



PLANNING COMMISSION

Meeting No. 08-26
Wednesday, May 27, 2026 - 7:00 PM

AGENDA

Meng Sun, Chair

Jaime Espinosa Shayan Salahuddin
Eric Fulton Jeff Zyontz
Susan Pitman

Jim Wasilak, Staff Liaison
Nicholas Dumais, Senior Assistant City Attorney

Rockville City Hall 111 Maryland Ave and
Virtually via WebEx
Watch LIVE on Comcast Cable Rockville Channel 11 and online at
<https://www.rockvillemd.gov/services/rockville-11/>

See page 2 for more information

1. Convene

2. Review and Action

Mandatory Referral Application 2026-305-MRF, to Construct a New Site Entrance from West Gude Drive to the Rockville Senior Center, Located at 1150 Carnation Drive in the Park Zone; City of Rockville Department of Public Works, Applicant.

3. Commission Items

- A. Staff Liaison Report
- B. Old Business
- C. New Business
 - 1. Review of 2025 Annual Report
- D. Minutes Approval
 - May 28, 2025

- August 13, 2025
 - February 25, 2026
 - April 8, 2026
 - April 22, 2026
- E. FYI/Correspondence

4. Adjourn

PLANNING COMMISSION

HYBRID MEETING AND PUBLIC HEARING PROCEDURE

The Planning Commission meets in person in the Mayor and Council Chambers at Rockville City Hall, 111 Maryland Avenue. The public is invited to participate in person or virtually via Webex. Anyone wishing to participate virtually may do so per the instructions below.

HYBRID MEETING AND PUBLIC HEARING PROCEDURE

1. Pre-meeting Platform: Webex

- A. Applicant Access: Provided by Community Planning and Development Services/IT
- B. Access for Oral Testimony and Comment: Provided by CPDS/IT (see below)

2. Pre-Meeting Preparations/Requirements:

A. Written Testimony and Exhibits

Written testimony and exhibits may be submitted by email to Jim Wasilak, Staff Liaison to the Planning Commission, at jwasilak@rockvillemd.gov or by regular mail to:

Meng Sun, Chair
 Rockville Planning Commission
 111 Maryland Avenue
 Rockville, MD 20850

Written testimony must be received no later than nine (9) days in advance of the hearing in order to be distributed with the Planning Commission briefing materials. Written testimony and exhibits received after this date, until 4:00 pm on the day before the hearing, will be provided to the Planning Commission by email.

B. Webex Orientation for Applicants

- i. Applicants must contact the planning case manager assigned to the Application no

later than five(5) days in advance of the hearing in order to schedule Webex orientation, which must be completed prior to the hearing.

C. Oral Testimony by Applicants and the Public

- i. Applicants – Applicants must provide to the planning case manager a list of presenters and witnesses who will testify on behalf of the Application to the planning case manager no later than five (5) days prior to the date of the hearing.
- ii. Public Testimony/Comment on an Application – Any member of the public who wishes to comment on an application must submit their name and email address to the Staff Liaison Jim Wasilak (jwasilak@rockvillemd.gov) no later than 9:00 am on the day of the hearing to be placed on the testimony list.

Members of the public who seek technical assistance from City staff must submit their name and email address to Jim Wasilak no later than two (2) days in advance of the hearing so that an orientation session may be scheduled.

If a member of the public is unable to meet the deadline to be placed on the testimony list, they can submit written testimony to the Staff Liaison to the Planning Commission by email to jwasilak@rockvillemd.gov.

3. Conduct of Online Meeting and Public Hearing

A. Rules of Procedure

The Meeting and Public Hearing will be held in accordance with the Planning Commission Rules of Procedure, including the order of testimony and applicable time limits on testimony. The Rules may be viewed here: <https://www.rockvillemd.gov/DocumentCenter/View/2023/Planning-Commission---Rules-of-Procedure>

B. Oral Testimony

During the hearing, the Chair will sequentially recognize each person on the testimony list and ask the host to allow the speaker to speak. Each speaker must wait to be specifically recognized by the Chair before speaking.

If during the hearing a party wishes to speak, or a speaker wishes to request the opportunity to engage in cross-examination following specific testimony, the party must contact the Staff Liaison/Host by email at jwasilak@rockvillemd.gov with the specific request. The Host/Staff Liaison will inform the Commission. The Chair will determine if the party may be heard.

C. Continuance of Hearing

The Planning Commission, at its discretion, reserves the right to continue the hearing until another date.

HELPFUL INFORMATION FOR STAKEHOLDERS AND APPLICANTS

A. GENERAL ORDER OF SESSION FOR DEVELOPMENT APPLICATIONS

1. Staff presentation
2. City Board or Commission comment
3. Applicant presentation (10 min.)
4. Public comment (3 min, or 5 min for the representative of an association)
5. Planning Commission Discussion and Deliberation
6. Decision or recommendation by vote

The Commission may ask questions of any party at any time during the proceedings.

B. PLANNING COMMISSION BROADCAST

- Watch LIVE on Comcast Cable Rockville Channel 11 and online at: www.rockvillemd.gov
- Replay on Comcast Cable Channel 11:
 - o Wednesdays at 7:00 pm (if no live meeting)
 - o Sundays at 7:00 pm
 - o Mondays, Thursdays and Saturdays at 1:00 pm
 - o Saturdays and Sundays at 12:00 am (midnight)
- Video on Demand (within 48 hours of meeting) at: www.rockvillemd.gov/VideoOnDemand.

C. NEW DEVELOPMENT APPLICATIONS

- For a complete list of all applications on file, visit: www.rockvillemd.gov/DevelopmentWatch.

D. ADDITIONAL INFORMATION RESOURCES

- Additional resources are available to anyone who would like more information about the planning and development review process on the City's web site at: www.rockvillemd.gov/cpds

Maryland law and the Planning Commission's Rules of Procedure regarding ex parte (extra-record) communications require all discussion, review, and consideration of the Commission's business take place only during the Commission's consideration of the item at a scheduled meeting. Telephone calls and meetings with Commission members in advance of the meeting are not permitted. Written communications will be directed to appropriate staff members for response and included in briefing materials for all members of the Commission. Wednesdays at 7:00 pm (if no live meeting)



PLANNING COMMISSION Meeting Date: May 27, 2026
Agenda Item Type: REVIEW AND ACTION
Department: PC - DEVELOPMENT REVIEW
Responsible Staff: NELSON ORTIZ

Subject

Mandatory Referral Application 2026-305-MRF, to Construct a New Site Entrance from West Gude Drive to the Rockville Senior Center, Located at 1150 Carnation Drive in the Park Zone; City of Rockville Department of Public Works, Applicant.

Department

CPDS - Development Review

Recommendation

Staff recommends approval of Mandatory Referral Application 2026-305-MRF, based on the required findings and subject to the conditions outlined in this staff report.



Overview

Case: Mandatory Referral Application 2026-305-MRF
Location: 1150 Carnation Drive
Staff: Nelson Ortiz, Principal Planner

Community Planning and Development Services
nortiz@rockvillemd.gov

Applicant: City of Rockville, Maryland
Department of Public Works
111 Maryland Avenue
Rockville, MD 20850

Filing Date: April 6, 2026

**Planning
Commission Date:** May 27, 2026

Discussion

The Department of Public Works for the City of Rockville, Maryland (“Applicant”) has filed a mandatory referral application for a proposed entrance from West Gude Drive to serve the Rockville Senior Center. The project includes other minor associated improvements. The application is being processed as a Mandatory Referral in accordance with applicable state law governing the construction of public projects. The Planning Commission’s review is to determine consistency with the “Plan” as defined under Section 3-205 of the Land Use Article of the Annotated Code of Maryland, specifically as it relates to the location, character, and extent of the proposed site development. Pursuant to the Land Use Article, the Planning Commission has 60 days from the date of submittal of the application to render its decision on the project or it is deemed to be approved. The Applicant may appeal a decision of denial by the Planning Commission to the Mayor and Council, which can vote to overturn the ruling by a two-thirds vote and proceed with the project.

Site Description

Location: 1150 Carnation Drive

Planning Area: Planning Area 5 (Woodley Gardens and College Gardens)

**Land Use
Designation:** CI – Civic and Public Institutional

Zoning District: Park Zone

Property Area: 11.79 acres according to SDAT

Surrounding Land Use and Zoning

Location	Zoning	Planned Land Use	Existing Use
North	MXE (Mixed-Use Employment) Zone	OCRM – Office Commercial Residential Mix	Office Development
East	R-75 (Single Unit Detached Dwelling, Residential) Zone and R-90 (Single Unit Detached Dwelling, Restricted Residential)	RD – Residential Detached	Single-unit Detached Residential
South	R-75 (Single Unit Detached Dwelling, Residential) Zone	RD – Residential Detached	Single-unit Detached Residential
West	MXE (Mixed-Use Employment) Zone	OCRM – Office Commercial Residential Mix	Office Development

Site Analysis



Aerial Map

The Property is comprised of three separate parcels situated on the south side of West Gude Drive and abutting Interstate 270 on the west side of the property. According to SDAT, the northern parcel is 2.15 acres, the center parcel is 6.51 acres, and the southern parcel is 3.13 acres. The Property has frontage on West Gude Drive, I-270, Woodley Drive and Carnation Drive, but its sole vehicular access is currently from Carnation Drive. Pedestrian access is provided from West Gude Drive, Woodley Drive, and Carnation Drive. The Property is zoned Park and the land use designation is C-I (Civic and Public Institutional). The Property is currently improved with a building that is owned by the City of Rockville and operated as the Rockville Senior Center by the Recreation and Parks Department. The Senior Center is served by two separate surface parking lots connected via circular and interior driveways. The north parking lot includes 105 spaces and the south parking lot includes 35 parking spaces. The Property features several open lawns connected via meandering walkways, community garden plots, outdoor fitness equipment, a playground, bocce ball court, forested areas, and various other amenities.

Project Description

The City of Rockville seeks to construct a new entrance to the Senior Center from West Gude Drive. The driveway apron will align with Piccard Drive, and the driveway will extend south from the existing Piccard Drive and West Gude Drive T-intersection until it reaches the northeast corner of the Senior Center north parking lot, approximately 350' in length. The entrance driveway at West Gude Drive will be 25' wide and will taper down to 24' to include 12-foot lanes in each direction with curb and gutter. A five-foot sidewalk will be installed along the west side of driveway. Landscaping will be provided on both sides of the interior driveway, and two lights will be installed. A micro-bioretenion area for stormwater runoff is also proposed.

An existing work of public art near West Gude Drive and a compost area near the north parking lot will be relocated to accommodate the new entrance. Seven parking spaces in the north parking lot will be removed where the proposed interior driveway will tie into the parking lot. Four parking spaces will be added at the west end of the parking lot, and two of three parking spaces, currently encumbered by a shipping container, will be made available.

To prevent cut-through traffic into the adjacent neighborhood while allowing for members' accessibility, two community gates will be installed at the existing interior driveway that connects the north parking lot with the south parking lot. Senior Center members will be given gate access during the hours of operation.

As part of this project, the Applicant proposes improvements to the Piccard Drive and West Gude Drive intersection including a dedicated left turn lane, sidewalk connections, ADA compliant ramps, the driveway apron, and street signage.

The project is in its 90% design phase and expected to reach 100% design following the Planning Commission decision. Staff anticipate the project will be out to bid this summer.

Project Analysis and Findings

Master Plan

The application is being processed as a Mandatory Referral in accordance with applicable state law governing the construction of public projects. As such, the City's review of the proposal is to determine consistency with the "Plan" as defined under the Section 3-205 of the Land Use Article of the Annotated Code of Maryland, specifically as it relates to location, character, and extent as it pertains to the proposed site development. As per the referenced state code, "Plan" means the policies, statements, goals, and interrelated plans, including the City's Rockville 2040 Comprehensive Plan for private and public land use, transportation, and community facilities documented in texts and maps which constitute the guide for the area's future development.

This application is compliant with the City's Comprehensive Plan and the location, character, and extent are also consistent with the Plan. In fact, the construction of a new entrance from West Gude Drive in to the Rockville Senior Center is specifically identified in the Comprehensive Plan as one of the Recommended City Projects in Planning Area 5. Project P1 recommends that the city "create a new vehicle entrance to the Rockville Senior Center parking lot from West Gude Drive while restricting vehicle access through to the residential neighborhood" (page 316).

Location: The application is located within Planning Area 5 – Woodley Gardens and College Gardens. The property is situated among West Gude Drive to the north, Carnation Drive to the south, I-270 to the west, and the Woodley Gardens neighborhood to both the east and south. This property is designated as CI (Civic and Public Institutional uses) in the Comprehensive Plan. This land use designation includes public facilities such as the Senior Center. The location of the proposed entrance is consistent with the Plan's recommendation.

Character: West Gude Drive is a four-lane road, with a median, that connects Maryland Route 28 (West Montgomery Avenue) and Maryland Route 355 (Frederick Road). The Senior Center, although it has direct frontage on this road, does not have a vehicular entrance for access from West Gude Drive. Instead, visitors to the Senior Center currently must drive through the neighborhood streets of Woodley Gardens, many of which are narrow and do not have painted center lines. The surrounding and nearby properties in Woodley Gardens are characterized by predominantly single-family homes – both detached and attached.

The Plan envisions the construction of a new entrance to the Senior Center as a way to encourage more use from West Gude Drive, "while restricting vehicle access through to the residential neighborhood" (page 316).

The installation of gates between the north parking lot and the circular driveway by Carnation Drive will also restrict access through the neighborhood and limit cut-through traffic that uses the Senior Center parking lot.

Extent: The proposed construction of a new entrance to the Senior Center from West Gude Drive will provide easier access from a major vehicle corridor in the city, and the installation of access

gates will reduce traffic on nearby neighborhood streets. As this proposal does not call for a change of use from a civic or public institutional use, and is focused on site improvements, including a new entrance and circulation into, out of, and around the site, this project is consistent with the Comprehensive Plan.

Recreation and Parks

The Recreation and Parks department supports the mandatory referral for the Senior Center Gude Drive entrance project. This project supports our department mission and a goal of the Senior Center to connect with seniors throughout the city. The Gude Drive entrance project will provide a direct route from neighborhoods to the north and east of the center. The Commission on Aging has reviewed and supports this project.

Zoning

Although mandatory referral projects are not subject to the City's Zoning Ordinance, staff compared elements in the proposal with the Zoning Ordinance.

As referenced previously in the report, the Project is located in the Park Zone which permits publicly owned or operated buildings. There is no change in the use of the site, and the proposed improvements are consistent with the existing use. The Applicant proposes installing a 25-foot commercial driveway consistent with the entrance/exit driveway standards in the Zoning Ordinance. The proposed 24-foot interior driveway also meets the minimum code requirements for two direction circulation. The Applicant worked with staff to provide a 24-foot drive aisle in the north parking lot adjacent to the four new parking spaces so as to meet the minimum width requirements for drive aisles serving 90-degree angled parking. The Applicant will also provide wheel stops consistent with the Zoning Ordinance.

The Applicant proposes a 5-foot sidewalk from the Carl Henn Millenium Trail to the north parking lot for safe pedestrian access.

Forestry

The natural resources inventory (NRI) for this project was approved on April 28, 2026, and the anticipated forest conservation plan (FCP) is currently in progress. The pending forest conservation plan will demonstrate compliance with all required elements of Chapter 10.5 of the City Code. Two trees located within the West Gude Drive right-of-way are proposed for removal in association with the project. Those tree removals are subject to City Forester approval and replacement.

The mandatory referral includes a landscape plan which demonstrates compliance with any relevant landscaping requirements for the project. The Applicant is proposing to plant a row of evergreen shrubs as well as assorted ornamental and evergreen trees adjacent to the neighboring residential property. In addition to the row of shrubs, the Applicant is proposing to erect a privacy fence to further screen the proposed drive from the adjacent property. The Applicant will install a row of trees adjacent to either side of the drive to provide the effect of a tree-lined entrance (outside of the existing 75' gas line easement).

Staff find the landscape plan complies with the requirements and intent of the City’s Landscape, Screening, and Lighting Manual.

DPW - Engineering

Stormwater Management

Stormwater Management (SWM) for this project will be provided in accordance with Chapter 19 of the Rockville City Code. The Applicant is required to obtain approval of a Combined SWM Concept prior to submission of the SWM Construction Plan (permit). The Applicant will be required to comply with the conditions of the Combined SWM Concept approval letter. On-site SWM will be provided through the construction of an Environmental Site Design (ESD) micro-bioretenion facility and the provision of a SWM Alternative for untreated new and replaced impervious areas, including the removal of existing permeable pavement.

Community Outreach

Public notification of the Mandatory Referral application was mailed to all property owners and residents within 500 feet of the subject property. Additionally, staff notified all Homeowners Associations and Civic Associations within the city. At the time of this report, staff have not received any communication from the public regarding the project.

The Department of Public Works hosted a public meeting on May 12, 2026 to share the progress on the design and timeline for the project and to receive community feedback. There were several comments shared by the community during the public meeting but a major topic of discussion revolved around the two access gates. The community also sought clarification on the elements proposed for relocation due to the entrance driveway. Some attendees also expressed support and excitement about the project. Planning and design for the project has been ongoing since 2023. An archive of community outreach materials, to include the presentation and meeting recording of the May 12th public meeting, may be found on the Applicant’s project website: <https://www.rockvillemd.gov/projects/rockville-senior-center-entrance-project/>.

Recommendation and Conditions

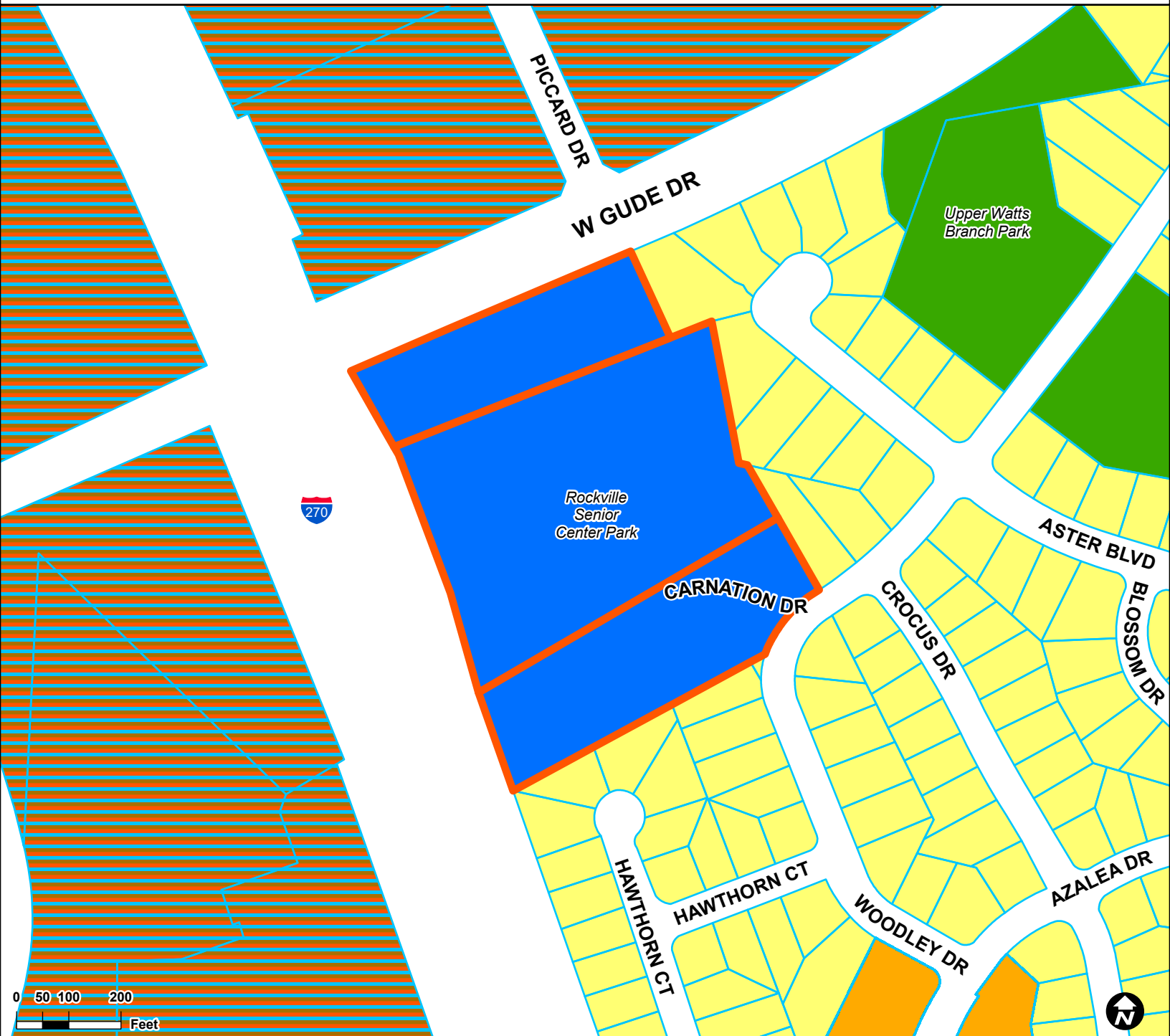
The proposed project is consistent with the Master Plan in terms of its location, character, and extent, as outlined in the above analysis and findings. Staff therefore recommend approval of Mandatory Referral Application 2026-305-MRF, based on the findings above and subject to the following conditions:

1. The Applicant must sign and return the approval letter before finalizing the signature set. The approval letter must be included in the stamped approved signature set.
2. The proposed site improvements must be constructed and implemented as generally shown on the development plans submitted as part of this application.

Attachments

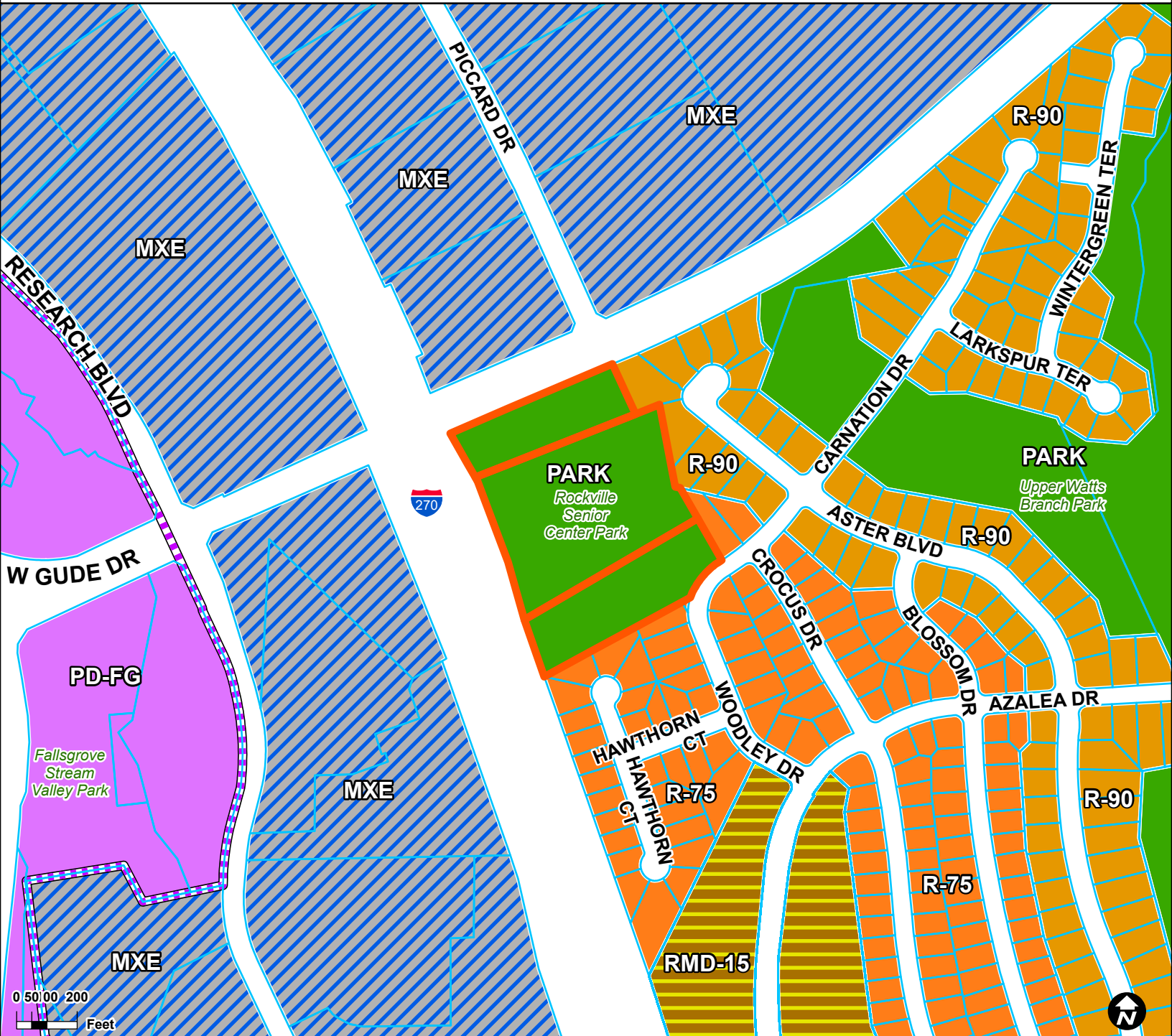
Aerial Map, Land Use Map, Zoning Map, Site Plan Documents





- Land Use Policy Designations**
- RD - Residential Detached
 - RA - Residential Attached
 - RF - Residential Flexible
 - RM - Residential Multiple Unit
 - RO - Residential and/or Office
 - O - Office
 - C - Commercial
 - CRM - Commercial and Residential Mix

- OCRM - Office, Commercial and Residential Mix
- CI - Civic and Public Institutional
- I - Private Institution
- P - Public Park
- OSP - Open Space Private
- SI - Service Industrial
- SRM - Service Industrial and Residential Mix
- Potential Future Park Asterisk



Zoning Overlays

- Town Center Performance District
- South Pike
- Rockville Pike Core
- Twinbrook Metro Performance District
- Lincoln Park Conservation District
- Planned Developments
- Residential Clusters
- Local Historic Districts
- * Special Exceptions

Zoning Districts

- R-400 - Residential Estate
- R-200 - Suburban Residential
- R-150 - Low Density Residential
- R-90 - Single Unit Detached Dwelling, Restricted Residential
- R-75 - Single Unit Detached Dwelling, Residential
- R-60 - Single Unit Detached Dwelling, Residential
- R-40 - Single Unit Semi-detached Dwelling, Residential
- RMD-Infill - Residential Medium Density, Infill
- RMD-10 - Residential Medium Density
- RMD-15 - Residential Medium Density

Zoning Districts

- RMD-25 - Residential Medium Density
- PD - Planned Development
- MXB - Mixed-Use Business
- MXC - Mixed-Use Commercial
- MXCT - Mixed-Use Corridor Transition
- MXCD - Mixed-Use Corridor District
- MXE - Mixed-Use Employment
- MXNC - Mixed-Use Neighborhood Commercial
- MXT - Mixed-Use Transition
- MXTD - Mixed-Use Transit District
- PARK - Park Zone
- IL - Light Industrial

INDEX OF SHEETS

DESCRIPTION	SHEET NO.
TITLE SHEET	1
TYPICAL SECTIONS & DETAILS	2
STANDARD DETAILS	3
GEOMETRIC LAYOUT	4
CIVIL PLAN	5-7
ROADWAY & DRAINAGE PROFILE	8
SIGNAL PLAN	9-10
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FIRE ACCESS PLAN	26

CITY OF ROCKVILLE, MD DEPARTMENT OF PUBLIC WORKS ROCKVILLE SENIOR CENTER ENTRANCE

**STANDARD SPECIFICATIONS BOOK,
BOOK OF STANDARDS AND MUTCD**

ALL WORK ON THIS PROJECT SHALL CONFORM TO THE MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION'S (SHA) SPECIFICATIONS ENTITLED: STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS DATED JULY 2025, REVISIONS THEREOF OR ADDITIONS THERETO; THE SPECIAL PROVISIONS INCLUDED IN THE INVITATION FOR BIDS BOOK; AND THE LATEST MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MD-MUTCD).

MAINTENANCE OF TRAFFIC NOTES

FOLLOW SHA WORK ZONE TEMPORARY TRAFFIC CONTROL STANDARDS AND SPECIAL PROVISIONS FOR MOT. MAINTAIN PEDESTRIAN ACCESSIBILITY AT ALL TIMES.

RIGHT OF WAY

RIGHT OF WAY LINES SHOWN ON THESE PLANS ARE FOR ASSISTANCE IN INTERPRETING THE PLANS AND ARE NOT OFFICIAL FOR FEE RIGHT OF WAY INFORMATION. SEE APPROPRIATE RIGHT OF WAY PLATS.

UTILITIES

THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION AND GUIDANCE ONLY. NO GUARANTEE IS MADE OF THE ACCURACY OF SAID LOCATIONS. THE CONTRACTOR IS RESPONSIBLE TO LOCATE, DELINEATE, AND AVOID ALL EXISTING UTILITIES.

TOPOGRAPHIC SURVEY

THIS PROJECT IS ORIENTATED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM NAD 83/91, AND NAVD 88. BASE TOPOGRAPHIC INFORMATION WITHIN THE PROJECT LIMIT WAS ESTABLISHED FROM FIELD SURVEY CONDUCTED IN MAY 2024. GIS MAPPING SHOWN OUTSIDE THE PROJECT LIMIT OF DISTURBANCE WAS ESTABLISHED FROM AS-BUILTS PROVIDED BY THE CITY OF ROCKVILLE, AND AERIAL IMAGERY.

ADA COMPLIANCE

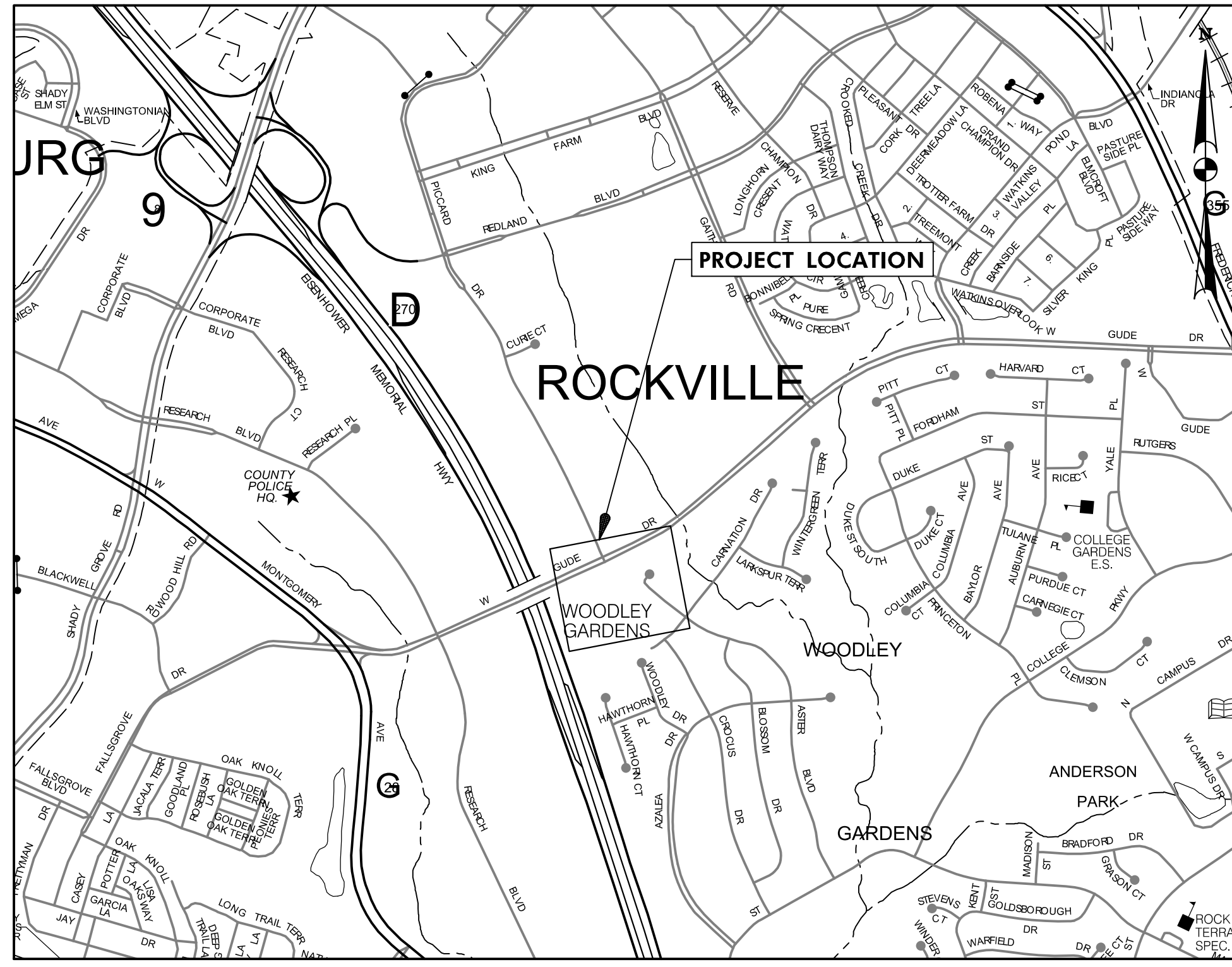
THE DESIGN OF THIS PRODUCT HAS INCORPORATED FACILITIES FOR THE ELDERLY AND HANDICAPPED IN COMPLIANCE WITH THE STATE AND FEDERAL LEGISLATION.

NOTES:

- JOB SAFETY AND TRAFFIC CONTROL SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM TO ALL LAWS AND REGULATIONS IN REGARD TO WORK UNDER OR ADJACENT TO OVERHEAD POWER LINES.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN SCALED AND COMPUTED DIMENSIONS SHOWN ON THESE PLANS, THE COMPUTED DIMENSIONS SHALL GOVERN.
- CONTRACTOR SHALL DESIGNATE A STAGING AREA ON-SITE FOR STORAGE OF EQUIPMENT, MATERIALS, AND SUPPLIES. STAGING AREA SHALL BE LOCATED OUTSIDE OF EASEMENTS, WETLANDS, BUFFERS, FOREST CONSERVATION AREAS, PUBLIC RIGHT-OF-WAY, AND ENVIRONMENTALLY SENSITIVE AREAS. THE STAGING AREA SHALL MAINTAIN APPROPRIATE PERIMETER CONTROLS PER THE APPROVED ESC PLAN, INCLUDING STABILIZED CONSTRUCTION ENTRANCES, SEDIMENT CONTROLS, AND PROTECTION OF ADJACENT PROPERTIES. NO FUELING OR MAINTENANCE OF EQUIPMENT SHALL OCCUR OUTSIDE THE DESIGNATED STAGING AREA.
- CONSTRUCTION ACCESS TO THE SITE SHALL BE VIA ASTER BOULEVARD TO CARNATION DRIVE. USE OF CROCUS DRIVE FOR CONSTRUCTION ACCESS IS NOT RECOMMENDED. CONTRACTOR SHALL DIRECT ALL CONSTRUCTION-RELATED TRAFFIC ACCORDINGLY.

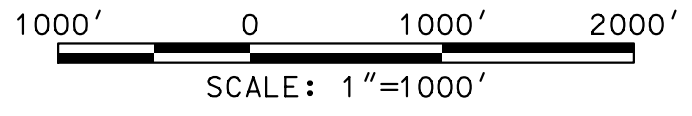
CITY OF ROCKVILLE GENERAL NOTES: (NOV 2016)

- THE APPLICANT IS THE ENTITY FOR WHICH THE CITY OF ROCKVILLE DEPARTMENT OF PUBLIC WORKS (DPW) HAS ISSUED A PERMIT. FOR DPW PROJECTS WHERE A PERMIT IS NOT APPLICABLE, THE ENTITY FOR WHICH THE CITY CONTRACT IS ISSUED SHALL BE CONSIDERED THE APPLICANT IN THESE NOTES. THE APPLICANT IS RESPONSIBLE FOR ALL CONTRACTORS, AGENTS, SUBCONTRACTORS, OR OTHER ENTITIES COMPLETING WORK UNDER THIS PERMIT AND/OR APPROVED PLAN.
- THE APPLICANT MUST ARRANGE A PRE-CONSTRUCTION MEETING PRIOR TO COMMENCING ANY WORK. PROVIDE AT LEAST 48 HOURS OF NOTICE TO THE FOLLOWING: CITY PROJECT INSPECTOR LISTED IN THE PERMIT, CITY FORESTRY INSPECTOR AT 240-314-8713, IF REQUIRED BY EITHER A DPW AND/OR FORESTRY PERMIT, OR DPW SEDIMENT CONTROL INSPECTOR AT 240-314-8879, IF REQUIRED BY PERMIT.
- THE APPLICANT MUST CONTACT MISS UTILITY AT 1-800-257-7777 OR #811 OR MISSUTILITY.NET SO THAT UTILITIES ARE MARKED PRIOR TO HOLDING ANY PRE-CONSTRUCTION MEETING.
- INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES BY DIGGING TEST PITS AT THE UTILITY CROSSING WELL IN ADVANCE OF TRENCHING. IF CLEARANCE IS LESS THAN SHOWN ON THIS PLAN, CONTACT THE PROFESSIONAL ENGINEER WHO STAMPED THE DESIGN PLANS BEFORE PROCEEDING WITH CONSTRUCTION.
- MAINTAIN A MINIMUM ONE-FOOT VERTICAL CLEARANCE BETWEEN ALL CITY UTILITIES CROSSING ANY OTHER UTILITY, UNLESS OTHERWISE NOTED. MAINTAIN A FIVE-FOOT HORIZONTAL CLEARANCE WITH BETWEEN A CITY UTILITY WITH ANY OTHER UTILITY OR STRUCTURE. THE ONLY EXCEPTION IS THAT THERE SHALL BE A TEN-FOOT HORIZONTAL CLEARANCE BETWEEN CITY WATER AND SEWER MAINS.
- AT THE END OF EACH DAY, ALL TRENCHES SHALL BE BACKFILLED, ALL EQUIPMENT SECURED AND THE AREA LEFT IN A SAFE CONDITION. STEEL PLATES ARE ALLOWED TO REMAIN NO LONGER THAN SEVEN DAYS. PLATES ARE TO BE NOTCHED (RECESSED) AND PINNED TO THE ROADWAY. PLATES MUST BE LARGE ENOUGH TO ALLOW A MINIMUM OF ONE-FOOT BEARING ON ALL FOUR SIDES OF THE PAVEMENT SURROUNDING THE EXCAVATION. THE STEEL PLATE REQUIREMENTS ONLY APPLY TO PUBLIC STREETS.
- THE PUBLIC ROAD UTILITY PATCH SHALL BE IN ACCORDANCE WITH CITY STANDARD DETAIL #60, CONTAINED HEREIN, OR AS SHOWN ON THE PLANS. ALL TRENCHES IN PUBLIC STREETS SHALL BE FILLED WITH COMPACTED GRADED AGGREGATE BASE (GAB) FROM BELOW THE PAVEMENT TO THE TOP OF THE PIPE EMBEDMENT ZONE OR TO A DEPTH OF FIVE-FEET, WHICHEVER IS LESS.
- DPW NORMAL WORKING HOURS ARE MONDAY THROUGH FRIDAY, EXCEPT HOLIDAYS, FROM 7 A.M. TO 5 P.M. THE CITY OBSERVES THE FOLLOWING HOLIDAYS: NEW YEAR'S DAY, MARTIN LUTHER KING'S BIRTHDAY, PRESIDENT'S DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY, VETERANS' DAY, THANKSGIVING DAY, THANKSGIVING FRIDAY AND CHRISTMAS DAY, AND ALL DAYS OF GENERAL AND CONGRESSIONAL ELECTIONS THROUGHOUT THE STATE. THE CONTRACTOR WILL NOT BE PERMITTED TO CLOSE LANES OR DO ANY WORK THAT REQUIRES THE SERVICES OF THE CITY FORCES, OUTSIDE OF THE NORMAL WORKING HOURS, UNLESS OR AUTHORIZED BY DPW IN WRITING. THE CONTRACTOR, WITH WRITTEN PERMISSION OF DPW MAY BE PERMITTED TO WORK OUTSIDE OF THE NORMAL WORK HOURS FOR CLEAN-UP ACTIVITIES OR OTHER SUCH ITEMS THAT DO NOT ADVERSELY IMPACT TRAFFIC, RESIDENTS OR CITY SERVICE.
- TRAFFIC MUST BE MAINTAINED ON ALL ROADWAYS WITHIN THE CONSTRUCTION AREA AS DIRECTED BY DPW. NO LANE CLOSURE SHALL BE PERMITTED BETWEEN 7:00-9:00 A.M. OR 3:30-6:00 P.M. MONDAY THROUGH FRIDAY. AN EXCEPTION IS THAT LANE CLOSURES ARE PERMITTED ON SECONDARY RESIDENTIAL STREETS AT ANY TIME DURING NORMAL WORKING HOURS. DEPLOYMENT AND DESIGN OF ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). IF REQUIRED, TRAFFIC CONTROL PLANS SHALL BE REVIEWED AND APPROVED BY THE CHIEF OF THE TRAFFIC AND TRANSPORTATION DIVISION. DPW MAY SUSPEND LANE CLOSURE OR OTHER TRAFFIC CONTROLS AT ANY TIME DURING, OR IN ADVANCE OF, INCLEMENT WEATHER EVENTS.
- SHEETING AND SHORING IS THE TOTAL RESPONSIBILITY OF THE APPLICANT. A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MARYLAND SHALL SEAL THESE DRAWINGS. PROVIDE THREE COPIES TO DPW FOR INFORMATIONAL PURPOSES ONLY.
- IN ADDITION TO ALL CITY PERMITS, THE APPLICANT IS RESPONSIBLE TO ENSURE THAT ALL NECESSARY FEDERAL, STATE AND/OR MONTGOMERY COUNTY APPROVALS AND/OR PERMITS HAVE BEEN OBTAINED IN ASSOCIATION WITH THIS APPROVED PLAN.
- SHOP DRAWINGS MUST BE PREPARED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MARYLAND PRIOR TO FABRICATION. THE PROFESSIONAL ENGINEER WHO SEALED THE DESIGN PLANS (BUT NOT THE SHOP DRAWINGS) MUST APPROVE THE SHOP DRAWINGS FOR CONFORMANCE TO CONSTRUCTION. ALL PIPES AND STRUCTURES IN PAVED AREAS SHALL BE DESIGNED FOR HS-20 VEHICLES LOADING.
- UPON COMPLETION OF CONSTRUCTION, THE APPLICANT SHALL PROVIDE THREE SETS OF RED LINED AS-BUILT PRINTS (24"x36") FOR REVIEW AND APPROVAL BY THE CITY. THE DRAWINGS MUST CONTAIN THE ORIGINAL APPROVAL SIGNATURES AND PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE (A SCANNED IMAGE OF THE ORIGINAL MYLAR IS ACCEPTABLE). THE AS-BUILT SHALL BE SEALED BY A PROFESSIONAL SURVEYOR, AS APPROPRIATE AND MUST BE LICENSED BY THE STATE OF MARYLAND. THE SEAL SHALL NOTE THAT IT IS ONLY FOR THE AS-BUILT AND SHALL INCLUDE AN AS-BUILT CERTIFICATION TO THE CITY. UPON RECEIPT OF WRITTEN APPROVAL, THE APPLICANT SHALL PROVIDE APPROVED AS-BUILT MYLAR DRAWING ALONG WITH THE ORIGINAL MYLARS (WITH ALL ORIGINAL SIGNATURES) TO CITY PRIOR TO THE RELEASE OF THE PERMIT.
- THE APPLICANT MUST COMPLY WITH THE MONTGOMERY COUNTY NOISE CONTROL ORDINANCE. PLEASE REFER TO THE MONTGOMERY COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AT 240-777-7770, ASKDEP@MONTGOMERYCOUNTYMD.GOV, OR WWW.MONTGOMERYCOUNTYMD.GOV/DEP.



90 %
DESIGN

VICINITY MAP
SCALE: 1"=1000'

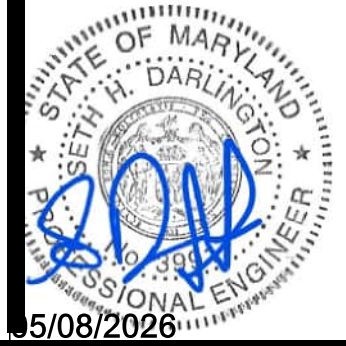


CONVENTIONAL SIGNS

PROPOSED MEDIAN BARRIER		PROPOSED PIPE / CULVERT	
ELECTRICAL HAND BOX - SIGNALS		EXISTING PIPE / CULVERT	
FLOW LINE		EXISTING DRAIN INLET	
STATE, COUNTY OR CITY LINES		UTILITY POLE	
PROPOSED TRAFFIC BARRIER		WETLAND	
EXISTING TRAFFIC BARRIER		WETLAND BUFFER	
PROPOSED FENCE LINE		WATERS OF THE U.S.	
EXISTING FENCE LINE		HEDGE / TREE LINE	
RIGHT OF WAY LINE		BUSH / TREE	
EXISTING ROADWAY		CONIFEROUS TREE	
RAILROAD		GROUND ELEVATION	
BASE LINE OR SURVEY LINE		GRADE ELEVATION	
FIRE HYDRANT			
HISTORIC BOUNDARY			
WATERS OF THE U.S.			

PROFESSIONAL CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 39917, Expiration Date: 1/18/2027.

Seth Darlington
NAME



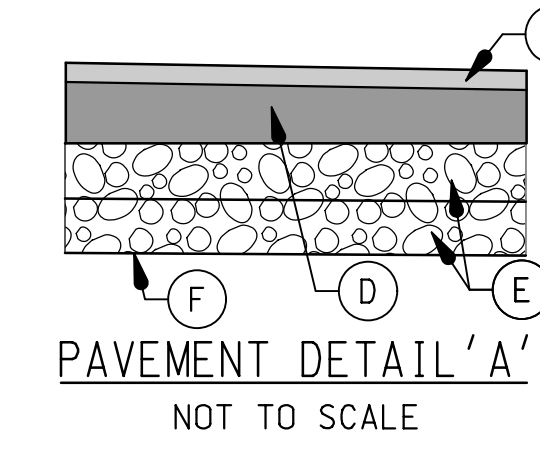
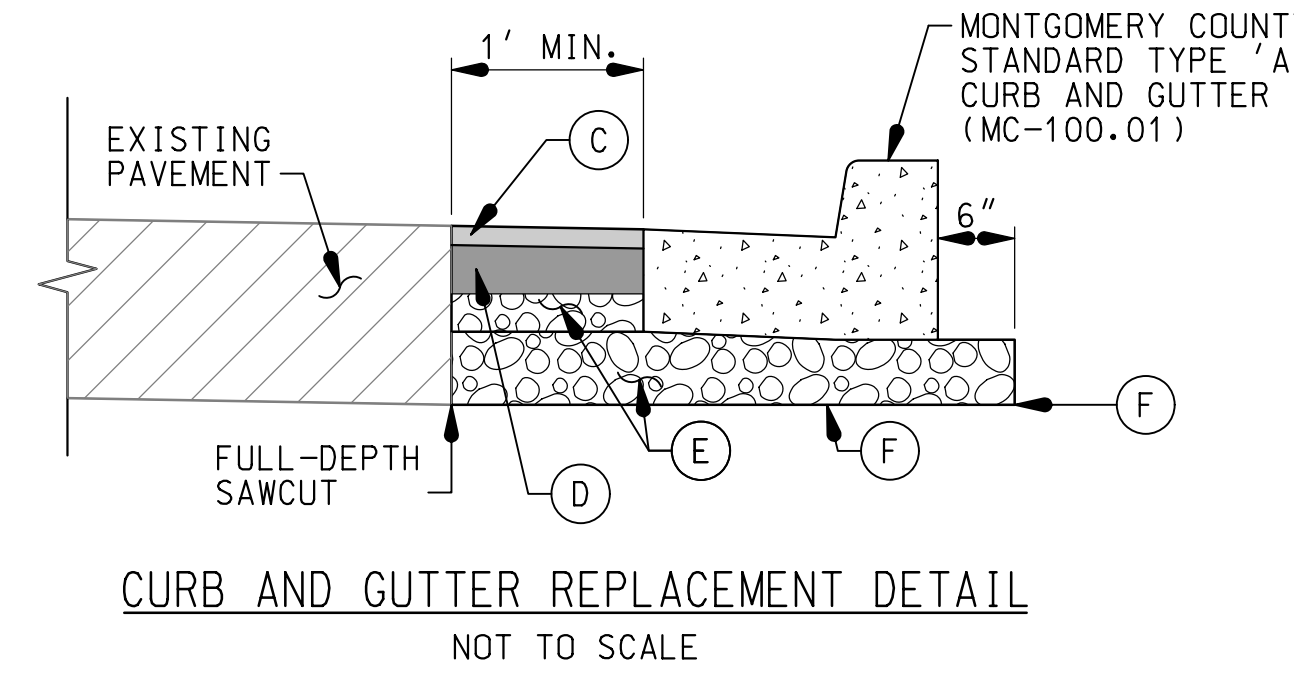
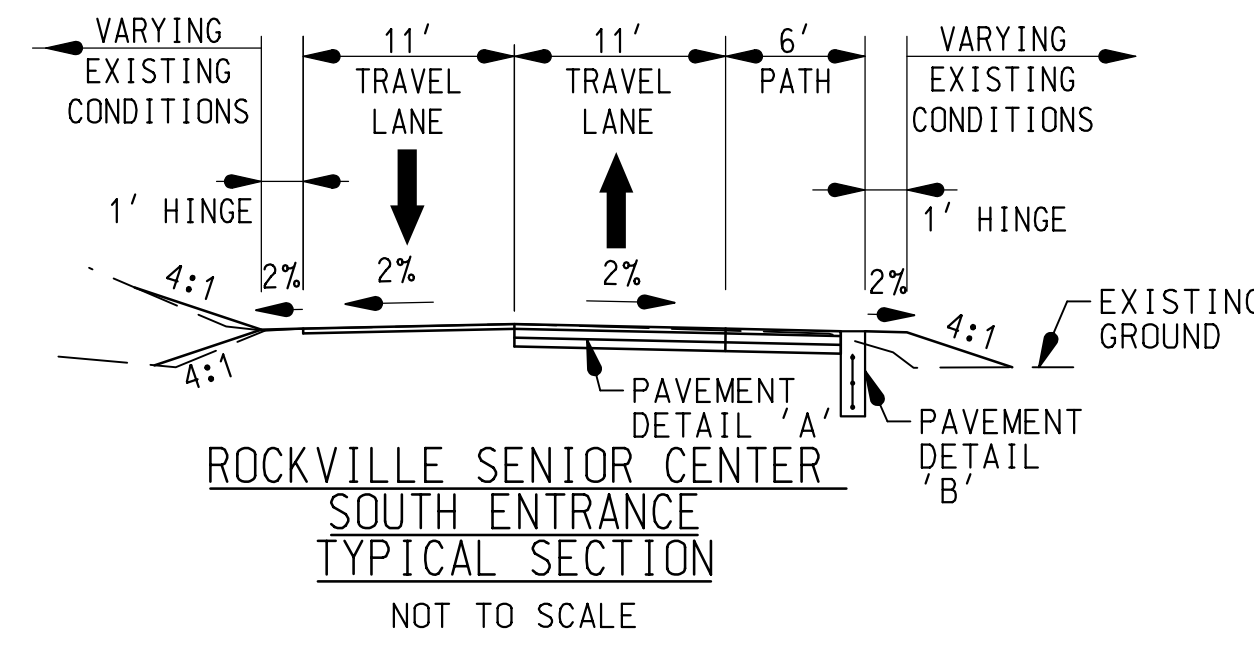
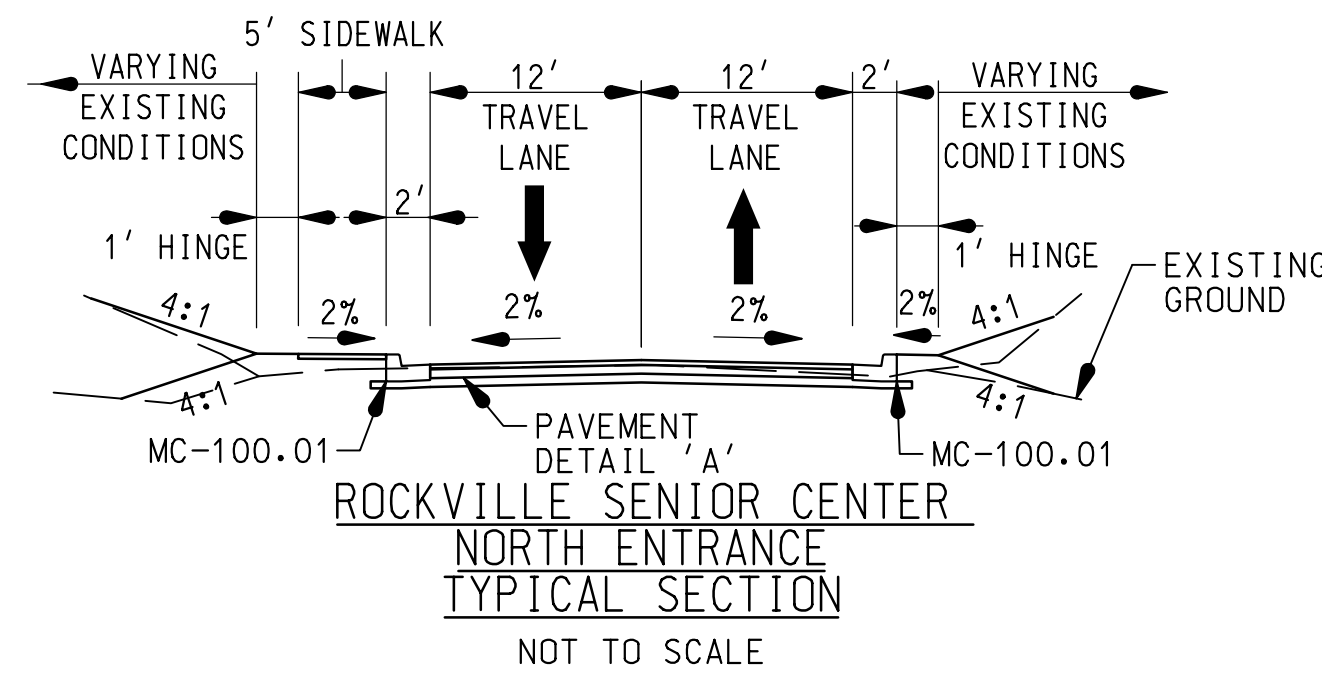
UTILITY CONTACTS	
AT&T TRANS	800-252-1133
CITY OF ROCKVILLE / PINPOINT UNDERGROUND	301-868-6803
CITY OF ROCKVILLE	240-314-8577
FIBERLIGHT / SUNBELT TELECOM	727-596-1500
LEVEL3 NOW CENTURY LINK	877-366-8344
MCI	800-289-3427
MONTGOMERY COUNTY GOVERNMENT	786-345-0991
PEPCO	301-210-0355
VERIZON	301-210-0355
WASHINGTON GAS	301-210-0355
WILLIAMS GAS	443-826-1284

- NOTES:**
- CONTRACTOR TO COORDINATE HANDBOX ADJUSTMENTS WITH UTILITY OWNER. LEVELING HANDBOXES IS INCIDENTAL TO SIDEWALK WORK.

WALLACE MONTGOMERY
EXPERIENCED PLANNERS - SURVEYORS - CONSTRUCTION MANAGERS
10100 York Road, Suite 200
Hunt Valley, Maryland 21036
410-684-6500 Fax: 410-682-0525
www.wallacemontgomery.com

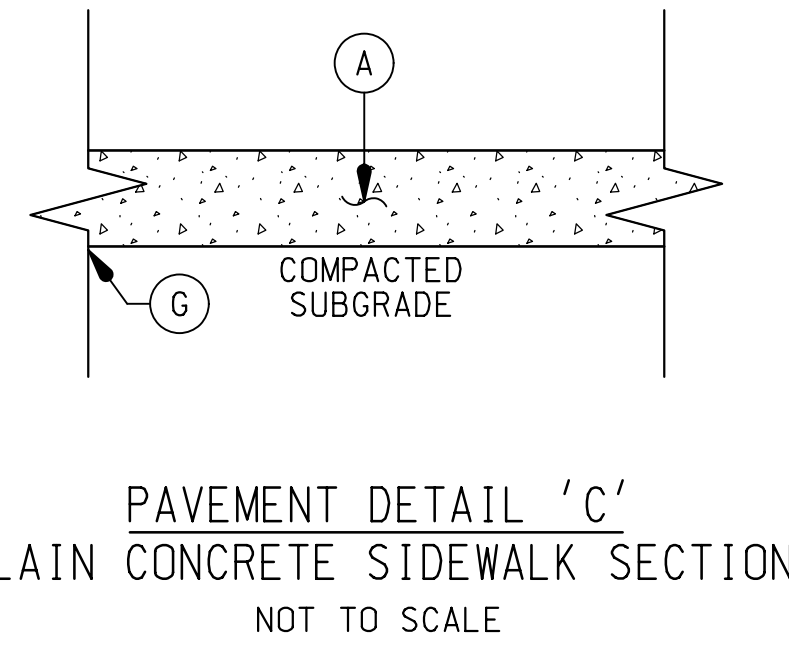
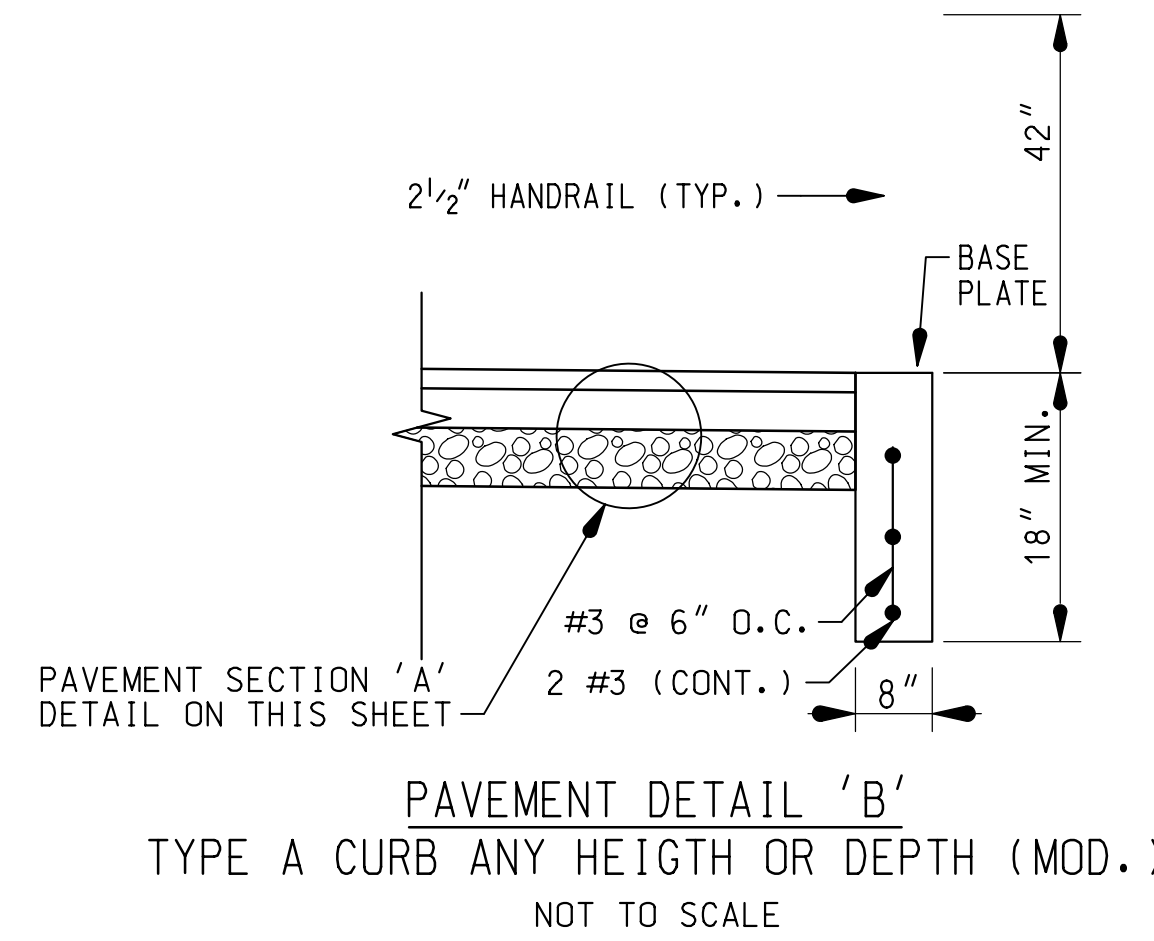
BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

	DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND	DESIGNED: E. J. M.	DESIGN PLAN APPROVAL	AS BUILT PLAN APPROVAL	TITLE SHEET	ROCKVILLE SENIOR CENTER ENTRANCE	DATE SUBMITTED: MAY 2026	SCALE N.T.S.	SHEET NO. 1 OF 26	FILE #
		DRAFTED: E. J. M.	APPROVAL DATE	APPROVAL DATE			APPROVAL DATE			
		CHECKED: S. H. D.	DIRECTOR OF PUBLIC WORKS	CHIEF, CONSTRUCTION MANAGEMENT	Election District No. 10 City of Rockville, Maryland		APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL			

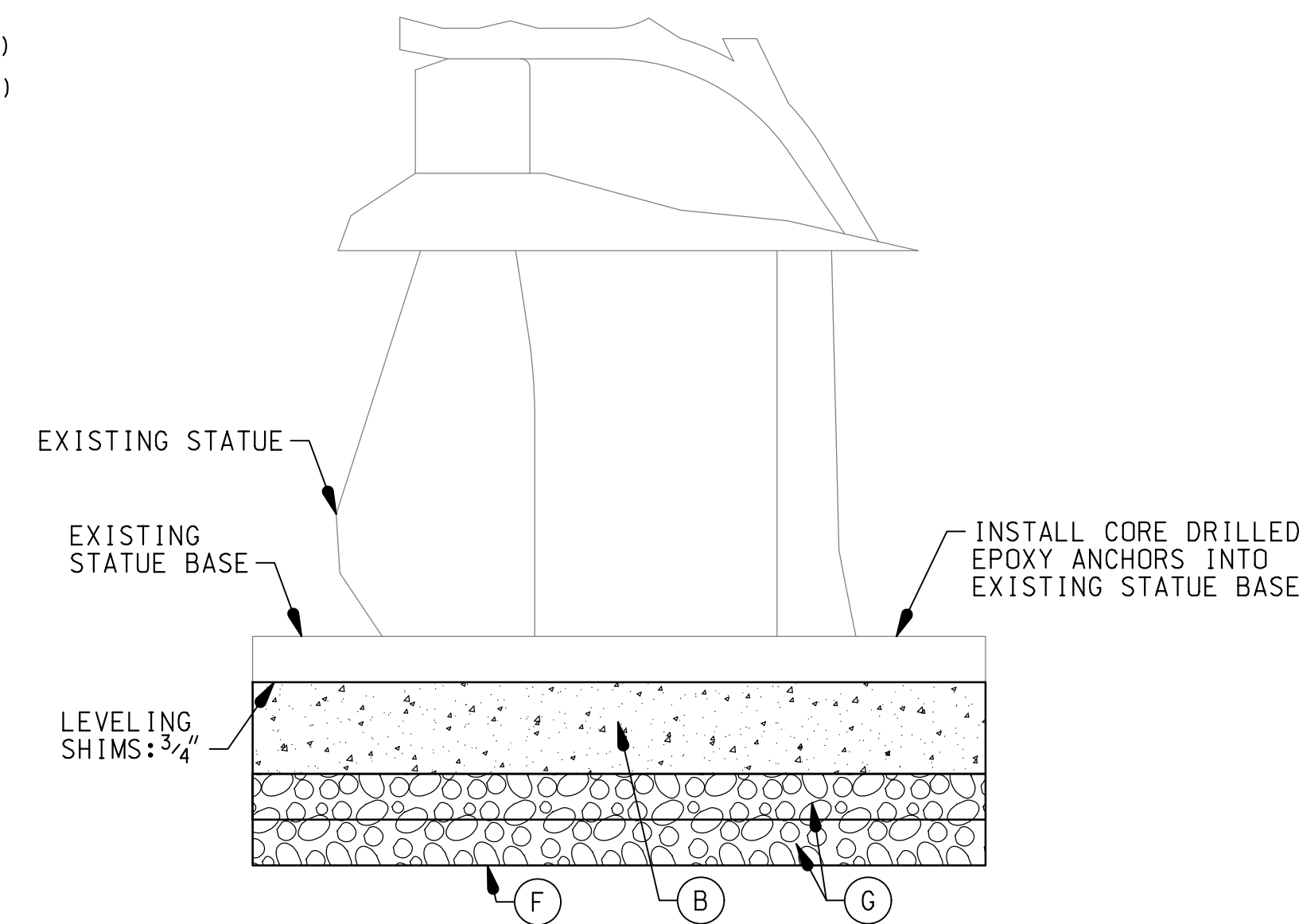
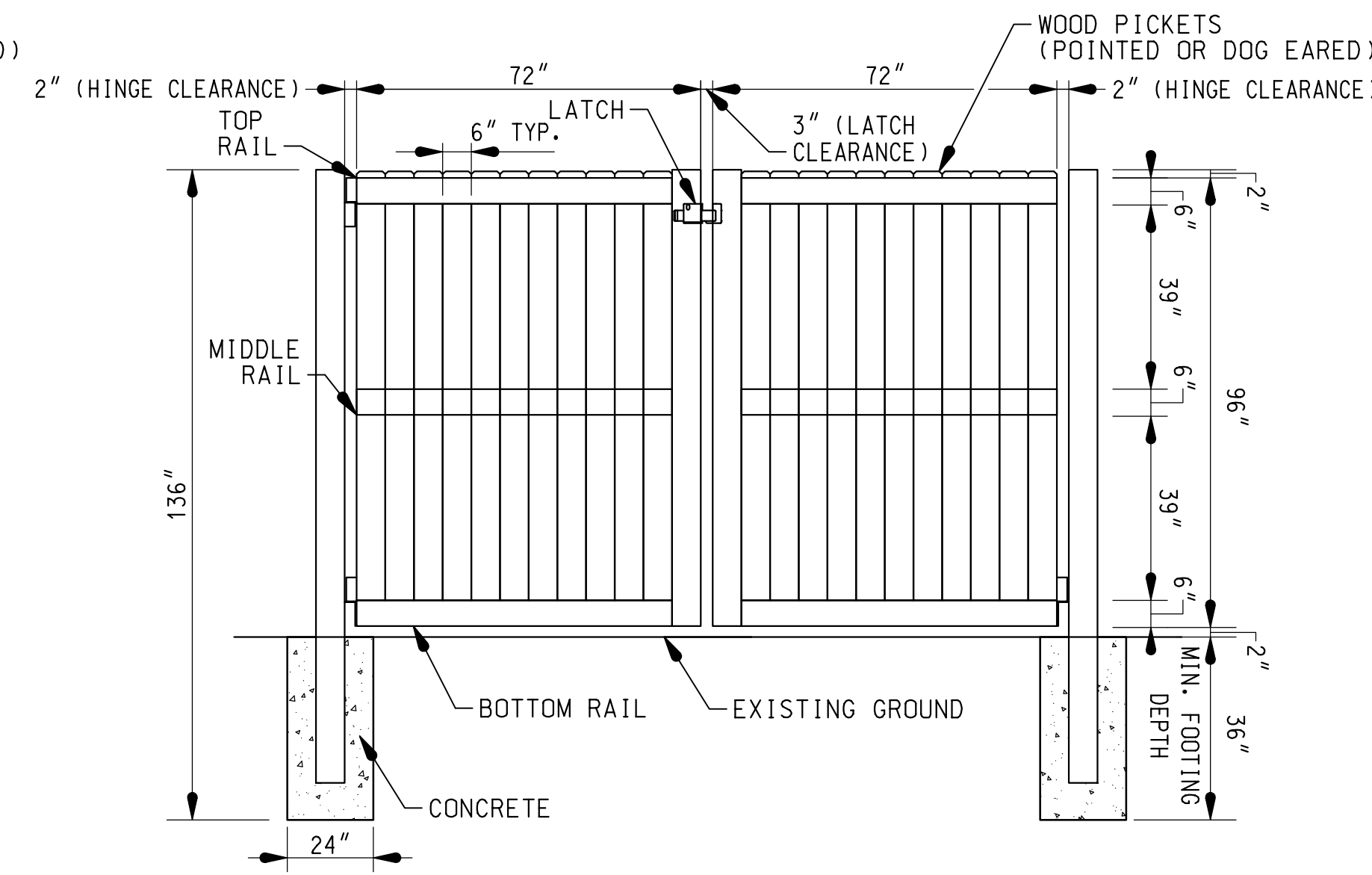
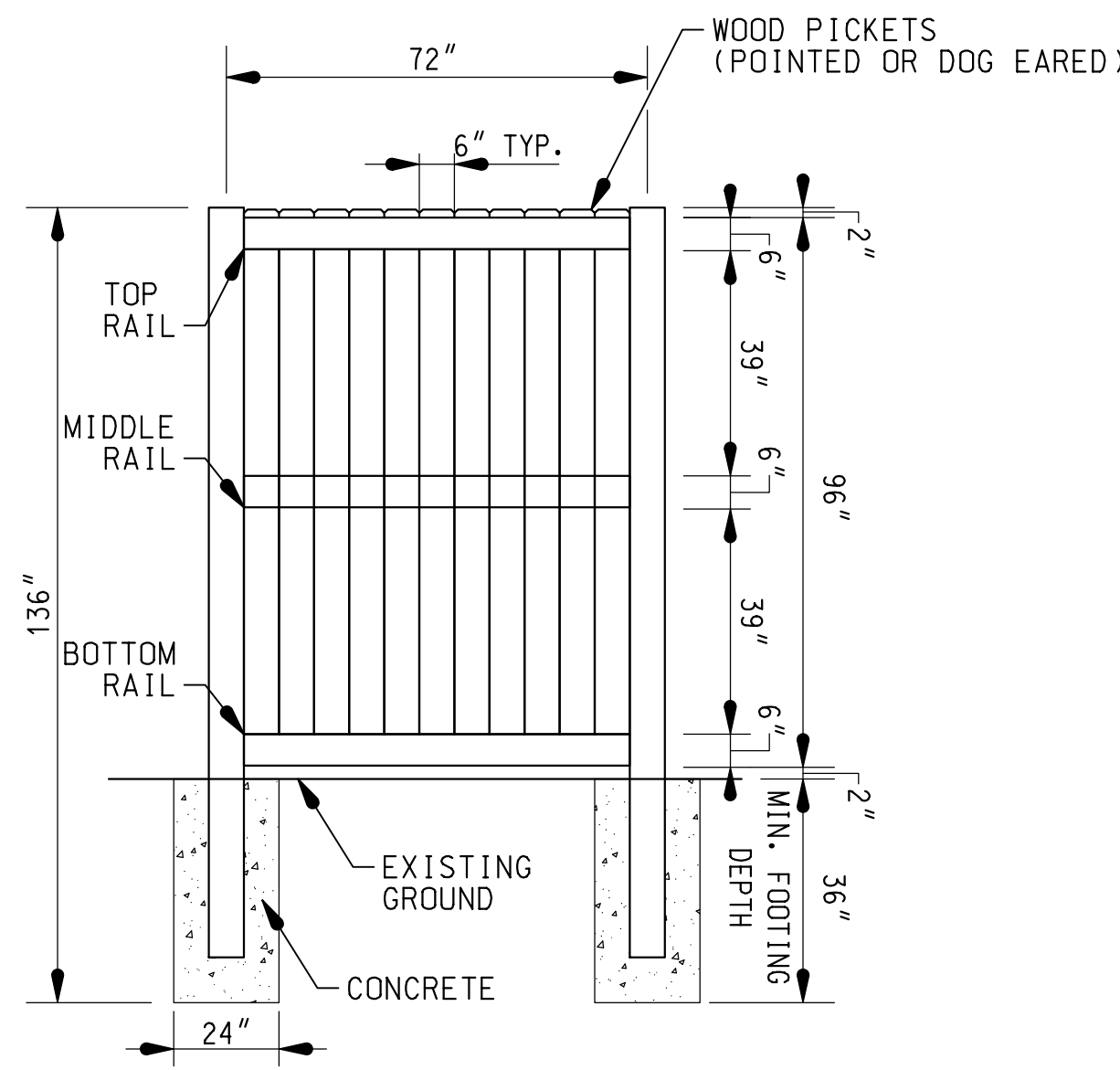


- DETAIL LEGEND**
- (A) 4" CONCRETE SIDEWALK
 - (B) 9" PLAIN CONCRETE
 - (C) 2" HMA SUPERPAVE, 12.5MM FOR SURFACE, PG 64-22, LEVEL 2
 - (D) 3" HMA SUPERPAVE, 19.0MM FOR BASE, PG 64-22, LEVEL 2
 - (E) 3" GRADED AGGREGATE BASE
 - (F) LIMITS OF EXCAVATION
 - (G) 4" 57 STONE

- CURB AND GUTTER REPLACEMENT NOTES:**
- 2" HMA AND VARIABLE DEPTH CONCRETE FOR SLOT BACKFILL SHALL BE INCIDENTAL TO CURB AND GUTTER REPLACEMENT



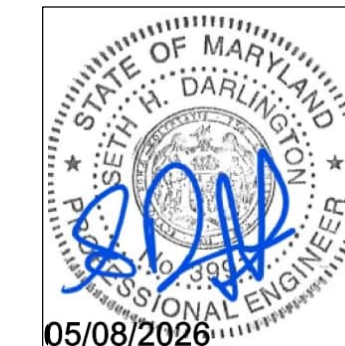
- NOTE:**
- PLACE PREFORMED EXPANSION JOINT MATERIAL BETWEEN PROPOSED PLAIN CONCRETE SIDEWALK AND PERMEABLE CONCRETE SIDEWALK.
 - SEAL JOINT WITH SELF-LEVELING POLYURETHANE JOINT SEALANT.



- PRIVACY FENCE NOTES:**
- 2" HMA AND VARIABLE DEPTH CONCRETE FOR SLOT BACKFILL SHALL BE INCIDENTAL TO CURB AND GUTTER REPLACEMENT
 - ALL FENCE POSTS MUST BE HAND DUG WITHIN THE ROW AND MUST BE KEPT 5' FROM THE EDGE OF WILLIAMS GAS PIPELINE.
 - ENSURE THE GATE HAS A LOCKING MECHANISM IN COORDINATION WITH WILLIAMS GAS.

PROFESSIONAL CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 39917, Expiration Date: 1/18/2027.

Seth Darlington
NAME

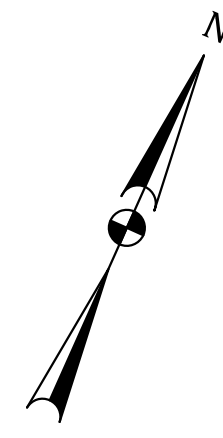


NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

WALLACE MONTGOMERY
ENGINEERS PLANNERS SURVEYORS CONSTRUCTION MANAGERS
10100 Rock Road, Suite 200
Frost Valley, Maryland 21050
410.684.5500 Fax: 410.687.0925
www.wallacemontgomery.com

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	DESIGNED: E. J. M. DRAFTED: E. J. M. CHECKED: S. H. D.	DESIGN PLAN APPROVAL _____ PWK# _____ SCP# _____ SMP# _____ REVIEWED BY _____ DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____	AS BUILT PLAN APPROVAL _____ CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____	TYPICAL SECTIONS AND DETAILS	ROCKVILLE SENIOR CENTER ENTRANCE Election District No. 10 City of Rockville, Maryland	DATE SUBMITTED: MAY 2026 SCALE: N.T.S. SHEET NO. 2 OF 26 FILE # _____
	APPROVAL OF REVISIONS AFTER INITIAL PLAN APPROVAL					



(C-03)
CURVE DATA
 DELTA = 48°40'05.1" RT.
 DC = 104°10'26.9"
 R = 55.00'
 L = 46.72'
 T = 24.87'
 CH = 45.33'
 E = 5.36'

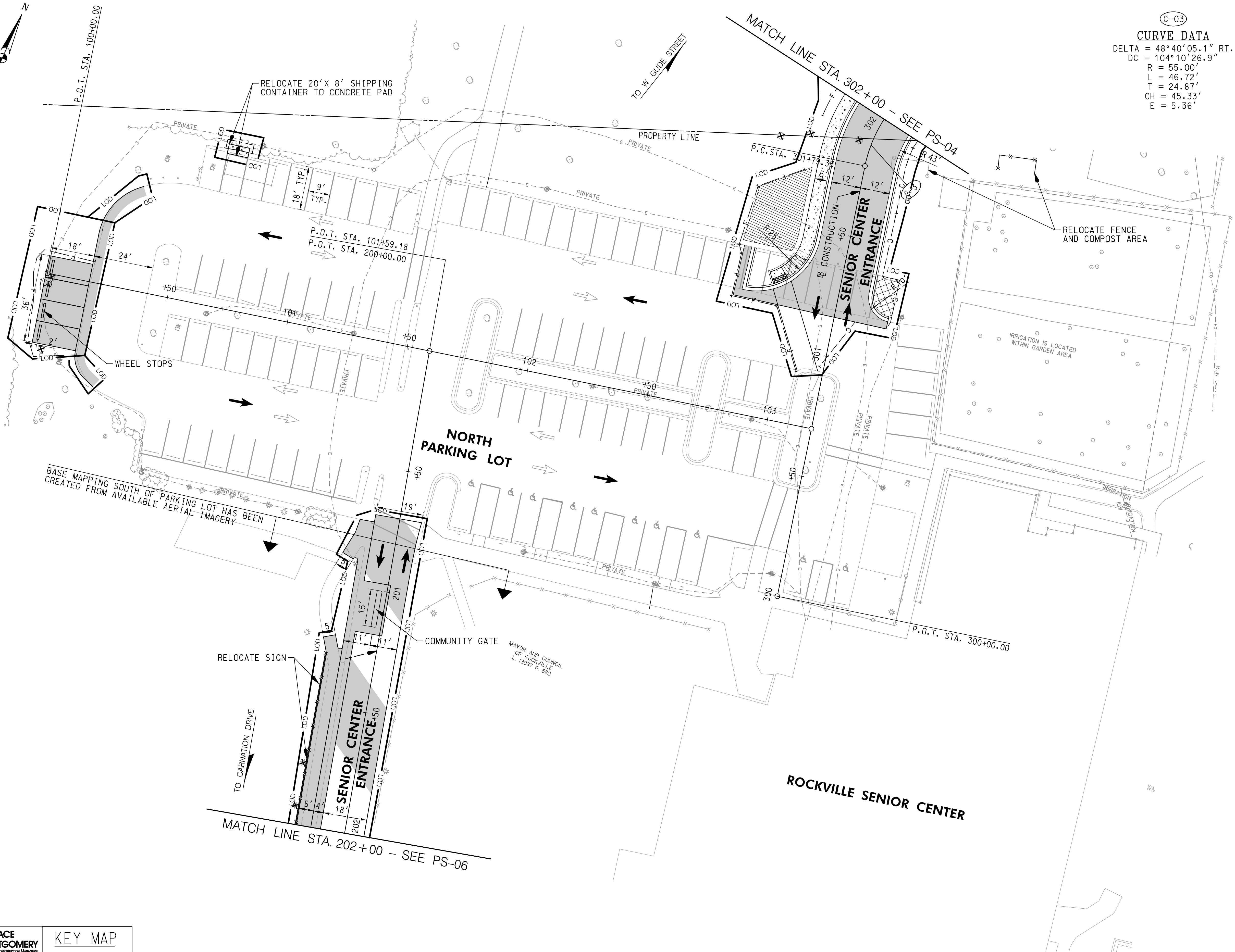
CURB AND GUTTER	
194 L.F.	FURNISH AND INSTALL TYPE 'A' CURB & GUTTER (MC-100.01)
72 L.F.	FURNISH AND INSTALL TYPE 'A' CURB ANY HEIGHT - BACKER CURB
SIDEWALK	
418 S.F.	FURNISH AND INSTALL 4" CONCRETE SIDEWALK
10 S.F.	FURNISH AND INSTALL DETECTABLE WARNING SURFACE
FULL DEPTH PAVEMENT RECONSTRUCTION	
516 S.Y.	FURNISH AND INSTALL FULL DEPTH PAVEMENT RECONSTRUCTION
STANDARD MILLING ASPHALT PAVEMENT	
236 S.Y.	FURNISH AND INSTALL STANDARD MILLING ASPHALT PAVEMENT
SITE	
6 EA.	TREE REMOVAL
2 EA.	FURNISH AND INSTALL COMMUNITY GATE - TYPE TO BE DETERMINED
27 L.F.	REMOVE EXISTING 8" CHAIN LINK FENCE
6 EA.	PARKING SPACE REMOVAL
4 EA.	PARKING SPACE ADDITION
2 EA.	RELOCATE EXISTING SIGN AND POST
71 L.F.	FURNISH AND INSTALL METAL HANDRAIL

NOTES:

1. ALL DISTURBED AREA, AS SHOWN ON PLANS, SHALL BE STABILIZED BY THE END OF EACH WORK DAY USING NO. 57 STONE.
2. SIDEWALK WIDTH SHALL BE 5' MINIMUM, UNLESS OTHERWISE NOTED.
3. SLOPE FOR LANDING AREA SHALL BE 48:1 MAXIMUM IN ALL DIRECTIONS.
4. CONTRACTOR TO COORDINATE HANDBOX ADJUSTMENTS WITH UTILITY OWNER, SEE OWNER INFORMATION ON TITLE SHEET.
5. CONTRACTOR TO PROVIDE A 5 FOOT LANDSCAPE BUFFER ADJACENT TO THE ENTRANCE ROADWAY.

LEGEND

	4" CONCRETE SIDEWALK
	PROPOSED FULL DEPTH RECONSTRUCTION
	7-9" CONCRETE DRIVEWAY APRON
	PERMEABLE PAVEMENT
	PROPOSED DETECTABLE WARNING SURFACE
	REMOVAL OF PAVEMENT
	CHAIN LINK FENCE/ METAL HANDRAIL
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	REMOVE TREE
	DITCH FLOW LINE
	LOD - LIMIT OF DISTURBANCE
	C - PROPOSED TOP OF CUT
	F - PROPOSED TOE OF FILL
	COMMUNITY GATE



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 ENGINEERS PLANNERS SURVEYORS CONSTRUCTION MANAGERS
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 Hunt Valley, Maryland 21086
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BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

KEY MAP

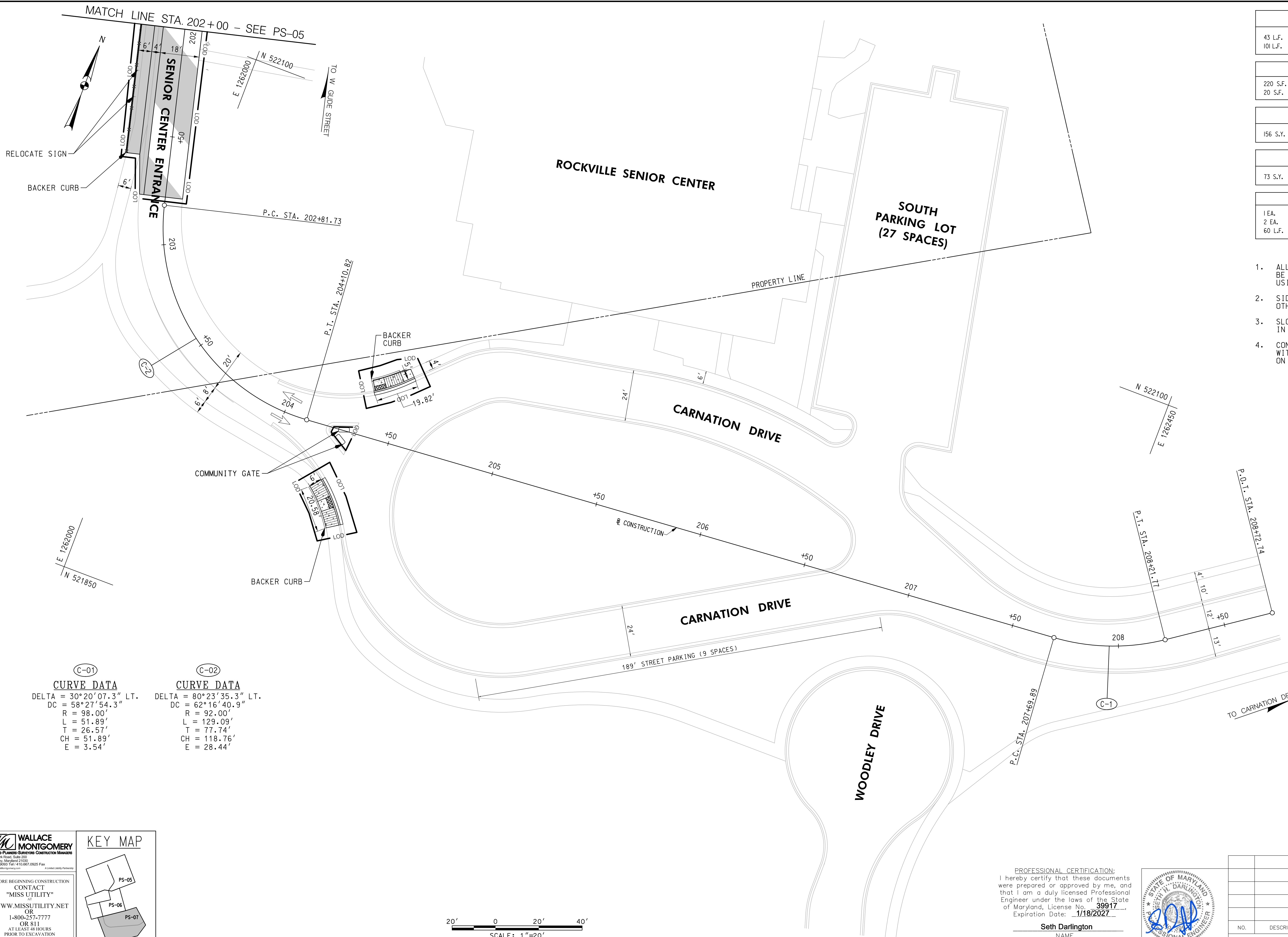
PROFESSIONAL CERTIFICATION:
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 39917, Expiration Date: 1/18/2027.

Seth Darlington
 NAME



NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE
APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL					

<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	DESIGNED: E. J. M. DRAFTED: E. J. M. CHECKED: S. H. D.	DESIGN PLAN APPROVAL P.W.# _____ SCP# _____ SMP# _____ REVIEWED BY _____ APPROVAL DATE _____	AS BUILT PLAN APPROVAL CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____	CIVIL PLAN	ROCKVILLE SENIOR CENTER ENTRANCE Election District No. 10 City of Rockville, Maryland	DATE SUBMITTED: MAY 2026 SCALE: 1"=20' SHEET NO. 6 OF 26 FILE # _____
	<p>RISE TOGETHER</p>	DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____



CURB AND GUTTER	
43 L.F.	FURNISH AND INSTALL TYPE 'A' CURB & GUTTER (MC-100,01)
101 L.F.	FURNISH AND INSTALL TYPE 'A' CURB ANY HEIGHT - BACKER CURB
SIDEWALK	
220 S.F.	FURNISH AND INSTALL 4" CONCRETE SIDEWALK
20 S.F.	FURNISH AND INSTALL DETECTABLE WARNING SURFACE
FULL DEPTH PAVEMENT RECONSTRUCTION	
156 S.Y.	FURNISH AND INSTALL FULL DEPTH PAVEMENT RECONSTRUCTION
STANDARD MILLING ASPHALT PAVEMENT	
73 S.Y.	FURNISH AND INSTALL STANDARD MILLING ASPHALT PAVEMENT
SITE	
1 EA.	FURNISH AND INSTALL COMMUNITY GATE
2 EA.	RELOCATE EXISTING SIGN AND POST
60 L.F.	FURNISH AND INSTALL METAL HANDRAIL

1. ALL DISTURBED AREA, AS SHOWN ON PLANS, SHALL BE STABILIZED BY THE END OF EACH WORK DAY USING NO. 57 STONE.
2. SIDEWALK WIDTH SHALL BE 5' MINIMUM, UNLESS OTHERWISE NOTED.
3. SLOPE FOR LANDING AREA SHALL BE 48:1 MAXIMUM IN ALL DIRECTIONS.
4. CONTRACTOR TO COORDINATE HANDBOX ADJUSTMENTS WITH UTILITY OWNER, SEE OWNER INFORMATION ON TITLE SHEET.

C-01	C-02
CURVE DATA	CURVE DATA
DELTA = 30°20'07.3" LT.	DELTA = 80°23'35.3" LT.
DC = 58°27'54.3"	DC = 62°16'40.9"
R = 98.00'	R = 92.00'
L = 51.89'	L = 129.09'
T = 26.57'	T = 77.74'
CH = 51.89'	CH = 118.76'
E = 3.54'	E = 28.44'

LEGEND	
	4" CONCRETE SIDEWALK
	PROPOSED FULL DEPTH RECONSTRUCTION
	7-9" CONCRETE DRIVEWAY APRON
	PERMEABLE PAVEMENT
	PROPOSED DETECTABLE WARNING SURFACE
	REMOVAL OF PAVEMENT
	CHAIN LINK FENCE/ METAL HANDRAIL
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	REMOVE TREE
	DITCH FLOW LINE
	LOD - LIMIT OF DISTURBANCE
	C-1 PROPOSED TOP OF CUT
	F PROPOSED TOE OF FILL
	COMMUNITY GATE

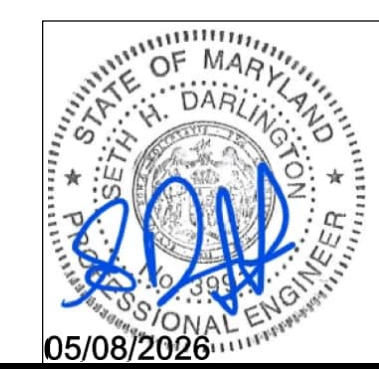
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KEY MAP

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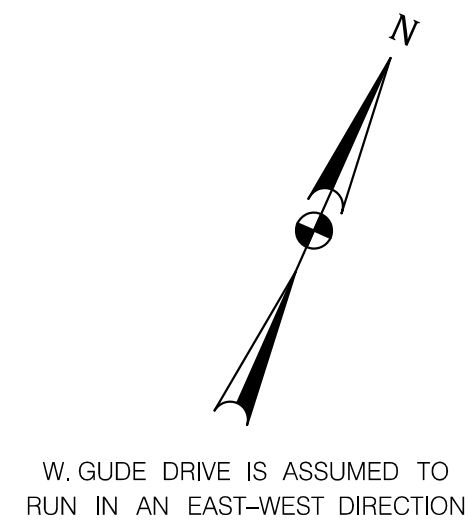
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Seth Darlington
 NAME



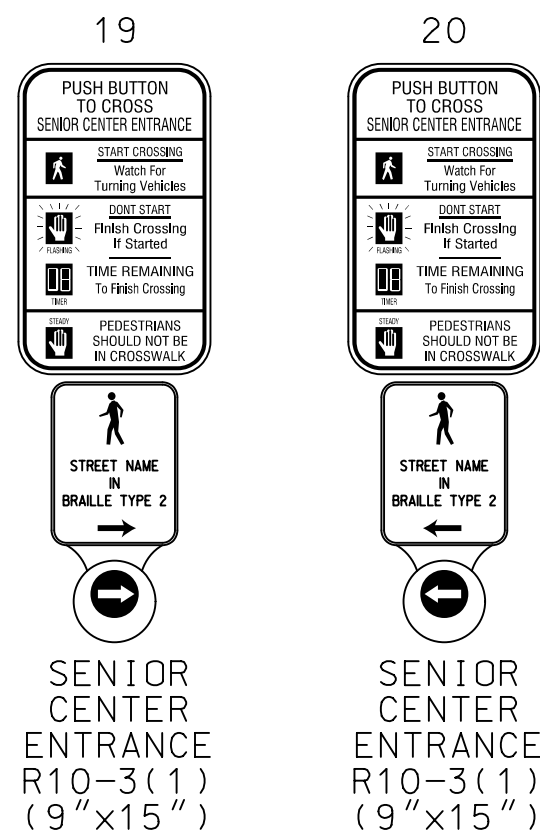
NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE
APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL					
DATE SUBMITTED: MAY 2026			SCALE: 1"=20'	SHEET NO. 7	FILE #
				OF 26	

<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	DESIGNED: E. J. M. DRAFTED: E. J. M. CHECKED: S. H. D.	DESIGN PLAN APPROVAL _____ DIRECTOR OF PUBLIC WORKS	AS BUILT PLAN APPROVAL _____ CHIEF, CONSTRUCTION MANAGEMENT	CIVIL PLAN	ROCKVILLE SENIOR CENTER ENTRANCE Election District No. 10 City of Rockville, Maryland	DATE SUBMITTED: MAY 2026	SCALE: 1"=20'	SHEET NO. 7 OF 26	FILE #
	PWK# _____ SCP# _____ SMP# _____ REVIEWED BY _____	APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____	APPROVAL DATE _____



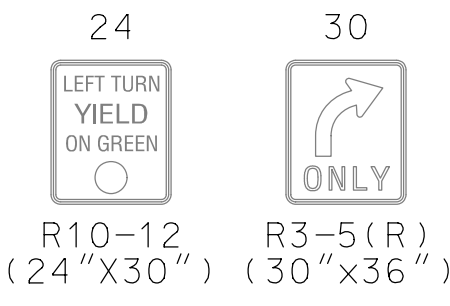
W. GUDE DRIVE IS ASSUMED TO RUN IN AN EAST-WEST DIRECTION

PROPOSED SIGNS



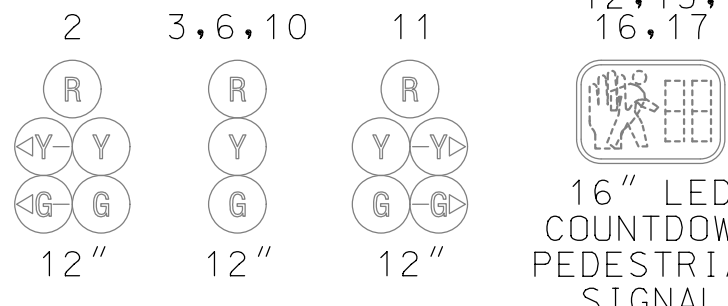
R10-6c (24"x30")

EXISTING SIGNS TO REMAIN



R10-12 (24"x30") R3-5(R) (30"x36")

EXISTING SIGNALS TO REMAIN

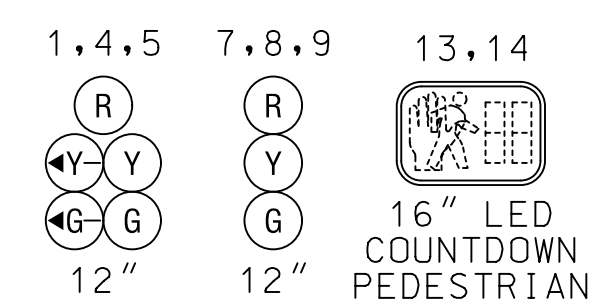


EXISTING SIGNALS TO BE REMOVED

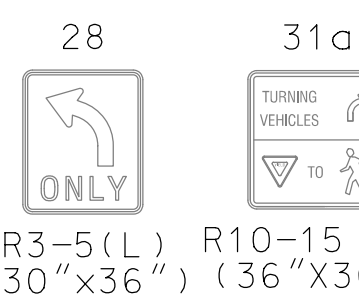


12"

PROPOSED LED SIGNALS

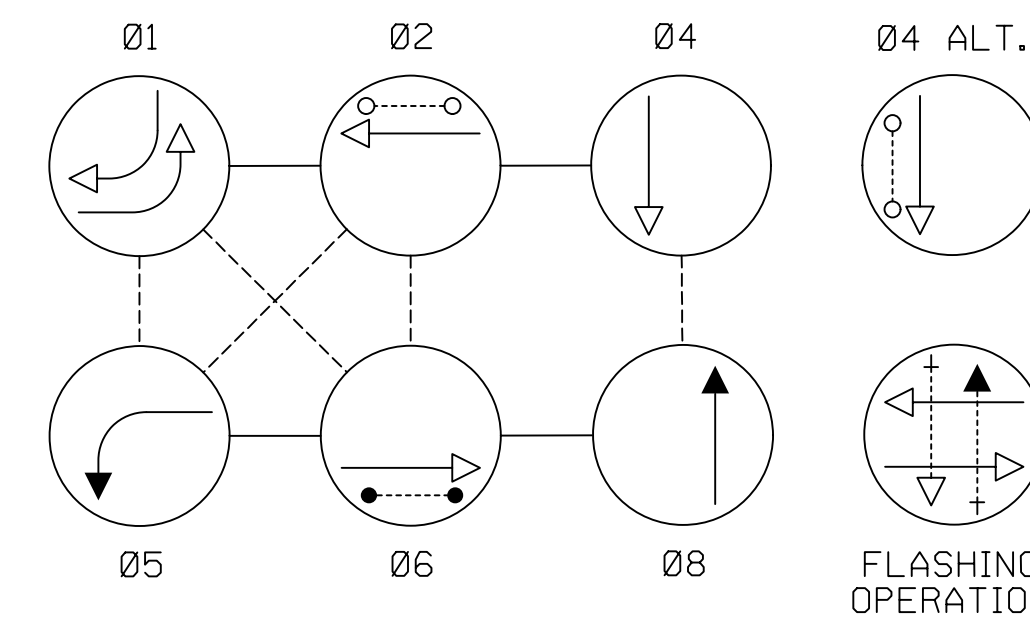


EXISTING SIGN TO BE REMOVED



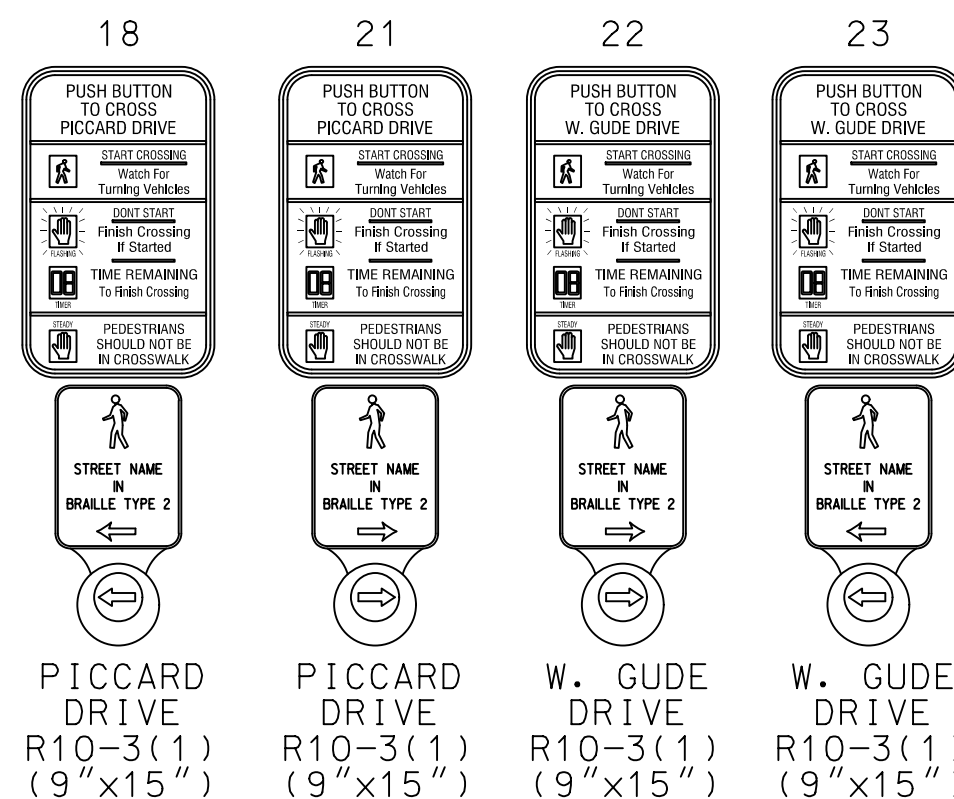
R3-5(L) (30"x36") R10-15 MOD (36"x36")

NEMA PHASING



NOTE: PHASES ASSOCIATED BY A DASHED LINE WILL OPERATE CONCURRENTLY. PHASES ASSOCIATED BY A SOLID LINE WILL NOT OPERATE CONCURRENTLY.

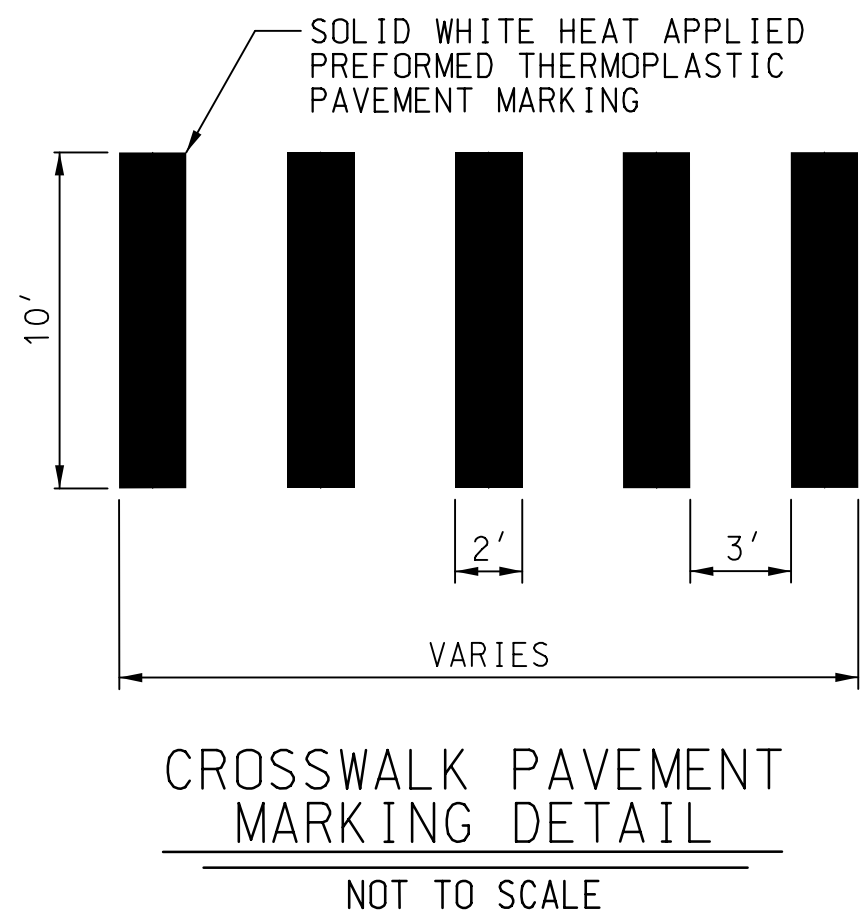
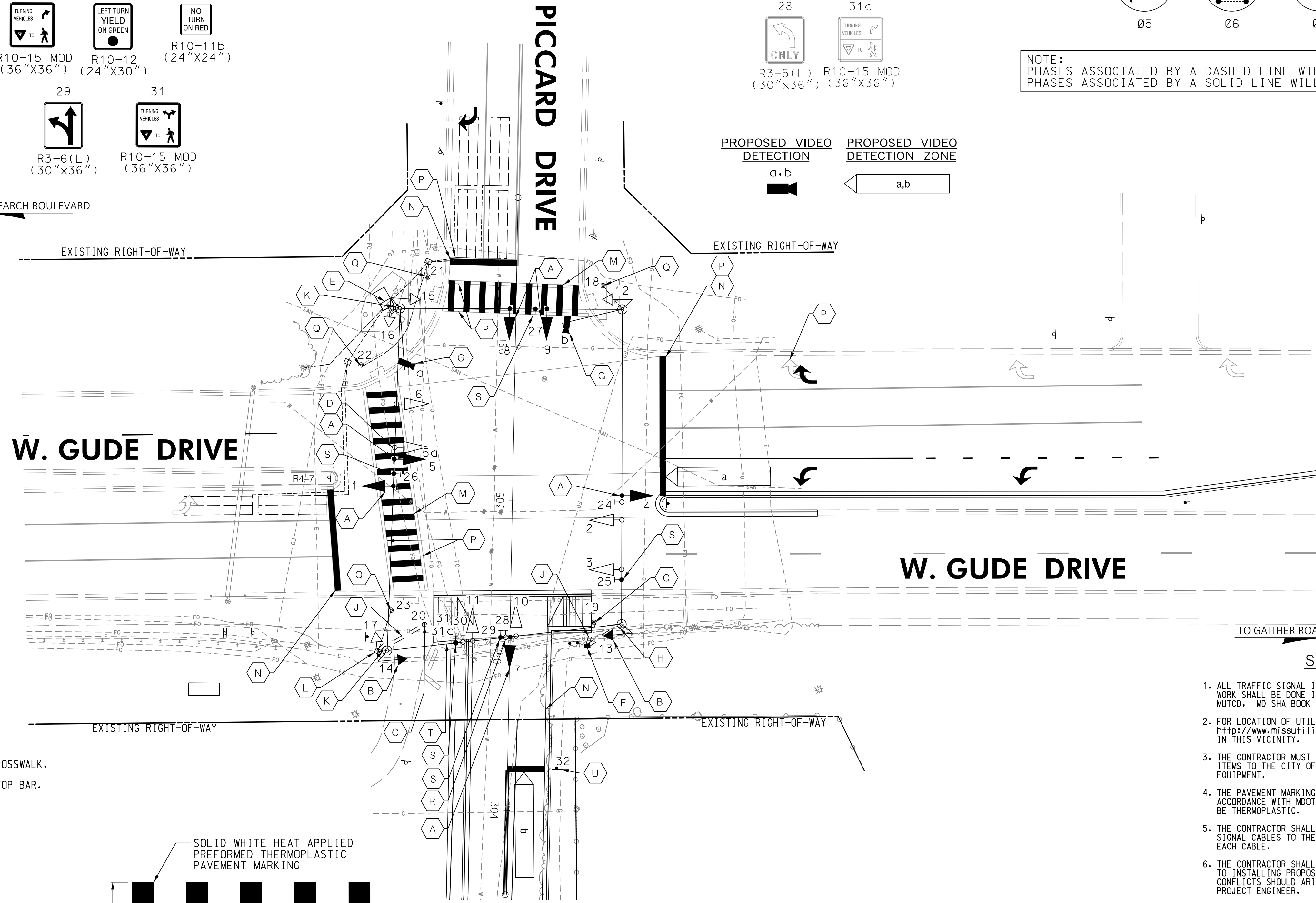
EXISTING SIGNS TO BE REPLACED



PICCARD DRIVE R10-3(1) (9"x15")
 PICCARD DRIVE R10-3(1) (9"x15")
 W. GUDE DRIVE R10-3(1) (9"x15")
 W. GUDE DRIVE R10-3(1) (9"x15")

CONSTRUCTION DETAILS

- (A) INSTALL PROPOSED VEHICULAR LED SIGNAL HEAD ON EXISTING SPAN WIRE.
- (B) INSTALL PROPOSED COUNTDOWN PEDESTRIAN SIGNAL HEAD ON EXISTING SIGNAL POLE.
- (C) INSTALL CONCRETE FOUNDATION WITH BREAKAWAY COUPLING BASE AS PER MD 801.01 AND MD 801.01-01 WITH 6 FT PEDESTAL POLE WITH AUDIBLE/TACTILE PUSHBUTTON STATION AND R10-3(1) SIGN. (NOTE: ONE 2 INCH SCHEDULE 80 PVC, 90 DEGREE CONDUIT BEND IN BASE)
- (D) REMOVE EXISTING VEHICULAR SIGNAL HEAD.
- (E) USE EXISTING GROUND MOUNTED CABINET AND CONTROLLER. REPLACE APS CENTRAL CONTROL UNIT AND INSTALL HD IP-BASED VIDEO DETECTION COMMUNICATION MANAGER INTERFACE PANEL.
- (F) INSTALL PROPOSED HANDHOLE.
- (G) INSTALL NEW VIDEO DETECTION CAMERA WITH 20 FT LIGHTING BRACKET ARM AND CABLE ON EXISTING SIGNAL POLE.
- (H) INSTALL 3 INCH SCHEDULE 80 PVC CONDUIT - TRENCHED.
- (J) INSTALL 2 INCH SCHEDULE 80 PVC CONDUIT - TRENCHED.
- (K) USE EXISTING CONDUIT.
- (L) MAINTAIN EXISTING HANDHOLE TO CONNECT NEW CONDUIT.
- (M) INSTALL 24 INCH WHITE HEAT-APPLIED PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR CROSSWALK.
- (N) INSTALL 24 INCH WHITE HEAT-APPLIED PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR STOP BAR.
- (P) REMOVE EXISTING PAVEMENT MARKING BY GRINDING.
- (Q) REMOVE EXISTING PUSHBUTTON SIGN AND INSTALL NEW AUDIBLE/TACTILE PUSHBUTTON STATION AND R10-3(1) SIGN.
- (R) REMOVE EXISTING SIGN.
- (S) INSTALL PROPOSED SIGN.
- (T) ADJUST/RE-RING EXISTING SPAN WIRE WITH 4 INCH RINGS. MINIMUM CLEARANCE FROM ROADWAY TO SIGNAL EQUIPMENT SHALL BE 17 FT AND MAXIMUM SHALL BE 19 FT.
- (U) INSTALL PROPOSED GROUND MOUNTED SIGN ON U-CHANNEL SIGN SUPPORT.



CROSSWALK PAVEMENT MARKING DETAIL NOT TO SCALE

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 ENGINEERS PLANNERS SURVEYORS CONSTRUCTION MANAGERS
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 www.wallacemontgomery.com

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

GEOMETRIC LEGEND

--- = EXISTING
 --- = PROPOSED

UTILITY LEGEND

--- STORM DRAIN
 --- GAS MAIN
 --- WATER MAIN
 --- SEWER MAIN
 --- ELEC CABLES UG
 --- ELEC CABLES OH
 --- TELE CABLES UG
 --- TELE CABLES OH
 --- FIBER-OPTIC UG
 --- FIBER-OPTIC OH

SPECIAL NOTES

1. ALL TRAFFIC SIGNAL ITEMS, EQUIPMENT AND SIGNING AND MARKING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST MARYLAND MUTCD, MD SHA BOOK OF STANDARDS AND ITS SPECIFICATIONS.
2. FOR LOCATION OF UTILITIES CALL 1-800-257-7777 OR LOG ON TO <https://www.missutility.net/titc/> 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY.
3. THE CONTRACTOR MUST SUBMIT CUT SHEET PROPOSALS FOR ALL FURNISHED ITEMS TO THE CITY OF ROCKVILLE FOR APPROVAL PRIOR TO PURCHASING EQUIPMENT.
4. THE PAVEMENT MARKINGS SHOWN ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH MDOT SHA STANDARDS. PAVEMENT MARKING MATERIAL SHALL BE THERMOPLASTIC.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TERMINATING ALL SIGNAL CABLES TO THE APPROPRIATE TERMINALS AND PROPERLY LABEL EACH CABLE.
6. THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO INSTALLING PROPOSED SIGNAL EQUIPMENT. IF ANY UTILITY CONFLICTS SHOULD ARISE THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL UNUSED CABLES FROM THE EXISTING CONDUITS AT NO CHARGE TO THE CITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SAFE MAINTENANCE OF TRAFFIC TO COMPLETE THE WORK.
8. SEE SPECIAL PROVISIONS FOR MAINTENANCE OF TRAFFIC SPECIFICATIONS. ONE (1) PEDESTRIAN CROSSING ALONG EACH ROADWAY SHALL BE MAINTAINED AT ALL TIMES.
9. SEE SIGNING AND PAVEMENT MARKING PLAN FOR ADDITIONAL PAVEMENT MARKING DETAILS.

NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

DEPARTMENT OF PUBLIC WORKS
 CITY OF ROCKVILLE
 111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED: S.A.S.
 DRAFTED: L.J.R.
 CHECKED: K.A.R.

DESIGN PLAN APPROVAL: _____
 AS BUILT PLAN APPROVAL: _____

DATE SUBMITTED: MARCH 2026
 SCALE: 1"=20'
 SHEET NO. 9 OF 22
 FILE # _____

ROCKVILLE SENIOR CENTER ENTRANCE
 W. GUDE DRIVE AT PICCARD DRIVE
 Election District No. 10 City of Rockville, Maryland

PROJECT DESCRIPTION

I. GENERAL

THIS PROJECT INVOLVES THE ADDITION OF A SOUTH LEG AND LEFT-TURN LANE ALONG THE WESTBOUND LEG AT THE INTERSECTION OF W. GUDE DRIVE AND PICCARD DRIVE IN ROCKVILLE, MARYLAND. THE ADDITIONAL LANE WILL REQUIRE SIGNAL MODIFICATIONS TO THE INTERSECTION INCLUDING NEW SIGNAL HEADS, PEDESTRIAN SIGNALS, VIDEO DETECTION CAMERAS, MEDIAN RECONSTRUCTION, AND STOP LINE RELOCATIONS. W. GUDE DRIVE IS ASSUMED TO RUN IN AN EAST-WEST DIRECTION.

II. INTERSECTION OPERATION

THIS INTERSECTION WILL CONTINUE TO OPERATE AS A SEMI-ACTUATED TRAFFIC SIGNAL WITH THE EASTBOUND AND WESTBOUND W. GUDE DRIVE APPROACHES OPERATING CONCURRENTLY (PHASE 2 & 6). EXCLUSIVE/ PERMISSIVE LEFT-TURN PHASING IS PROVIDED ALONG W. GUDE DRIVE (PHASE 1 & 5). THE NORTHBOUND AND SOUTHBOUND APPROACHES OF PICCARD DRIVE AND SENIOR CENTER ENTRANCE WILL OPERATE CONCURRENTLY (PHASE 4 & 8).

III. SPECIAL NOTES

APS WILL FUNCTION AS FOLLOWS:

TO CROSS W. GUDE DRIVE

1. WHEN A PEDESTRIAN LOCATES AND PRESSES THE PUSHBUTTON FOR AN EXTENDED TIME, THE PUSHBUTTON UNIT WILL ANNOUNCE THE FOLLOWING MESSAGE: "WAIT TO CROSS GUDE AT PICCARD, WAIT."
2. WHEN THE WALK PHASE BEGINS, THE PUSHBUTTON UNIT WILL PROVIDE A RAPID TICK WHICH WILL LAST FOR THE DURATION OF THE WALK PHASE

TO CROSS SENIOR CENTER ENTRANCE

1. WHEN A PEDESTRIAN LOCATES AND PRESSES THE PUSHBUTTON FOR AN EXTENDED TIME, THE PUSHBUTTON UNIT WILL ANNOUNCE THE FOLLOWING MESSAGE: "WAIT TO CROSS ENTRANCE AT GUDE, WAIT."
2. WHEN THE WALK PHASE BEGINS, THE PUSHBUTTON UNIT WILL PROVIDE A RAPID TICK WHICH WILL LAST FOR THE DURATION OF THE WALK PHASE

TO CROSS PICCARD DRIVE

1. WHEN A PEDESTRIAN LOCATES AND PRESSES THE PUSHBUTTON FOR AN EXTENDED TIME, THE PUSHBUTTON UNIT WILL ANNOUNCE THE FOLLOWING MESSAGE: "WAIT TO CROSS PICCARD AT GUDE, WAIT."
2. WHEN THE WALK PHASE BEGINS, THE PUSHBUTTON UNIT WILL PROVIDE A RAPID TICK WHICH WILL LAST FOR THE DURATION OF THE WALK PHASE

MAINTENANCE OF TRAFFIC NOTE

MAINTENANCE OF TRAFFIC WILL BE HANDLED BY THE CONTRACTOR UTILIZING THE FOLLOWING STANDARD PLATES FOR TRAFFIC CONTROL:

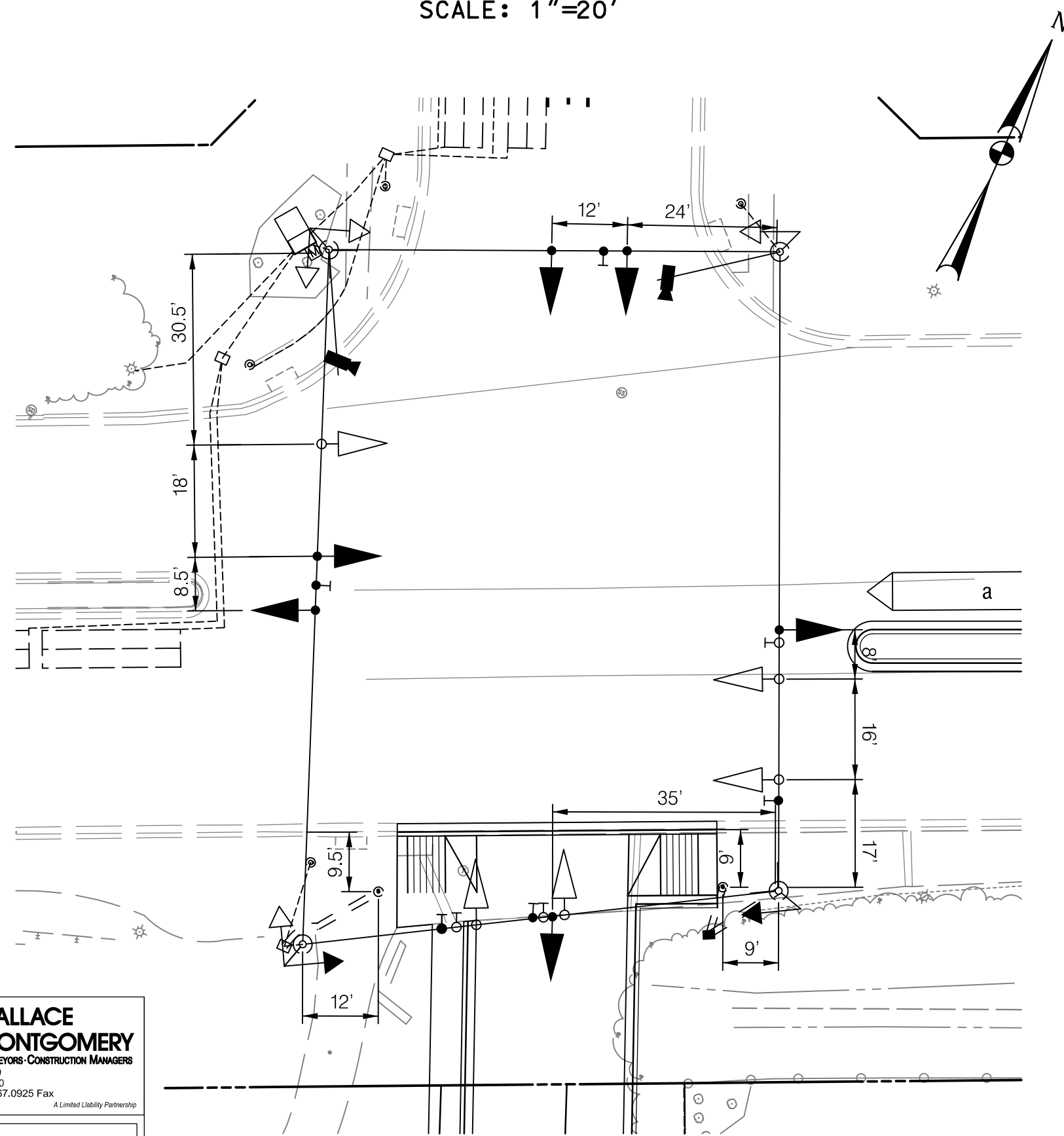
- STANDARD NO. 104.04-13 (LEFT-TURN BAY CLOSURE/DIVIDED UNCONCOTROLLED EQUAL/LESS THAN 40 MPH)
- STANDARD NO. 104.03-12 (FAR-RIGHT LANE CLOSURE/MULTILANE UNDIVIDED EQUAL/LESS THAN 40 MPH)

ADDITIONAL TRAFFIC CONTROL STANDARDS MAY BE USED AS DIRECTED BY THE ENGINEER.

PHASE CHART

	EASTBOUND			WESTBOUND			NORTHBOUND			SOUTHBOUND		NORTH PED		SOUTH PED		WEST PED	
	1	2	3	4	5	6	7	8	9	10	11	12	15	13	14	16	17
PHASE 1 AND 5	+G-	+G-	R	+G-	+G-	R	R	R	R	R	-G+	DW DW	DW DW	DW DW	DW DW	DW DW	DW DW
1 AND 5 CHANGE	+Y-	+Y-	R	+Y-	+Y-	R	R	R	R	R	-Y+	DW DW	DW DW	DW DW	DW DW	DW DW	DW DW
PHASE 2 AND 6	G	G	G	G	G	G	R	R	R	R	R	WK WK	WK WK	WK WK	WK WK	DW DW	DW DW
PED CLEARANCE	G	G	G	G	G	G	R	R	R	R	R	FLDWFLDW	FLDWFLDW	FLDWFLDW	FLDWFLDW	DW DW	DW DW
2 AND 6 CHANGE	Y	Y	Y	Y	Y	Y	R	R	R	R	R	DW DW	DW DW	DW DW	DW DW	DW DW	DW DW
PHASE 4 & 8	R	R	R	R	R	R	G	G	G	G	G	DW DW	DW DW	DW DW	DW DW	DW DW	DW DW
4 & 8 CHANGE	R	R	R	R	R	R	Y	Y	Y	Y	Y	DW DW	DW DW	DW DW	DW DW	DW DW	DW DW
PHASE 4 & 8 ALT	R	R	R	R	R	R	G	G	G	G	G	DW DW	DW DW	DW DW	DW DW	WK WK	WK WK
PED CLEARANCE	R	R	R	R	R	R	G	G	G	G	G	DW DW	DW DW	DW DW	DW DW	FLDWFLDW	FLDWFLDW
4 & 8 ALT CHANGE	R	R	R	R	R	R	Y	Y	Y	Y	Y	DW DW	DW DW	DW DW	DW DW	DW DW	DW DW
FLASHING OPERATION	FL/Y	FL/Y	FL/Y	FL/Y	FL/Y	FL/Y	FL/R	FL/R	FL/R	FL/R	FL/R	DARK DARK	DARK DARK	DARK DARK	DARK DARK	DARK DARK	DARK DARK

**DIMENSIONS
SCALE: 1"=20'**



EQUIPMENT LIST

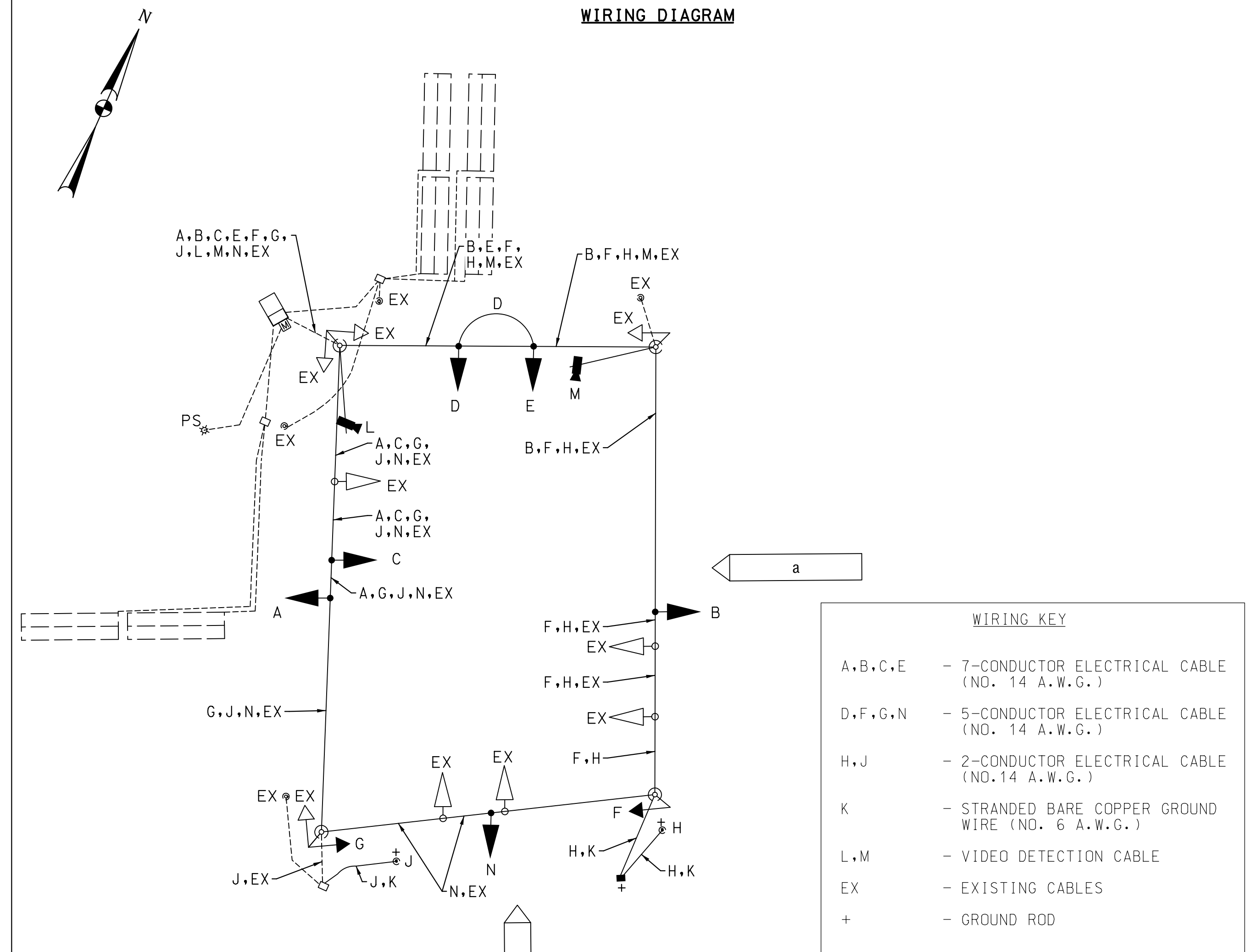
A. EQUIPMENT TO BE FURNISHED BY THE CITY OF ROCKVILLE:

SPEC. NUMBER	QUANTITY	DESCRIPTION
	NONE	

B. EQUIPMENT TO BE FURNISHED BY THE CONTRACTOR:

SPEC. NUMBER	QUANTITY	DESCRIPTION
205	1 CY	TEST PIT EXCAVATION
554	375 LF	FURNISH AND INSTALL 24 INCH WHITE HEAT-APPLIED PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKINGS
558	360 LF	REMOVAL OF EXISTING PAVEMENT MARKING LINES, ANY WIDTH
801	2 CY	FURNISH AND INSTALL CONCRETE FOR SIGNAL FOUNDATION
804	3 EA	FURNISH AND INSTALL GROUND ROD - 3/4" DIAMETER X 10' LENGTH
805	20 LF	FURNISH AND INSTALL 2" SCHEDULE 80 RIGID PVC - TRENCHED
805	20 LF	FURNISH AND INSTALL 3" SCHEDULE 80 RIGID PVC - TRENCHED
810	550 LF	FURNISH AND INSTALL ELETRICAL CABLE - 3 CONDUCTOR (NO. 14 AWG)
810	720 LF	FURNISH AND INSTALL ELETRICAL CABLE - 5 CONDUCTOR (NO. 14 AWG)
810	510 LF	FURNISH AND INSTALL ELETRICAL CABLE - 7 CONDUCTOR (NO. 14 AWG)
810	45 LF	FURNISH AND INSTALL NO. 6 A.W.G. STRANDED BARE COPPER GROUND WIRE
811	1 EA	FURNISH AND INSTALL ELECTRICAL HANDHOLE
813	34.5 SF	FURNISH AND INSTALL SPAN WIRE MOUNTED SIGNS (INCLUDING ALL HARDWARE)
813	5 SF	FURNISH AND INSTALL GROUND MOUNTED SIGNS (INCLUDING ALL HARDWARE)
814	21 EA	FURNISH AND INSTALL 12 INCH LED VEHICULAR TRAFFIC SIGNAL HEAD SECTION (SPAN WIRE)
814	2 EA	FURNISH AND INSTALL 16 INCH LED COUNTDOWN PEDESTRIAN SIGNAL HEAD WITH MOUNTING BRACKET
818	2 EA	FURNISH AND INSTALL 6' BREAKAWAY PEDESTAL POLE
818	2 EA	20 FOOT LIGHTING ARM ON SIGNAL STRUCTURE
819	45 LF	ADJUST/RE-RING EXISTING SPAN WIRE WITH 4 INCH RINGS
XXX	6 EA	FURNISH AND INSTALL AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON STATION AND SIGNS
XXX	2 EA	HD IP-BASED VIDEO DETECTION CAMERA AND ANY LENGTH LEAD-IN CABLE
XXX	1 EA	HD IP-BASED VIDEO DETECTION COMMUNICATION MANAGER INTERFACE PANEL
XXX	1 EA	FURNISH AND INSTALL 2-WIRE APS CENTRAL CONTROL UNIT
XXX	1 LS	REMOVE AND DISPOSE OF EXISTING SIGNAL EQUIPMENT

WIRING DIAGRAM

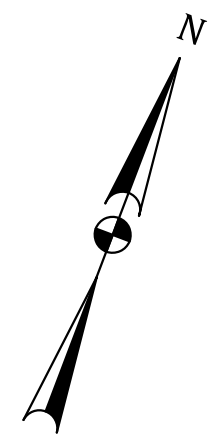


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NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

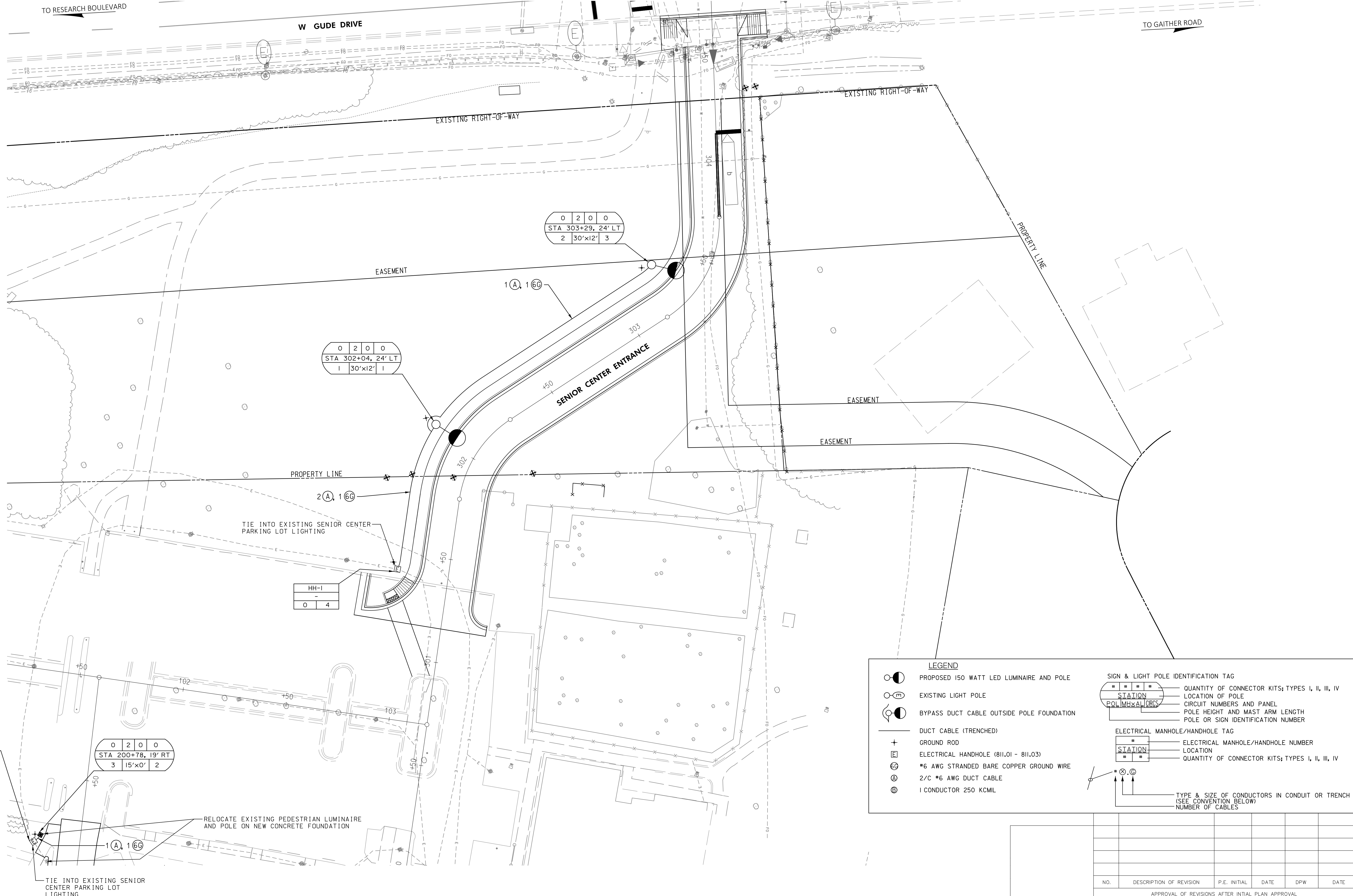
<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	DESIGNED: B. R. P. DRAFTED: G. N. C. CHECKED: J. L. R.	DESIGN PLAN APPROVAL _____ DIRECTOR OF PUBLIC WORKS APPROVAL DATE	AS BUILT PLAN APPROVAL _____ CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE	SIGNAL PLAN W. GUDE DRIVE AT PICCARD DRIVE	ROCKVILLE SENIOR CENTER ENTRANCE Election District No. 10 City of Rockville, Maryland	DATE SUBMITTED: MARCH 2026	SCALE AS SHOWN	SHEET NO. 10 OF 22	FILE #
	APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL								



TO RESEARCH BOULEVARD

W GUDE DRIVE

TO GAITHER ROAD



LEGEND

- PROPOSED 150 WATT LED LUMINAIRE AND POLE
- EXISTING LIGHT POLE
- BYPASS DUCT CABLE OUTSIDE POLE FOUNDATION
- DUCT CABLE (TRENCHED)
- GROUND ROD
- ELECTRICAL HANDHOLE (811.01 - 811.03)
- #6 AWG STRANDED BARE COPPER GROUND WIRE
- 2/C #6 AWG DUCT CABLE
- 1 CONDUCTOR 250 KCMIL

SIGN & LIGHT POLE IDENTIFICATION TAG

##	QUANTITY OF CONNECTOR KITS; TYPES I, II, III, IV
STATION	LOCATION OF POLE
POL.MHXAL.CIRCS	CIRCUIT NUMBERS AND PANEL
##	POLE HEIGHT AND MAST ARM LENGTH
##	POLE OR SIGN IDENTIFICATION NUMBER

ELECTRICAL MANHOLE/HANDHOLE TAG

##	ELECTRICAL MANHOLE/HANDHOLE NUMBER
STATION	LOCATION
##	QUANTITY OF CONNECTOR KITS; TYPES I, II, III, IV

TYPE & SIZE OF CONDUCTORS IN CONDUIT OR TRENCH (SEE CONVENTION BELOW) NUMBER OF CABLES

↑	↑	↑	↑
↑	↑	↑	↑

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DEPARTMENT OF PUBLIC WORKS
 CITY OF ROCKVILLE
 111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED: D.M.J.
 DRAFTED: D.M.J.
 CHECKED: J.L.R.

DESIGN PLAN APPROVAL

	PWK#	SCP#
	SMP#	REVIEWED BY

DIRECTOR OF PUBLIC WORKS APPROVAL DATE

AS BUILT PLAN APPROVAL

	CHIEF, CONSTRUCTION MANAGEMENT	APPROVAL DATE
--	--------------------------------	---------------

LIGHTING PLAN

ROCKVILLE SENIOR CENTER ENTRANCE

Election District No. 10 City of Rockville, Maryland

DATE SUBMITTED: MARCH 2026

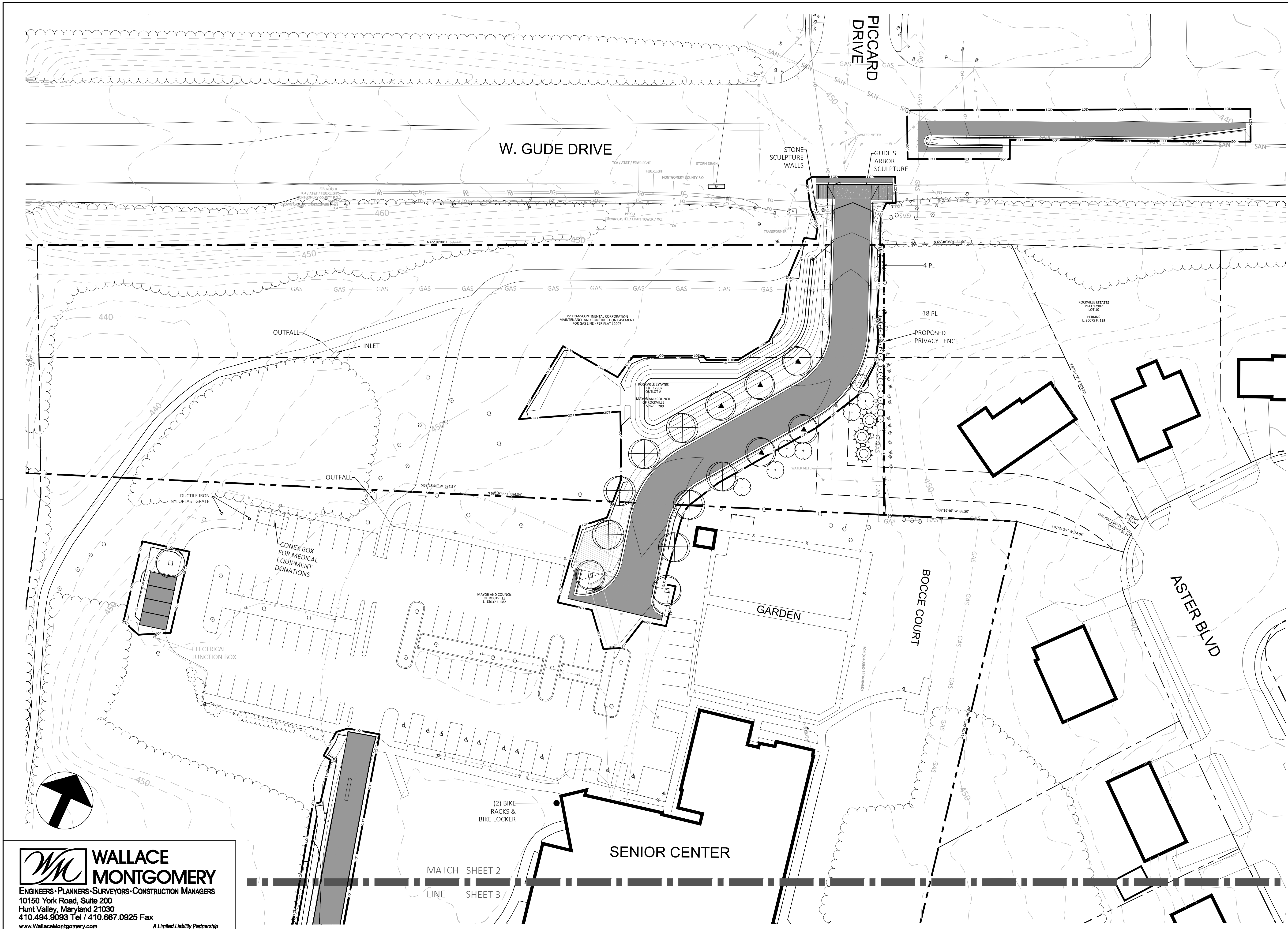
SCALE: 1"=20'

SHEET NO. 12 OF 22

FILE #

NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL

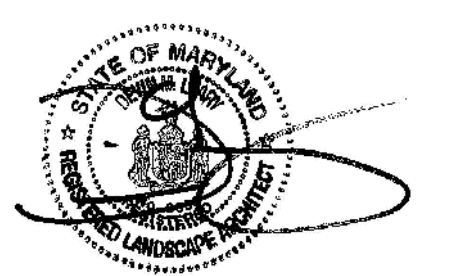


LEGEND

PROPERTY LINE	---
EASEMENT LINE	- - - -
EXISTING TOPO MAJOR	---280---
EXISTING TOPO MINOR	---
EXISTING FENCE LINE	x
UNDERGROUND ELECTRIC LINE	---
NATURAL GAS LINE	GAS GAS
SANITARY SEWER LINE	SAN SAN
FIBER OPTICS LINE	FO FO
UNDERGROUND TELEPHONE LINE	---
PUBLIC WATER LINE	---
EXIST. HAND BOX	HBX
EXIST. LIGHT POLE	⊙
EXIST. UTILITY POLE	⊙
EXIST. MISC. CONC. STRUCTURE	□
EXISTING TREE LINE	~~~~~
EXISTING INDIVIDUAL TREE	⊙
LIMITS OF DISTURBANCE	LOD
PROPOSED PLANTING	⊙

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 www.WallaceMontgomery.com A Limited Liability Partnership

PLAN PREPARED BY
HUMAN & ROHDE, INC.
 Landscape Architects
 512 Virginia Ave.
 Towson, Maryland 21286
 (410) 825-3885 Phone
 (410) 825-3887 Fax



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the state of Maryland.
 DEVIN LEARY - HUMAN & ROHDE, INC.
 License No.: 3593
 Expiration DATE: 09-16-2026
 DEVIN@HUMANANDROHDE.COM

DESIGNED	D.M.L.	APPROVED	DATE	GRAD.	_____	DEPARTMENT OF PUBLIC WORKS	DATE PROJECT STARTED	_____	AS BUILT COMPLETED	DATE	_____	LANDSCAPE PLAN	NO.	DATE	_____
DRAWN	E.E.V.	DIRECTOR OF PUBLIC WORKS	_____	PAV.	_____	CITY OF ROCKVILLE MARYLAND AT VINSON ROCKVILLE, MARYLAND	DATE PROJECT COMPLETED	_____	CHIEF INSPECTOR	_____	_____	ROCKVILLE SENIOR CENTER ENTRANCE 1150 CARNATION DRIVE CITY OF ROCKVILLE, MARYLAND	SCALE	DATE	_____
CHECKED	D.M.L.	_____	_____	SD	_____		DATE ACCEPTED BY CITY	_____	_____	_____	_____	1"=30' NO. 2 OF 3	DRAWING	DATE	_____
													FILE	_____	

