEIGHT FROM 100'² TO 120' OVER 448' ELEVATION SUBMITTED WITH THIS APPLICATION. SEE STATEMENT OF JUSTIFICATION FOR MORE
- INFORMATION. 10. ILLUSTRATIVE ONLY HEIGHT OF PROJECT PLAN ARCHITECTURAL CONCEPT IS 566'. THIS IS 566 - 448₂ = 118' ABOVE THE 448' ELEVATION². THIS IS A HEIGHT OF 566' - 430.75'₉ = 135.25' ABOVE THE BHMP⁸. THIS IS ILLUSTRATIVE ONLY AND FINAL BUILDING HEIGHT WILL BE CONFIRMED AT SITE PLAN WITHIN THE APPROVED MAX HEIGHT APPROVED WITH THE PROJECT PLAN.

CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING

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Montgomery Village, MD 20886

Owner: Comstock 41 Maryland, LLC Address: 1900 Reston Metro PLZ, 10th fl, Reston VA 20190 Contact: Robert Demchak Phone: 703.230.1985 Email: rdemchak@comstock.com Applicant: SCG Development Holdings, LLC / Comstock 41 Maryland, LLC c/o SCG Development Holdings, LLC Address: 8245 Boone Blvd #640, Vienna,

VA 22182 Contact: Kirk Salpini Phone: 703-942-6610 x 200 Email: kas@scgdevelopment.com

REVISIONS DESCRIPTION

TAX MAP GR342 PLAT 20464

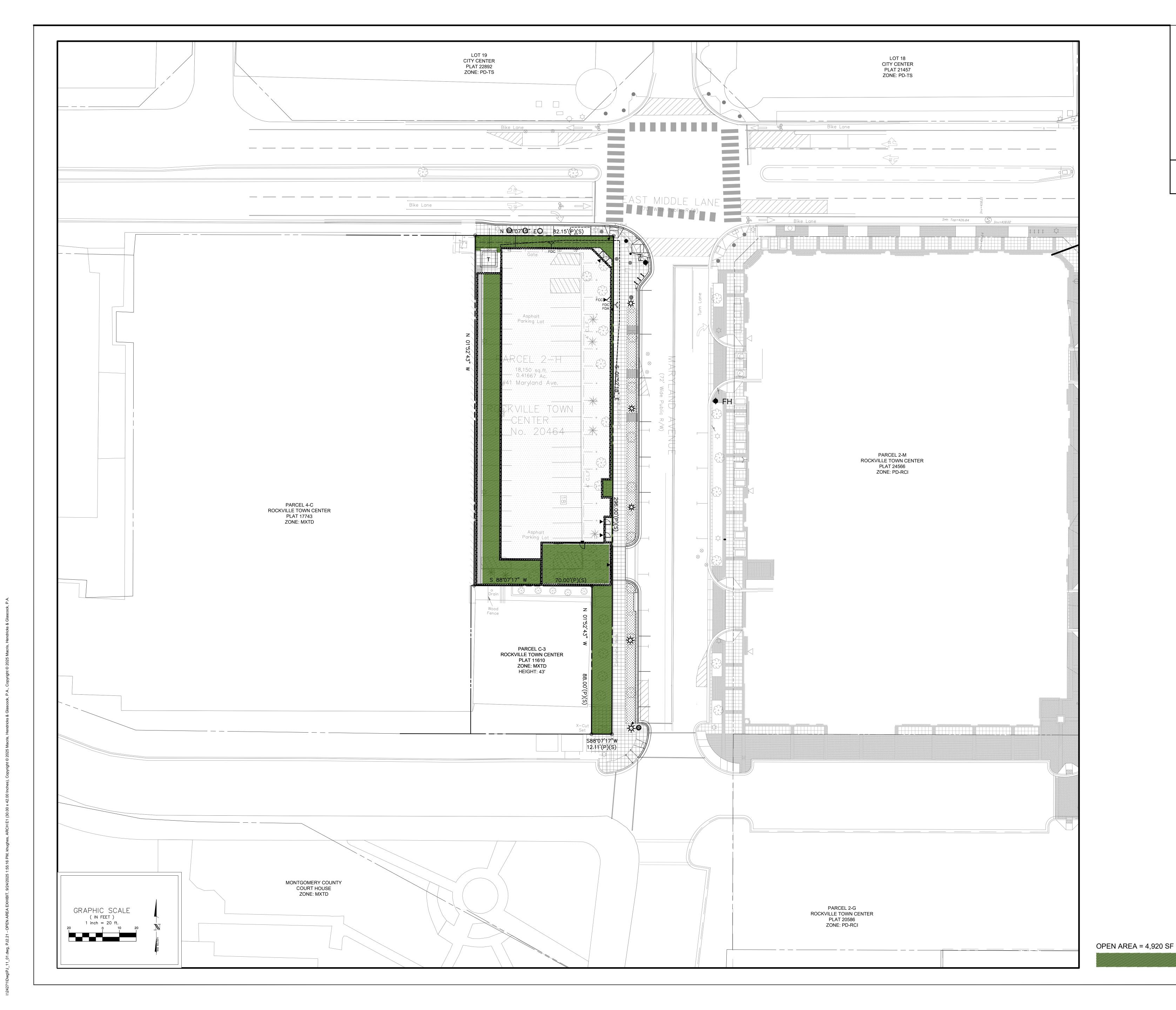
4TH ELECTION DISTRICT MONTGOMERY COUNTY MARYLAND

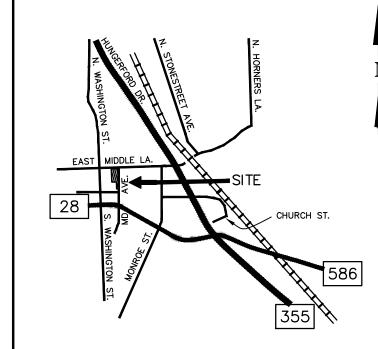
PARCEL 2-H ROCKVILLE **TOWN CENTER**

PROJ. MGR DRAWN BY SCALE 09/24/2025

MOMENTUM AT ROCKVILLE STATION PROJECT PLAN PJT2025-00023

PROJECT PLAN PROJECT NO. 24.271.11





VICINITY MAP SCALE 1" = 2,000' CIVIL ENGINEERING
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LANDSCAPE ARCHITECTURE
LAND PLANNING

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Email: kas@scgdevelopment.com

ΕV	ISIONS		
Ο.	DESCRIPTION	DATE	

TAX MAP GR342 WSSC 218N
PLAT 20464

4TH ELECTION DISTRICT MONTGOMERY COUNTY MARYLAND

PARCEL 2-H
ROCKVILLE
TOWN CENTER

 PROJ. MGR
 KJH

 DRAWN BY
 KJH

 SCALE
 1"= 20'

 DATE
 09/24/2025

MOMENTUM AT
ROCKVILLE STATION
PROJECT PLAN
PJT2025-00023

OPEN AREA EXHIBIT
PJ2.2

PROJECT NO. 24.271.11

Planting Notes for Landscape Plans

INSTALLATION OF PLANT MATERIAL 1. The Permittee is responsible for obtaining the approved Forest Conservation Plan/Landscape Plan and providing a copy to the Landscape Contractor. The Permittee shall ensure that the Landscape Contractor can secure the plants shown the

FCP/Landscape Plan. Plant substitutions are not allowed. It is strongly recommended that plant material be secured from supplier by the project start date. 2. A pre-planting meeting is required before installation of landscaping, afforestation, or reforestation. The applicant must schedule an on-site pre-planting meeting with the City Forestry Inspector. Attendees must include the Permittee, landscape

3. Comply with appropriate City Soil Specification: I. Soil Specification FOR TREE PLANTING WHERE EXISTING PAVEMENT OR OTHER IMPERVIOUS SURFACES WERE

contractor, and Forestry Inspector. Trees and shrubs shall conform to the current edition of the American Standard for

- PREVIOUSLY LOCATED OR WHERE EXISTING GREENSPACE HAS BEEN SEVERELY DEGRADED¹ Site preparation a. Demolish existing impervious surface and remove all existing asphalt, concrete, stone and
- construction materials to expose subsoil free of debris. b. Excavate so that final planting bed will provide quality soil to a depth of forty-eight (48) inches, and to a radius of 10' minimum or to new hard edge of planting bed, whichever is less.
- c. Loosen exposed subsoil below 48" by ripping 18" into the sub grade elevation. d. Test to ensure that planting bed drains at a rate of at least 1 inch/per hour. e. Install imported soil to fill excavated planting bed. Imported soil shall have a texture of LOAM, per the
- USDA soil classification system and a chemical composition compatible with healthy tree growth. When installing the soil, it should be installed in lifts or layers of < 12 inches (30 cm), tamping or watering (not both) between lifts to minimize potential settling
- 2. Immediately prior to installation of plant material, the soil must be tested and must have a pH range between 5.5 and 7 and a nutrient content which corresponds to an adequate rating, per current industry standards. Amend soil, if necessary, to achieve the current industry standard. 3. The Forestry Inspector may require additional soil specifications, based on site conditions.
- II. Soil Specification FOR PLANTING WHERE EXISTING GREEN SPACE HAS NOT BEEN PROTECTED FROM CONSTRUCTION IMPACTS BUT IS NOT SEVERELY DEGRADED.
- Site Preparation: a. Remove all construction debris and top four to six inches of existing soil. b. Test remaining existing soil to verify a pH range between 5.5 and 7, and has a nutrient content which
- corresponds to an adequate rating, per current industry standards. c. Apply four (4) inches of mature compost evenly over the entire planting surface. (4" = 12 Cubic Yard/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install
- d. Till the compost into the existing soil to a minimum depth of thirty-six (36) inches using the city's soil profile rebuilding specification. e. If soil does not meet nutrient standards, mitigate soil chemistry to meet the chemical parameters.
- 2. The Forestry Inspector may require additional soil specifications, based on site conditions. III. Soil Specification FOR PLANTING WITHIN EXISTING GREEN SPACE AREAS WHICH HAVE BEEN PROTECTED FROM CONSTRUCTION IMPACTS (One of two options, as determined by Forestry Inspector) Refer to approved

¹ See definitions section #9

City of Rockville Detail A-7

- 1. Test existing soil to verify it has a pH range between 5.5 and 7, and a nutrient content which corresponds to an adequate rating, per current industry standards. If soil does not meet nutrient standards, one of two options will be performed to mitigate the soil: a. Option 1- Till Method- Depth of tilling for planting must be at least twenty-four (24) inches:
- i. Apply four (4) inches of mature compost evenly over the entire planting surface (4" = 12 cubic yards/1,000 s.f.). Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install.
- ii. Till the compost into the existing soil to a minimum depth of twenty-four (24") inches. b. Option 2 – Aeration and Vertical Mulching i. Using a 2-3" Auger, drill a series of holes in the soil to a depth of twenty-four (24) inches. ii. Begin at the edge of the hole dug for the root ball and continue drilling at one-foot intervals (maximum), in concentric rings around the tree out to ten (10) feet from the tree.
- c. The Forestry Inspector may require additional soil specifications, based on site conditions. IV. Soil testing of the existing soil may be conducted with PRIOR approval from the City's Forestry Inspector to determine the number and location of the samples. The above requirements may be reduced if soil testing
- shows the following: 1. Soil pH is between 5.5 and 7
- 2. The top 24" of existing soil contains a minimum of 4-6% organic matter by weight 3. The soil is free of contaminants 4. The soil texture is sandy loam or loam
- 6. The soil does not contain debris or stones greater than one inch

iii. Each hole must be refilled with mature compost.

- 7. The soluble salt content is less than 3 dS/m
- 8. Consult the University of Maryland Extension website: http://extension.umd.edu/ for a listing of commercial soil testing facilities.
- V. Soil preparation is required for street trees planted within the city's rights-of-way and private street trees, if they are part of the approved plan.

4. The depths and grades shown on plan drawings are final grades after settlement and shrinkage of the organic material. The contractor shall install the soil mix at a higher level to anticipate this reduction of volume. All grades are assumed to be 'as measured" to be prior to the addition of any surface compost till layer or mulch or sod.

- 5. All details of the planting plans regarding plant quality and proper planting will be discussed including but not limited to: b. Proper form for species.
- c. Proper ratio of caliper size/height to container size/root ball size. d. Proper pruning cuts if applicable in accordance with current ANSI A300 pruning standards (generally there should
- be no recent pruning). e. No co-dominant stems or multiple trunks (unless approved by FCP or by The Forestry Inspector).
- f. Sound graft union. g. Free of girdling roots, or the ability to remove girdling roots without damaging the tree. h. Trees shall be healthy, vigorous, insect/disease free, and without cankers/cracks or trunk damage.
- a. Root flare no higher than 3 inches from existing grade.
- b. Exposed root flare (not graft); removing more than several inches of soil to expose the root flare may result in the rejection of the plant material. c. Wire baskets/twine/burlap removed from at least the top half of root ball, or as directed by Forestry Inspector.
- d. All burlap or twine removed completely. e. No hose and wire; staking and strapping per City planting detail.
- f. Planting Hole a minimum of twice the width of the root ball; could be greater. Planting detail assumes soil has been prepared per the city's specifications (Planting, #3).
- g. Mulched properly, per City planting detail. h. Wildlife protection installed, if required; type approved by the Forestry Inspector.
- 7. Trees not complying with the above requirements may be rejected at the discretion of the City Forestry Inspector.

Page 2 of 3

8. Tree planting will generally not be permitted between the dates of June 1 and September 1, or when the ground is frozen. DEFINITIONS

- i. Soil can be considered topsoil if it originates from an A horizon of a natural soil or is a mineral soil with 4-6%% organic matter content, and a NRCS textural class similar to pre-development conditions A horizon soils for the site, or as specified by the City Forestry Division. The city Forestry Division will specify a LOAM texture in the absence of native conditions listed above. Blended soils shall not be used unless specified by
- the City Forestry Division. In addition, topsoil shall:
- Be friable and well drained 2. Have a pH between 5.5-7.
- 3. Have an organic matter content between 4-6%. 4. Have low salinity as indicated by a soluble salt content which is less than 3 dS/m
- 5. Be free of debris, stone, gravel, trash, large sticks, heavy metals, and other deleterious contaminants, (if screening is used to remove debris, screen size must be ¾ inch or larger). 6. Have a nutrient profile such that it has an adequate rating, per current industry standards.
- Be free of noxious weed seeds

i. Compost shall be composed of leaves, yard waste, or food waste. Biosolid-based composts shall not be used. A compost sample with analysis shall be submitted for approval to the City Forestry Division before

ii. Stability refers to the rate of biological breakdown, measured by carbon dioxide release. Maturity refers to completeness of the aerobic composting process and suitability (lack of plant toxicity) as a plant growth media, often measured by ammonia release and by plant growth tests. Compost manufacturers that subscribe to the US Composting Council's testing program may document stability as compost testing 7 or below in accordance with TMECC 05.08-B, "Carbon Dioxide Evolution Rate". Maturity (suitability for plant growth) may be documented as compost testing greater than 80% in accordance with TMECC 05.05-A, "Germination and Vigor". Compost is considered mature and stable if it tests at 6.0 or higher on the Solvita Compost Maturity Index Rating, which is a combination of Carbon Dioxide and Ammonia Maturity Tests

(test information and equipment available at www.solvita.com). iii. Compost shall also be: Free of weed seeds.

2. Free of heavy metals or other deleterious contaminants. 3. Have a soluble salt content which is less than 3 dS/m.

 c. Severely Degraded Soil i. Soil shall be considered severely degraded if grade was lowered or raised more than 14 inches OR soil was

compacted in lifts regardless of the final grade OR was used as a staging area for construction materials, equipment or processes.

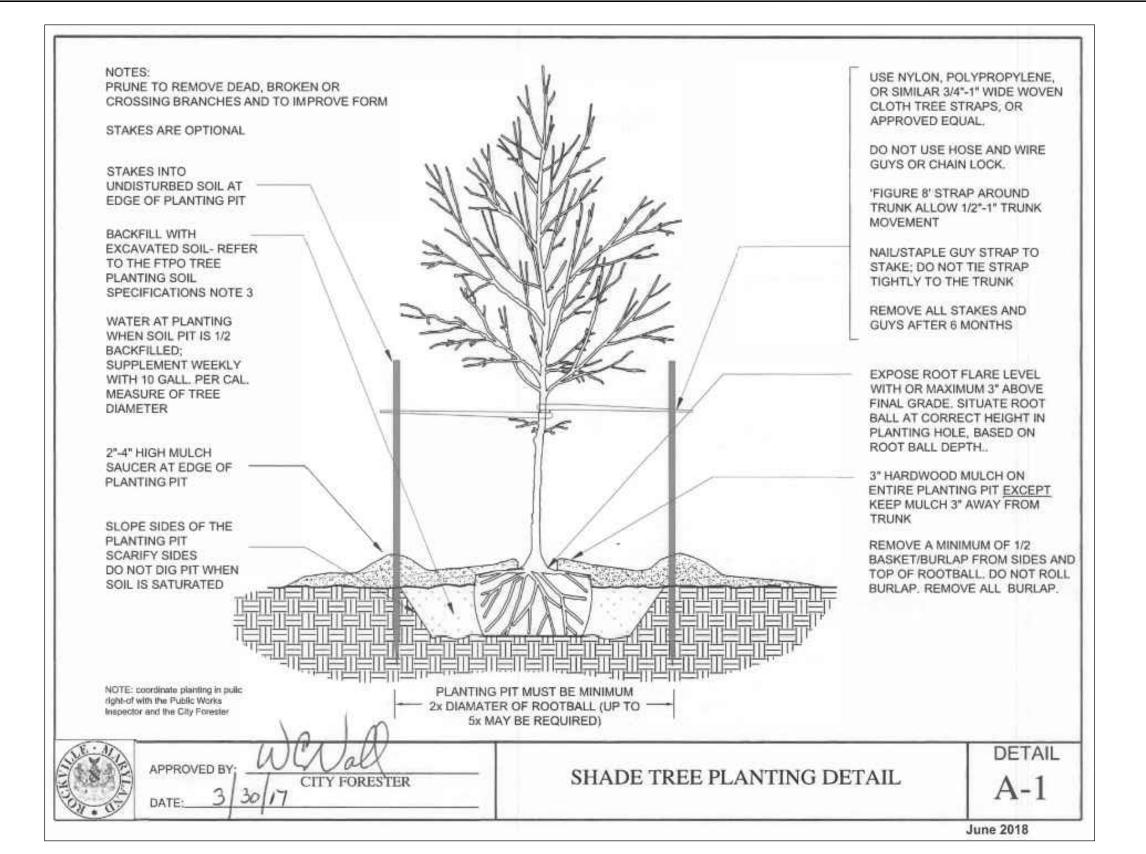
maintenance period as necessary.

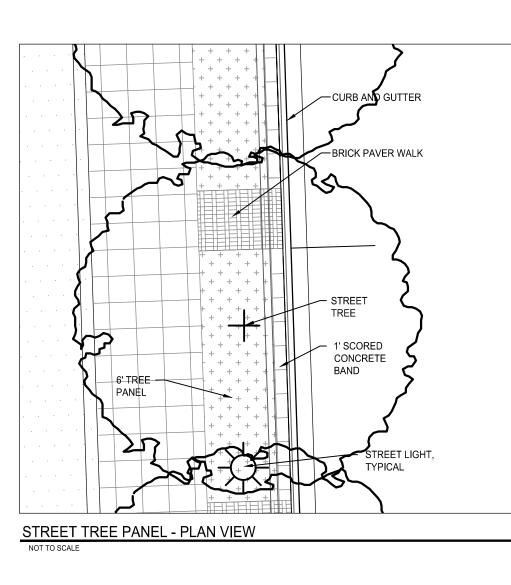
The permittee shall notify the City Forester IN WRITING when the planting is complete and request a post planting inspection. The inspection must include the permitee, landscape contractor and Forestry Inspector. The maintenance and warranty period will not begin until the City Forester has accepted ALL plantings. Trees will be inspected for plant quality and proper planting in accordance with City specifications and nursery standards. Once the maintenance period has begun, the applicant is responsible for maintaining plant health in accordance with the signed Warranty and Maintenance Agreement. Routine inspections will be conducted throughout the warranty period and the applicant will be notified in writing when

given date may result in fines being issued, permits revoked, extension of warranty period or other punitive measures. Such maintenance shall include when appropriate, but not necessarily be limited to: Watering, fertilizing and control of competing vegetation throughout the

corrective measures are required. Failure to complete the corrective measures by the

- Pruning, mulching, tightening of strapping, resetting of plants to proper grades or upright position. • Furnishing and applying pesticides or other items necessary to thwart damage
- from insects and disease.
- Providing protection measures such as fencing and interpretive signs as necessary, to prevent destruction or degradation of the planting site.
- Replacement of dead and dying trees. Survival standards contained in the State Forest Conservation Manual shall be followed for the protection and satisfactory establishment of forest where applicable.
- Eradicate, suppress and control non-native and invasive plant species during the maintenance period to the satisfaction of the City Forester.
- Installing and maintaining devices to protect against wildlife damage. Removal of staking and strapping after six months.







MANUFACTURER: LANDSCAPE FORMS WEBSITE: LANDSCAPEFORMS.COM PRODUCT NAME: PARC VUE BENCH, 6' LENGTH COLOR/MATERIAL: ALUMINUM, FOG FINISH QUANTITY: 1

NOTES: INSTALL PER MANUFACTURER'S INSTRUCTIONS.



MANUFACTURER: LANDSCAPE FORMS WEBSITE: LANDSCAPEFORMS.COM PRODUCT NAME: PLAINWELL RECEPTACLE, 35 GAL. CAPACITY COLOR/MATERIAL: ALUMINUM, FOG FINISH QUANTITY: 2 NOTES: INSTALL PER MANUFACTURER'S INSTRUCTIONS.



STREET LIGHT (TYP.)



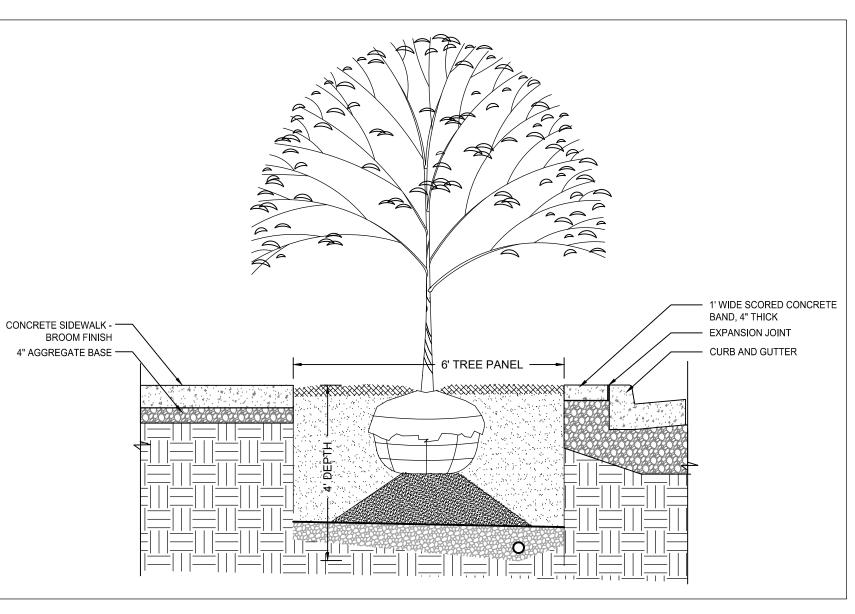
MANUFACTURER: HANOVER WEBSITE: HANOVERPAVERS.COM PRODUCT NAME: TRADITIONAL PREST BRICK COLOR/MATERIAL: RED/ CHARCOAL BLEND, NATURAL NOTES: INSTALL PER MANUFACTURER'S INSTRUCTIONS. BRICK PAVER



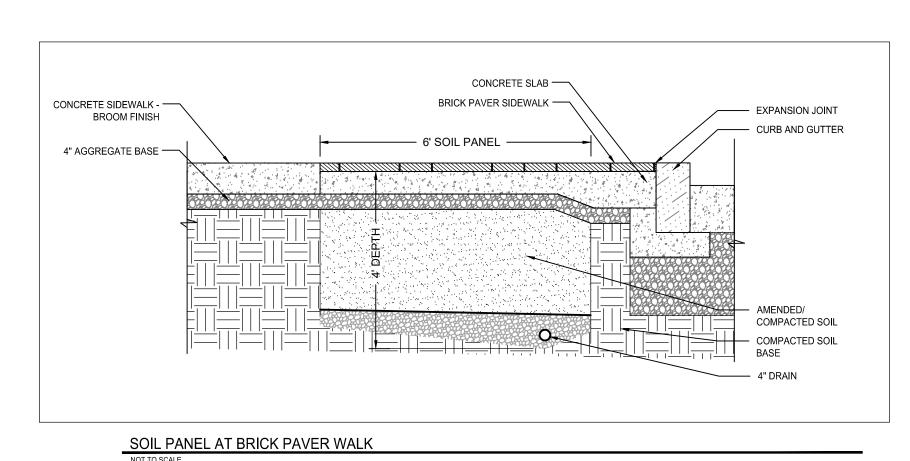
MANUFACTURER: LANDSCAPE FORMS WEBSITE: LANDSCAPEFORMS.COM PRODUCT NAME: RIDE BICYCLE RACK COLOR/MATERIAL: ALUMINUM, FOG FINISH QUANTITY: 3 NOTES: INSTALL PER MANUFACTURER'S INSTRUCTIONS.

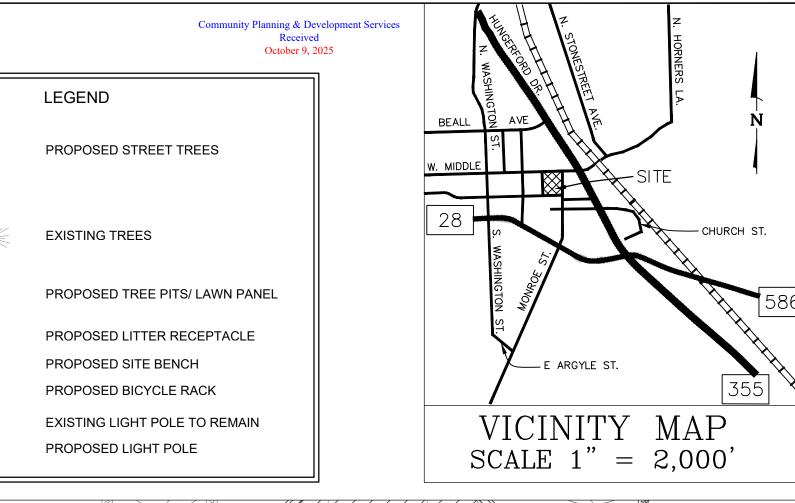


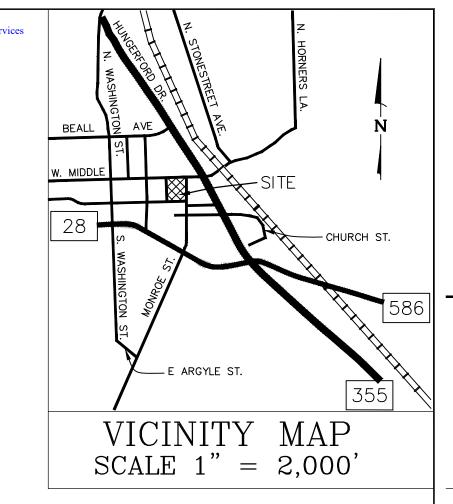
MANUFACTURER: KORNEGAY DESIGN WEBSITE: KORNEGAYDESIGNS.COM PRODUCT NAME: 36" CIRQUE PLANTER COLOR/MATERIAL: NATURAL GRAY QUANTITY: 3 NOTES: INSTALL PER MANUFACTURER'S INSTRUCTIONS.



STREET TREE PANEL

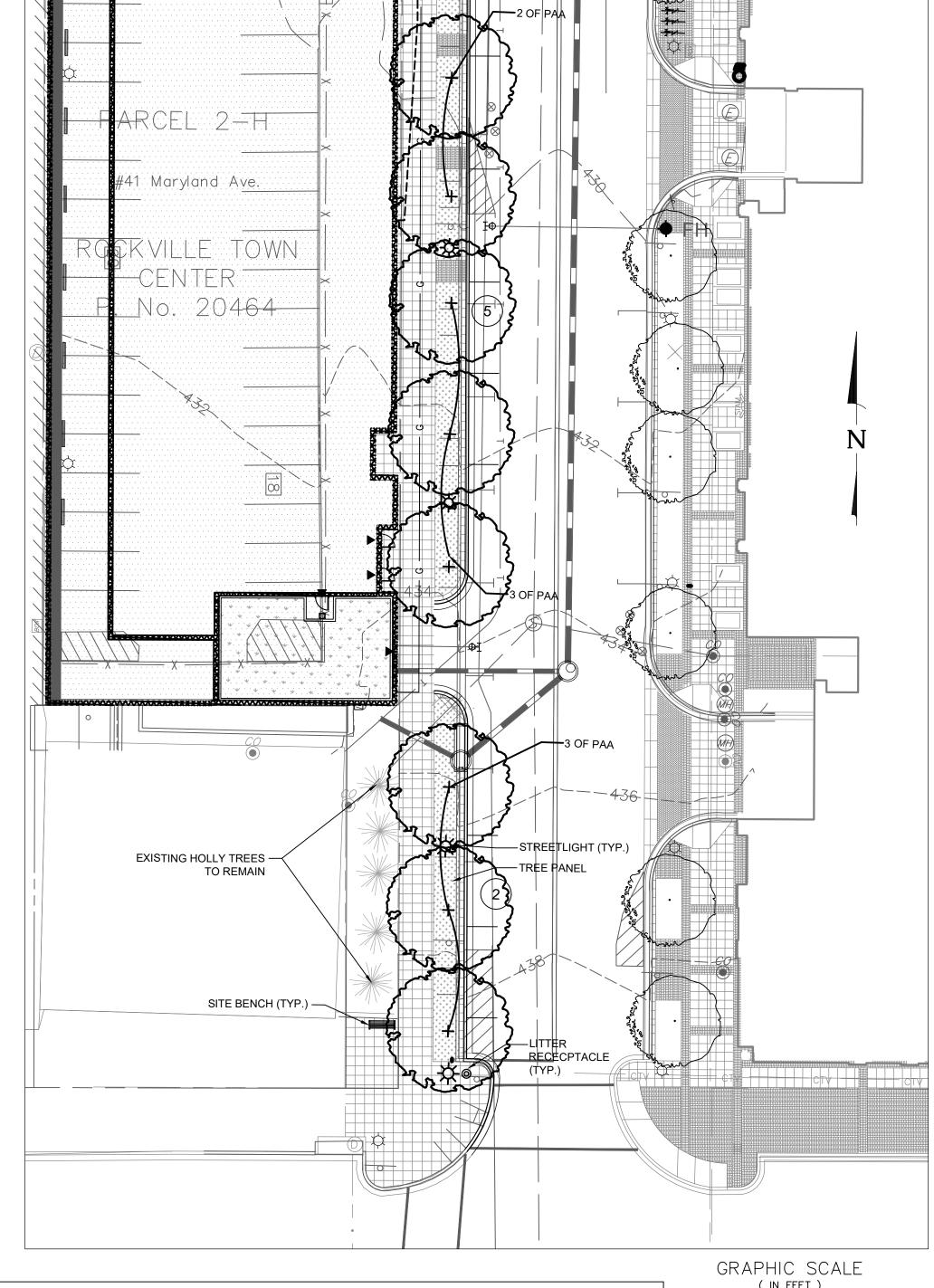






CIVIL ENGINEERING LAND SURVEYING LANDSCAPE ARCHITECTURE LAND PLANNING 9220 Wightman Road, Suite 120 Montgomery Village, MD 20886 Phone: 301.670.0840 www.mhgpa.com Copyright @ 2024 by Macris, Hendricks & Glascock, P.A. All Rights Reserved Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the Laws of the State of Maryland. Lic. No. 615 Exp. Date, 09,10,2027 Comstock Companies Reston Station 1900 Reston Metro Plaza 10th Floor Reston, VA 20190 mdaugard@comstock.com

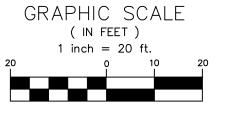


			STREET TREE LIST	-			
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL	HGT	ROOT	SPACING
SHADE T	REES						
PAA	8	Platanus x acerfolia	London Planetree	$2\frac{1}{2}$ "-3" cal.		B&B	55' o.c.

PLANTER ----

(ANNUALS)

Note: Plant counts are provided for the convenience of the contractor. The plan dominates on any discrepancies between the table and the plan. Contractor is responsible for verifying the counts and bringing any discrepancies to the attention of the landscape architect and client before proceeding. The planting plan must be carefully followed to ensure good plant survival and acceptance of landscaping upon completion of the project. Failure to install the specified plants in the specified locations will result in the rejection of the entire planting area, and the contractor will be required to reinstall the plantings as shown on the plans at their own expense. Substitutions are not allowed without prior approval of the landscape architect.



NOTE: FINAL LANDSCAPE PLAN TO BE APPROVED AT SITE PLAN

DATE **MOMENTUM AT ROCKVILLE STATION** PROJECT PLAN PJT2025-00023 ILLUSTRATIVE

> PROJECT NO. 24.271.11 SHEET NO. 1 OF 1

LANDSCAPE PLAN

1"= 20'

08.12.2025

DESCRIPTION

TAX MAP GR342

PLAT 20464

MARYLAND

4TH ELECTION DISTRICT

MONTGOMERY COUNTY

PARCEL 2-H

ROCKVILLE

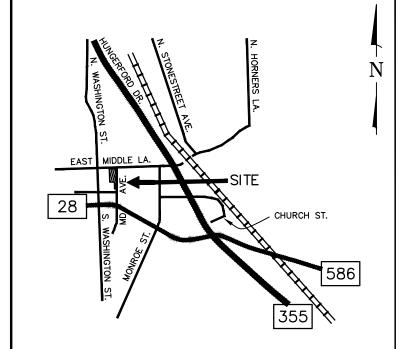
PROJ. MGR

DRAWN BY

SCALE

TOWN CENTER

(IN FEET) 1 inch = 20 ft.



SITE

28

SHINGTON

CHURCH ST.

CHURCH ST.

SHINGTON

CHURCH ST.

ST.

SHINGTON

CHURCH ST.

ST.

SHINGTON

CHURCH ST.

ST.

ST.

SHINGTON

Montgomery Village, MD 20886
Phone: 301.670.0840
www.mhgpa.com

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VICINITY MAP

SCALE 1" = 2,000'

CIVIL ENGINEERING

LAND SURVEYING

LANDSCAPE ARCHITECTURE

LAND PLANNING

Owner: Comstock 41 Maryland, LLC Address: 1900 Reston Metro PLZ, 10th fl,

Email: rdemchak@comstock.com

SCG Development Holdings, LLC

Email: kas@scgdevelopment.com

Phone: 703-942-6610 x 200

Applicant: SCG Development Holdings, LLC / Comstock 41 Maryland, LLC c/o

Address: 8245 Boone Blvd #640, Vienna,

Reston VA 20190 Contact: Robert Demchak

VA 22182

Contact: Kirk Salpini

Phone: 703.230.1985

APPARATUS
ACCESS MOVEMENT

OPERATIONAL BAY
60 X 20' MIN

15' CLEAR AND WALKABLE
GRADE AROUND BUILDING
(4:1 MAX)

MAIN EXTERIOR DOORS

ACCESS PATH LENGTH

REVISIONS
NO. DESCRIPTION DATE

TAX MAP GR342 WSSC 218N
PLAT 20464

PLAT 20464

4TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL 2-H

ROCKVILLE TOWN CENTER

PROJ. MGR

fire brigade
local fire department

SCALE

DATE

FIRE DEPARTMENT SITE PLAN

PROJECT NO. 24.271.11

1"= 20'

08/12/2025

Structures undergoing construction, alteration, or demolition operations, including those in underground locations, shall comply with NFPA 241 and this chapter. NFPA 1, 16.1.1.

All of the following items shall be addressed in the fire safety program:
(1) Good housekeeping
(2) On-site security

(3) Fire protection systems
(a) For construction operations, installation of new fire protection systems as construction progresses
(b) For demolition operations, preservation of existing fire

protection systems during demolition
(4) Organization and training of an on-site fire brigade
(5) Development of a prefire plan with the local fire department
(6) Rapid communication

(7) Consideration of special hazards resulting from previous occupancies
(8) Protection of existing structures and equipment from exposure fires resulting from construction, alteration, and demolition

fires resulting from construction, alteroperations
NFPA 1, 16.3.1.2. [241:7.1]

It is the Owner's Responsibility for Fire Protection. NFPA 1, 16.3.2.
16.3.2.1* The owner shall designate a person who shall be responsible for the fire prevention program and who shall ensure that it is carried out to completion. NFPA 1, 16.3.2.1. [241:7.2.1]



. RENDERINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES AND DO NOT REFLECT FINAL ARCHITECTURAL OR SITE DESIGN.

DRAWING INDEX

A-01 - COVER

A-02 - ARCHITECTURAL SITE PLAN

A-03 - GROUND LEVEL PLAN

A-04 - LEVEL 1 PLAN

A-05 - LEVEL 2 PLAN

A-06 - LEVEL 3 PLAN

A-07 - TYPICAL LEVEL PLAN

A-08 - ROOF LEVEL PLAN

A-09 - ELEVATION

A-10 - ELEVATION

A-11 - ELEVATION

A-12 - ELEVATION

A-13 - SECTION

A-14 - PERSPECTIVES

A-15 - PERSPECTIVES

A-16 - PERSPECTIVES

A-17 - PERSPECTIVES

A-18 - PERSPECTIVES

A-19 - PERSPECTIVES

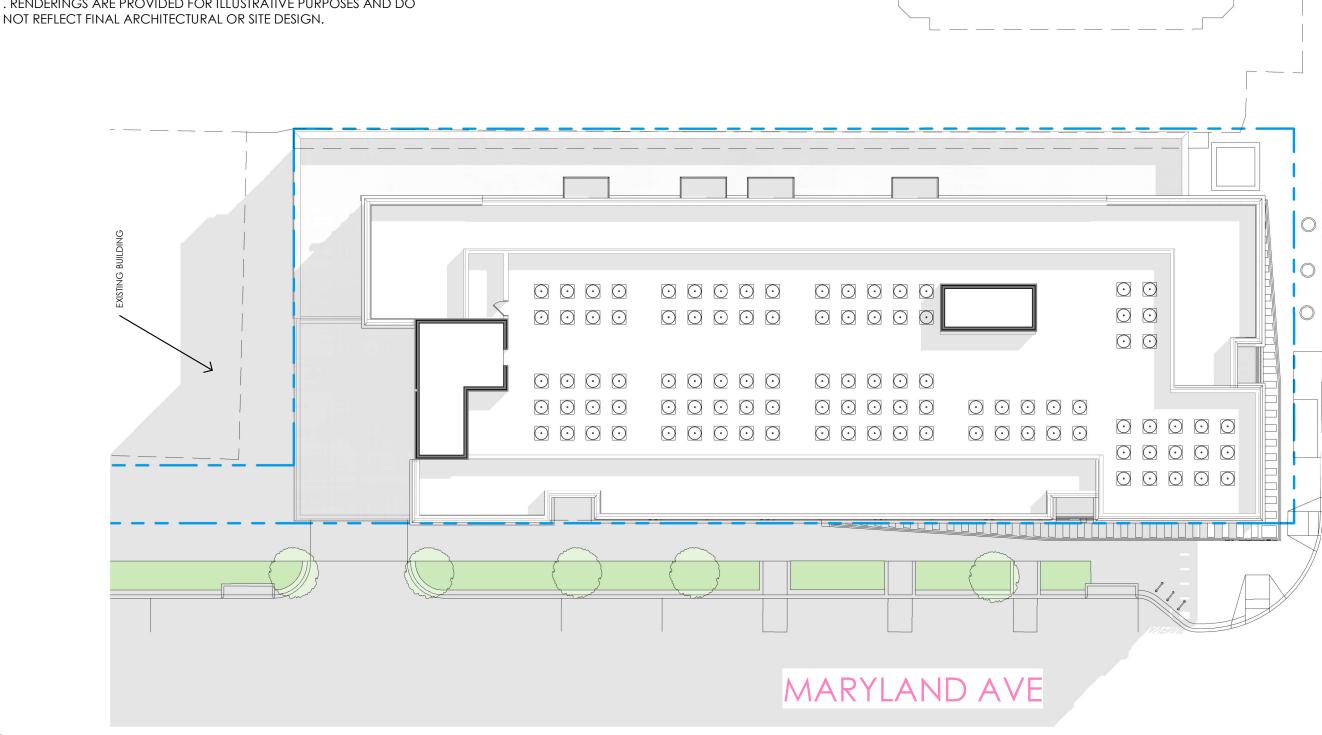
A-20 - PERSPECTIVES

A-21 - PERSPECTIVES





. RENDERINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES AND DO



ARCHITECTURAL SITE PLAN SCALE: 1" = 20'-0"



MARYLAND AVE

ROCKVILLE, MD 20850

PROJECT PLAN CONCEPT



10'

SCALE: 1" = 20'-0" 8/13/2025 3:55:33 PM



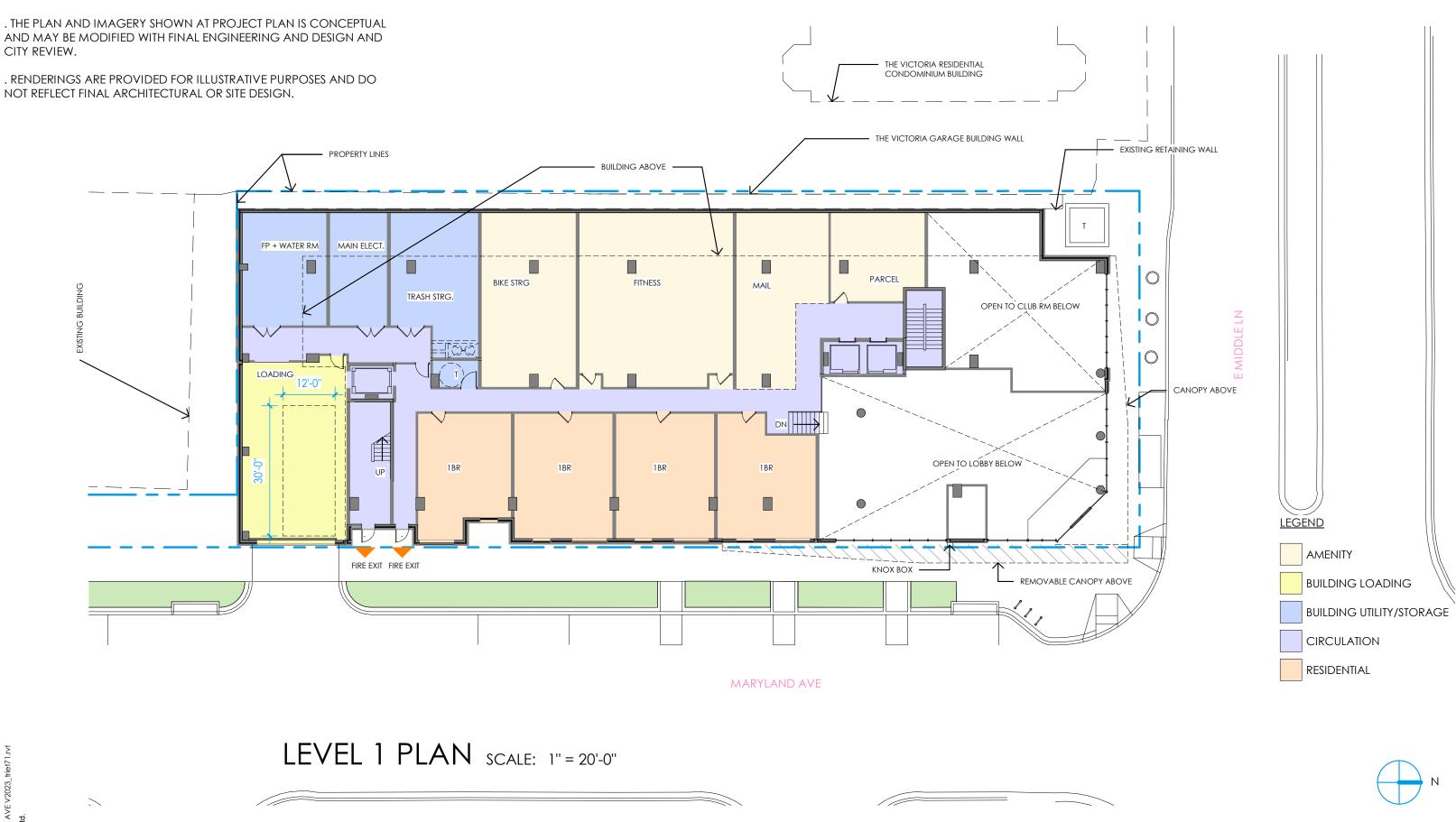
. RENDERINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES AND DO NOT REFLECT FINAL ARCHITECTURAL OR SITE DESIGN. THE VICTORIA RESIDENTIAL 208'-0" BUILDING ABOVE -THE VICTORIA GARAGE BUILDING WALL - EXISTING RETAINING WALL PROPERTY LINES \bigcirc CANOPY ABOVE Z CLUB RM **LEGEND** AMENITY KNOX BOX REMOVABLE CANOPY ABOVE CIRCULATION LOBBY MARYLAND AVE

GROUND LEVEL PLAN SCALE: 1" = 20'-0"





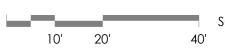




41 MARYLAND AVE

ROCKVILLE, MD 20850

PROJECT PLAN CONCEPT



SCALE: 1" = 20'-0" 8/13/2025 3:55:34 PM



LEVEL 2 PLAN SCALE: 1" = 20'-0"



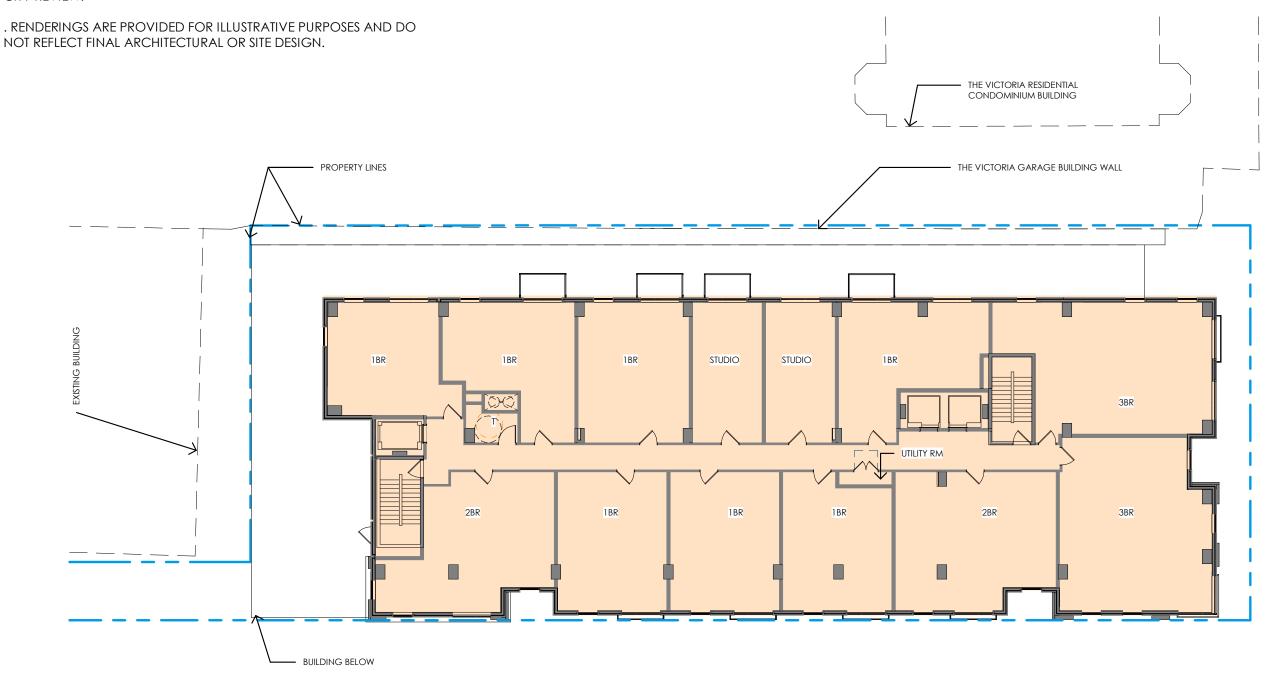
BUILDING BELOW -





LEVEL 3 SCALE: 1" = 20'-0"





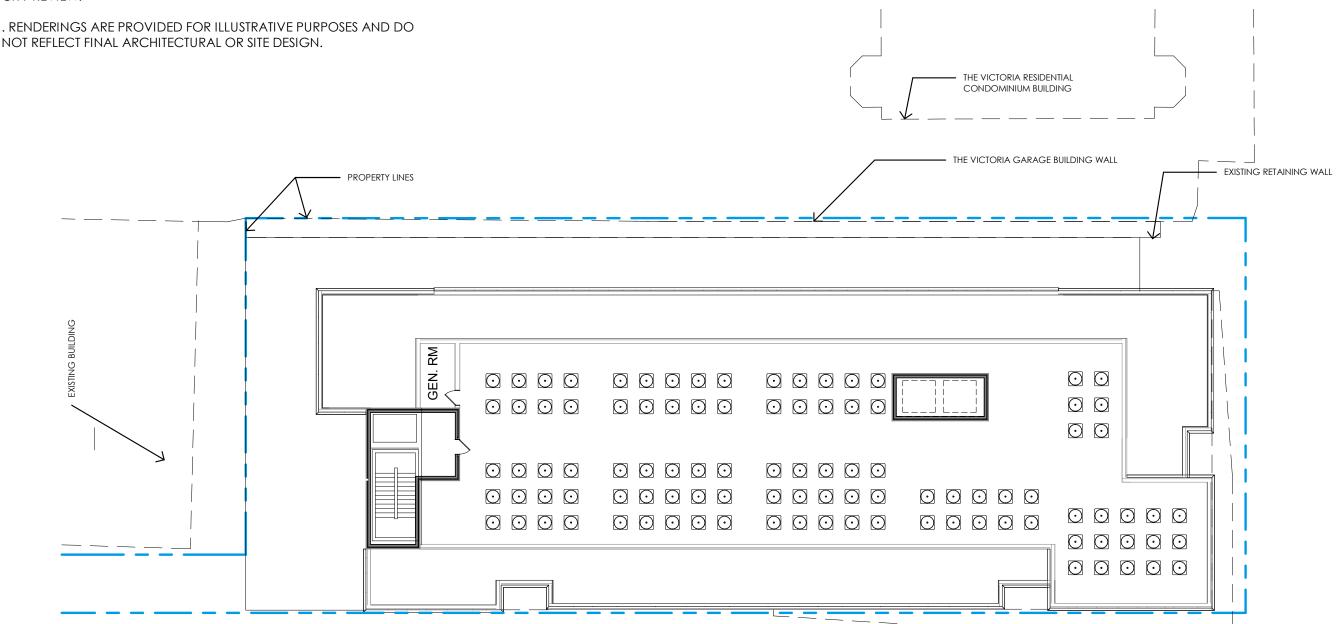
<u>LEGEND</u>

RESIDENTIAL

TYPICAL LEVEL PLAN SCALE: 1" = 20'-0"

N



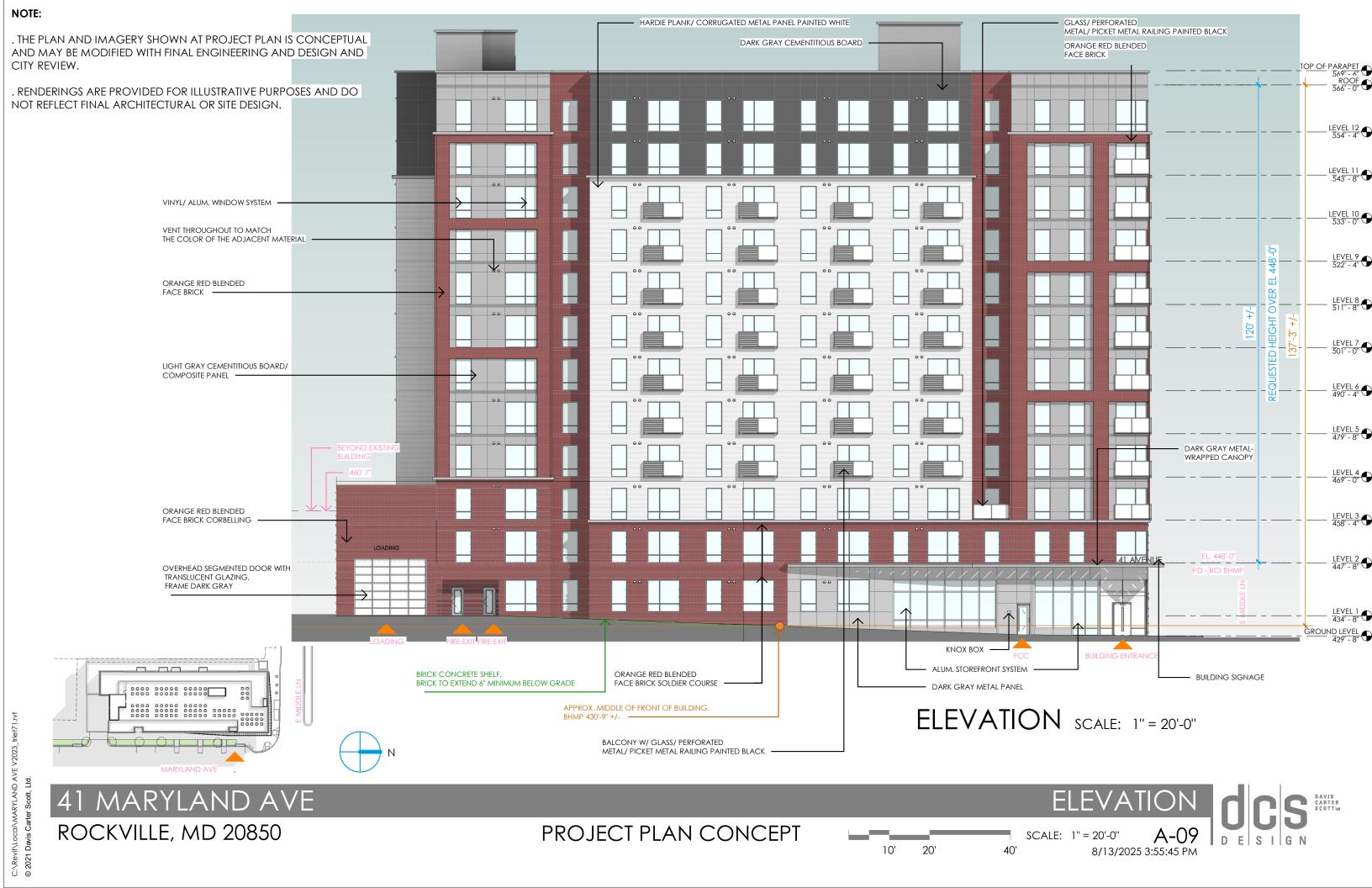


MARYLAND AVE

ROOF PLAN SCALE: 1" = 20'-0"

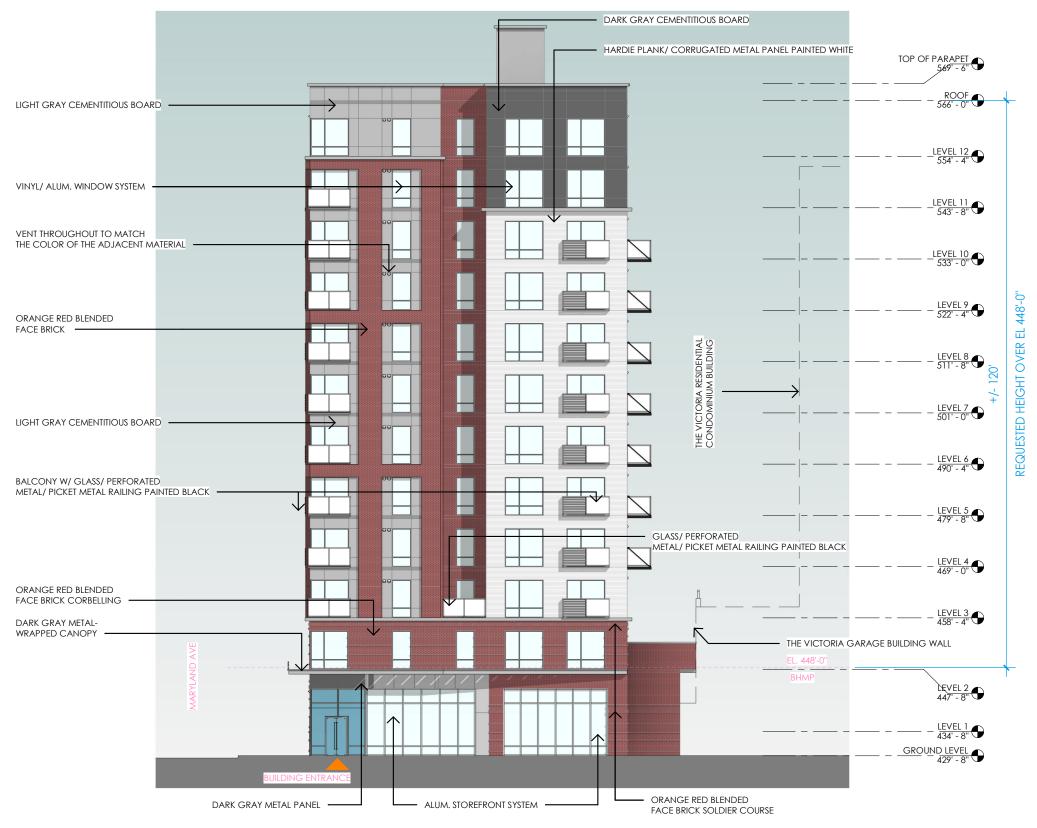






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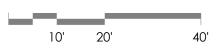


ELEVATION SCALE: 1" = 20'-0"



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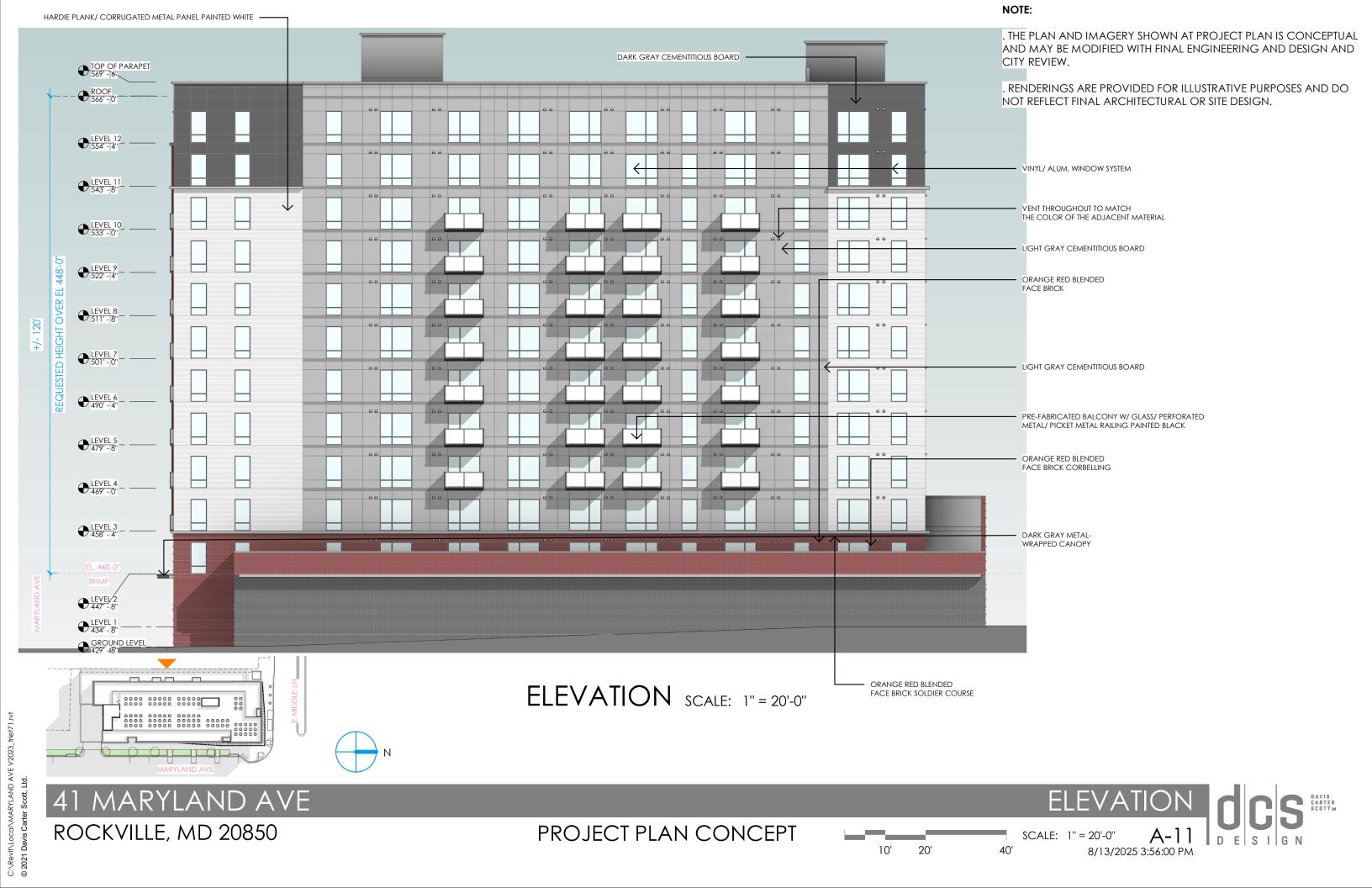
ROCKVILLE, MD 20850



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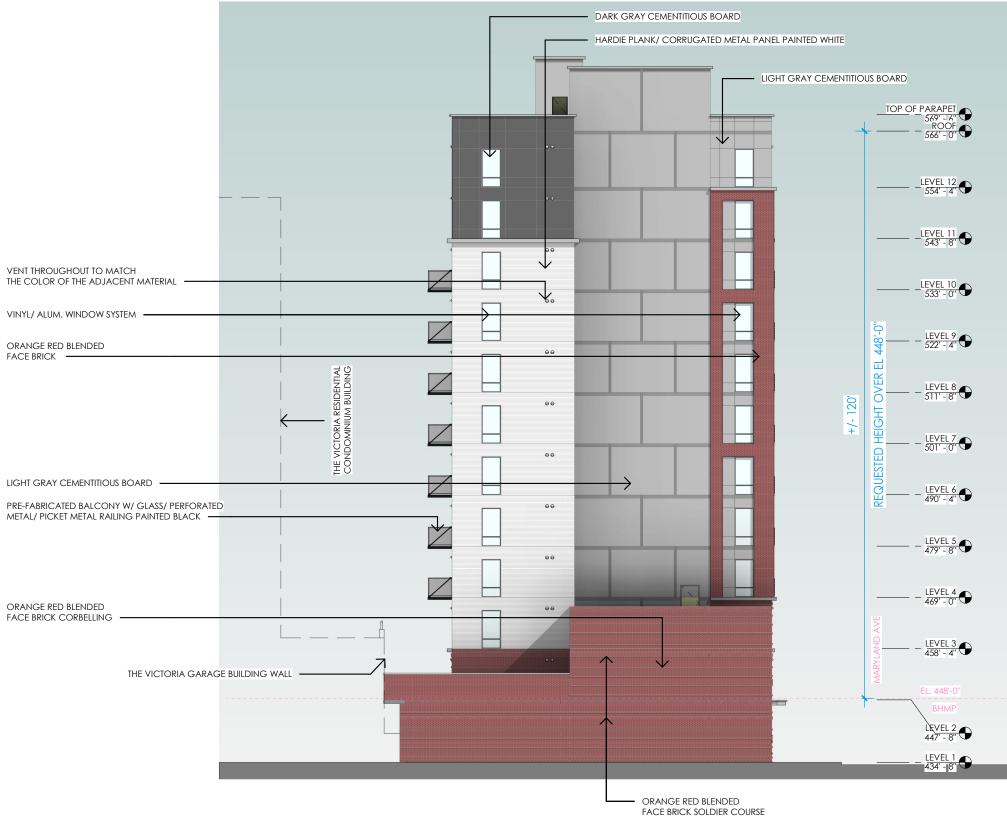


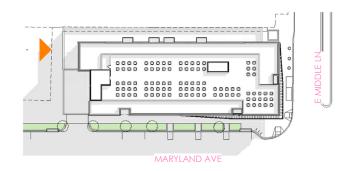
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ELEVATION SCALE: 1" = 20'-0"

41 MARYLAND AVE

ROCKVILLE, MD 20850

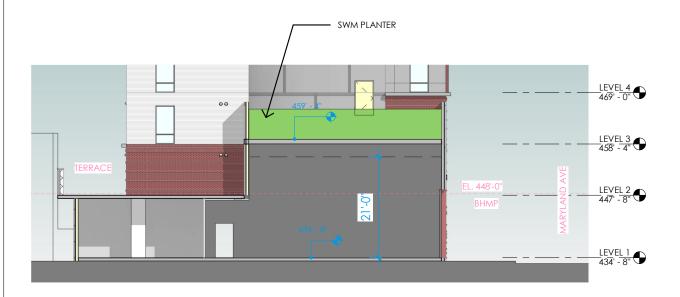
PROJECT PLAN CONCEPT



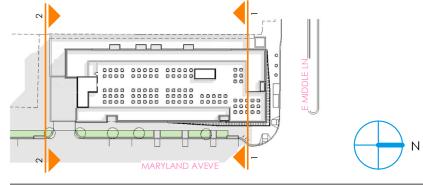
SCALE: 1" = 20'-0" A-12 8/13/2025 3:56:07 PM



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SECTION 2 SCALE: 1" = 20'-0"



TOP OF PARAPET LEVEL 12 554' - 4" LEVEL 11 543' - 8" LEVEL 10 533' - 0" LEVEL 7 501' - 0" LEVEL 6 490' - 4" LEVEL 5 479' - 8" LEVEL 4 469' - 0" THE VICTORIA GARAGE BUILDING WALL LEVEL 2 447' - 8"

SECTION 1 SCALE: 1" = 20'-0"

MARYLAND AVE

ROCKVILLE, MD 20850

PROJECT PLAN CONCEPT

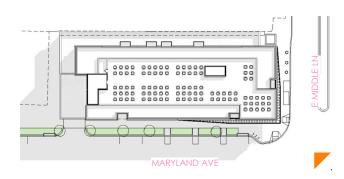


SCALE: 1" = 20'-0" 8/13/2025 3:56:13 PM



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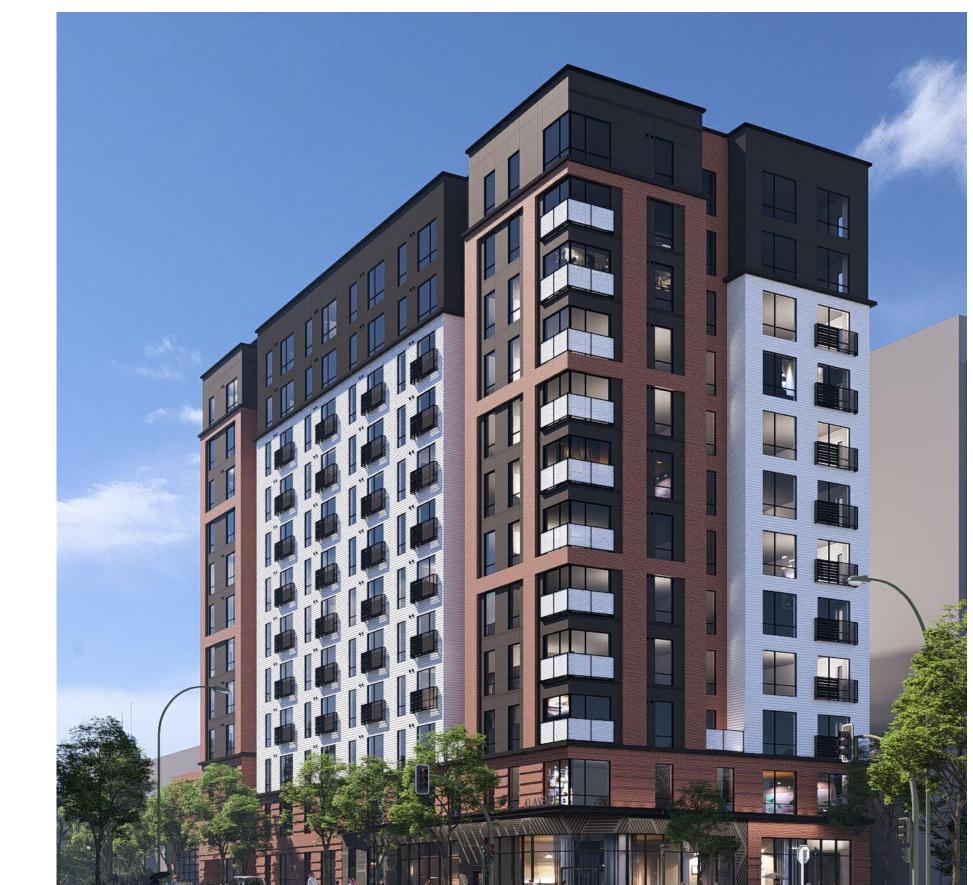


ROCKVILLE, MD 20850



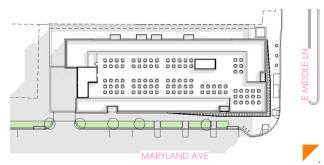


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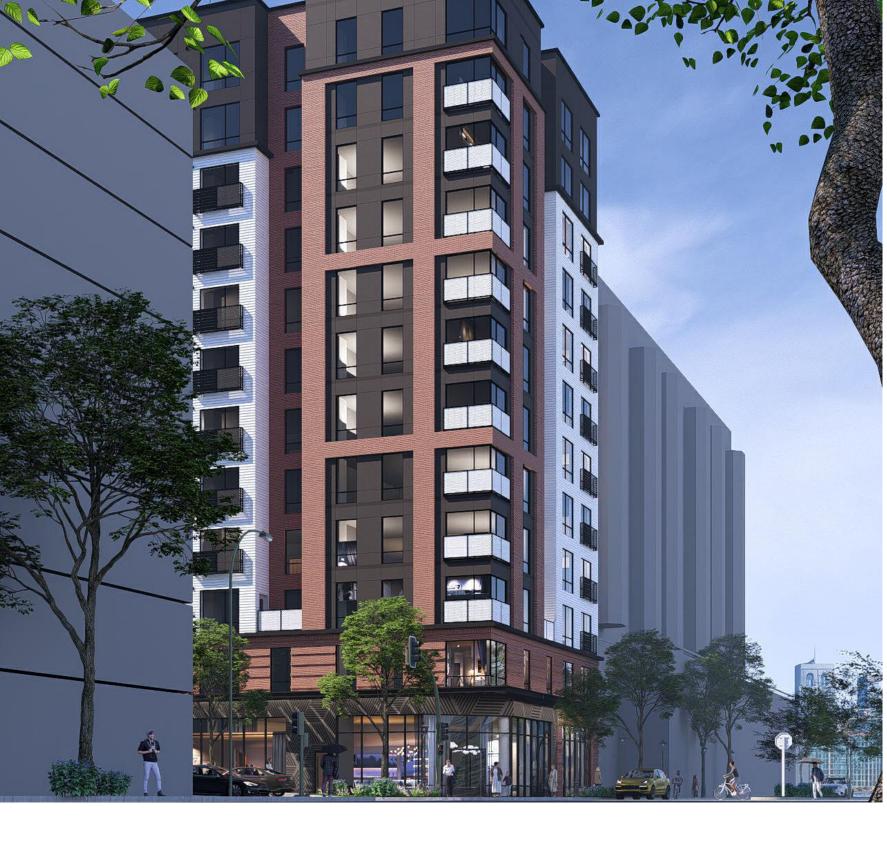








ROCKVILLE, MD 20850



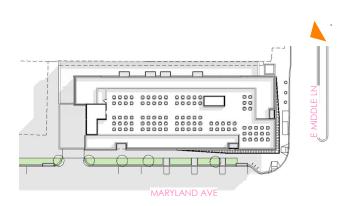


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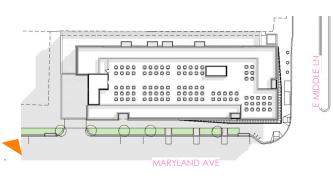






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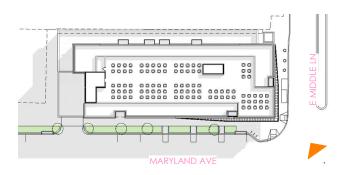




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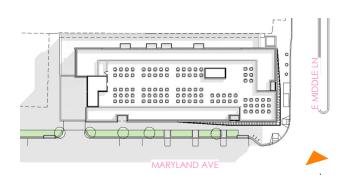
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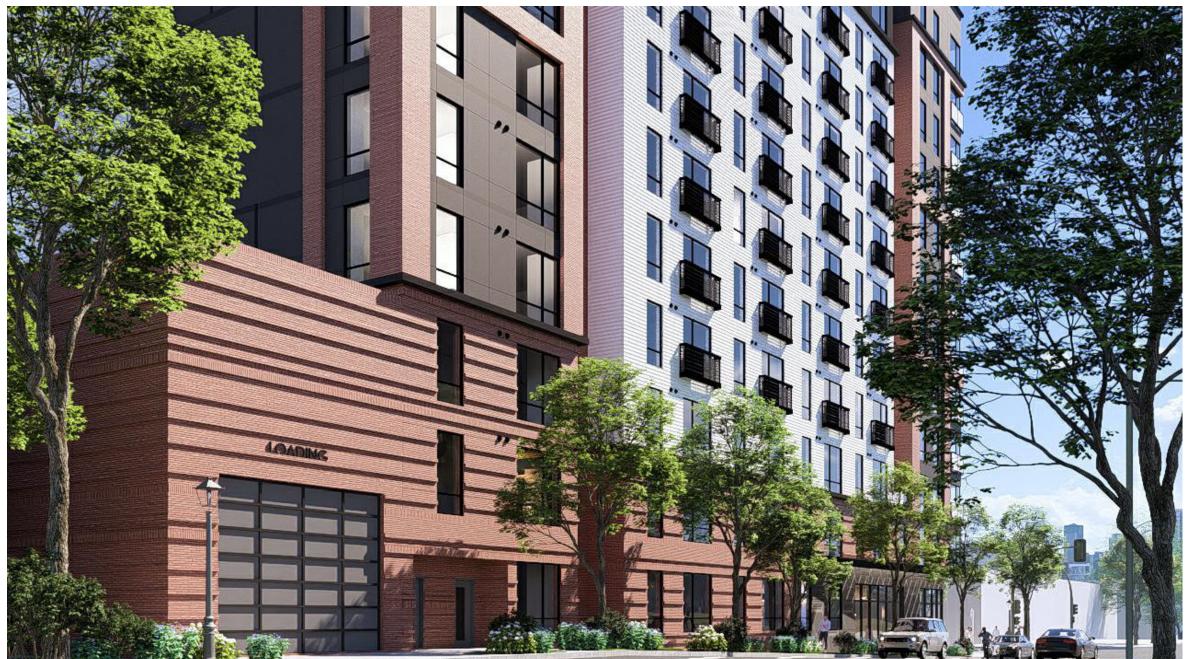


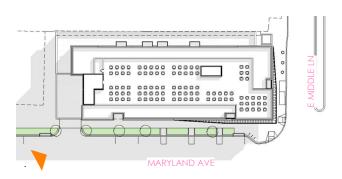




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