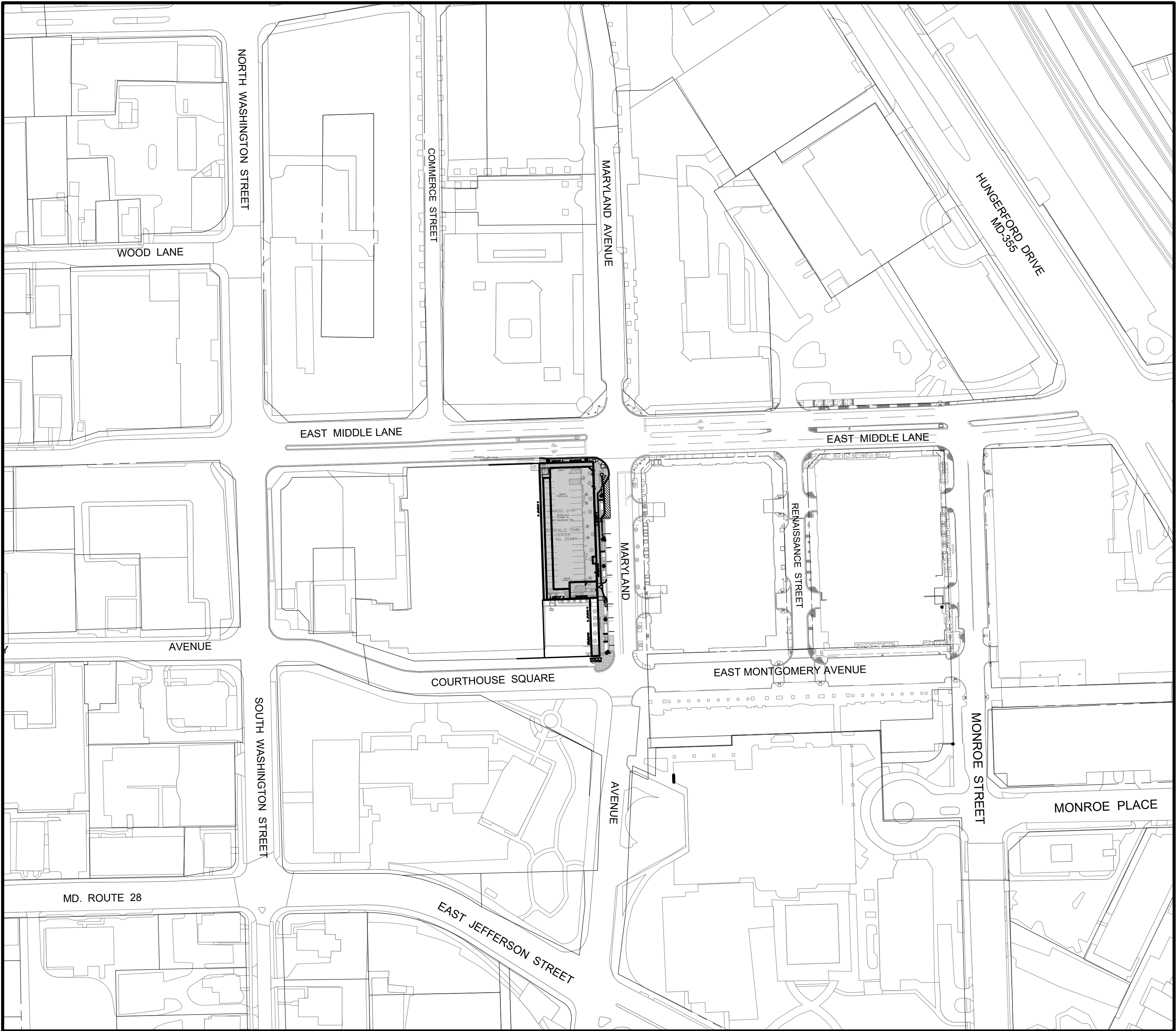
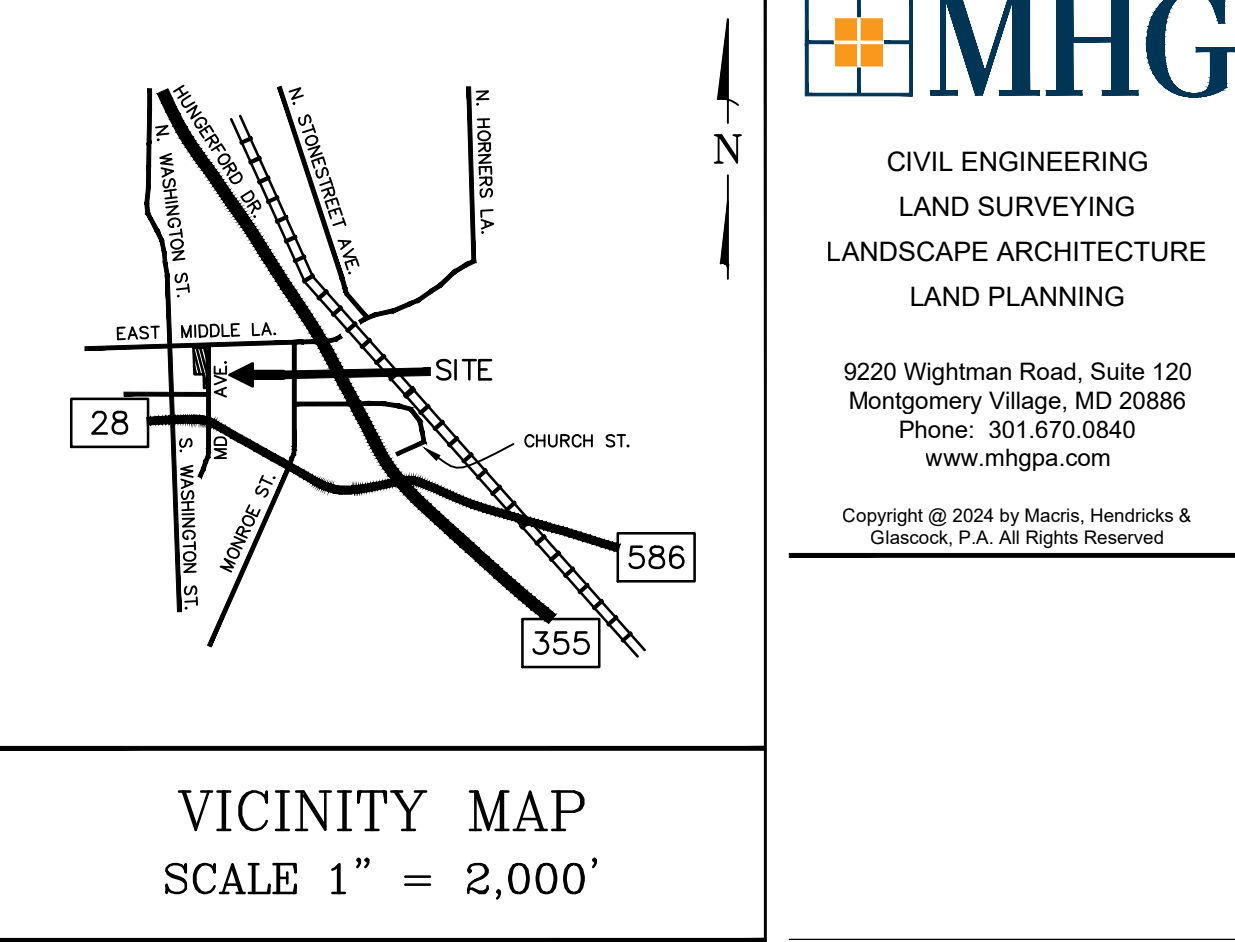
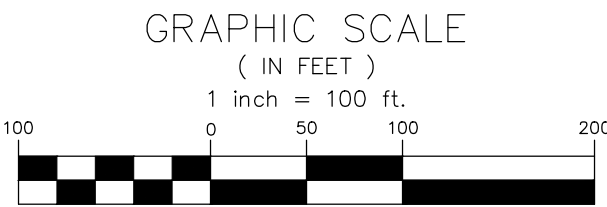


MOMENTUM AT ROCKVILLE STATION
ROCKVILLE TOWN CENTER
PARCEL 2-H
41 MARYLAND AVENUE
PJ#2025-XXXXX



SURROUNDING AREA MAP



PROJECT TEAM

PROPERTY OWNER
COMSTOCK 41 MARYLAND, LLC
1900 RESTON METRO PLZ, 10TH FL
RESTON VA 20190
CONTACT: ROBERT DEMCHAK
RDEMCHAK@COMSTOCK.COM

LAND USE ATTORNEY
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12555 PARK POTOMAC AVENUE, #600
POTOMAC, MD 20854
CONTACT: NANCY REGELEN
NREGELEN@SHULMANROGERS.COM

TRAFFIC ENGINEER
GOROVESLAD
1140 CONNECTICUT AVE, NW SUITE 600
WASHINGTON, DC 20036
CONTACT: WILL ZEID
WILLIAM.ZEID@GOROVESLAD.COM

CIVIL ENGINEER
MHG
9220 WIGHTMAN ROAD, SUITE 120
MONTGOMERY VILLAGE, MD 20832
CONTACT: KYLE HUGHES
KHUGHES@MHGPA.COM

LANDSCAPE ARCHITECT
MHG
9220 WIGHTMAN ROAD, SUITE 120
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KHUGHES@MHGPA.COM

ARCHITECT
DAVIS CARTER SCOTT LTD DESIGN
8514 WESTWOOD CENTER DRIVE, #800
TYSONS, VA 22182
CONTACT: F. DOUGLAS CARTER, AIA
DCARTER@DC-DESIGN.COM

SHEET INDEX

SITE
PJ0.01 COVER SHEET
PJ1.01 EXISTING CONDITIONS PLAN
PJ2.01 PROJECT PLAN
PJ2.21 OPEN AREA EXHIBIT
PJ2.31 FIRE DEPARTMENT SITE PLAN

LANDSCAPE
L1.01 LANDSCAPE PLAN - GROUND LEVEL

ARCHITECTURAL
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LANDSCAPE ARCHITECTURE
LAND PLANNING
9220 Wightman Road, Suite 120
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Phone: 301.870.0940
www.mhgapa.com
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Owner: Comstock 41 Maryland, LLC
Address: 1900 Reston Metro PLZ, 10th fl,
Reston VA 20190
Contact: Robert Demchak
Phone: 703.230.1985
Email: rdemchak@comstock.com
Applicant: SCG Development Holdings,
LLC / Comstock 41 Maryland, LLC c/o
SCG Development Holdings, LLC
Address: 8245 Boone Blvd #640, Vienna,
VA 22182
Contact: Kirk Salpini
Phone: 703-942-6610 x 200
Email: kas@scgdevelopment.com

REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP GR342 WSSC 218NW07

PLAT 20464

4TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL 2-H

ROCKVILLE
TOWN CENTER

PROJ. MGR KJH

DRAWN BY KJH

SCALE 1"= 100'

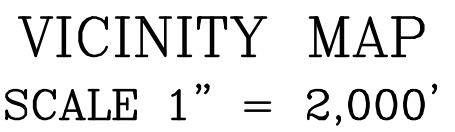
DATE 04/01/2025

MOMENTUM AT
ROCKVILLE STATION

PROJECT PLAN
COVER SHEET

PJ0.01

PROJECT NO. 24.271.11



SITE DATA	
SUBJECT PROPERTIES:	PARCEL 2-H ROCKVILLE TOWN CENTER FLAT 20454
PROPERTY ADDRESSES:	41 MARYLAND AVENUE
TAX ID NUMBERS:	04-03198603
PROPERTY OWNER:	COMSTOCK AT 4 MARYLAND, LLC 1500 ROSTON MENTOR PLAZA, 10TH FLOOR RESTON, VA 20190
EXISTING / PROPOSED SITE AREA:	18,150 SF (0.41667 AC)
ZONING CLASSIFICATION:	PD-R2 (PROPOSED ZONING INC.) & TOWN CENTER PERFORMANCE OVERLAY
EXISTING USES:	SURFACE PARKING LOT
PROPOSED USES:	MULTI-FAMILY RESIDENTIAL (147 UNITS TOTAL)

Owner: Armstrong 141 Maryland, LLC
Address: 1900 Reston Metro PLZ, 10th fl,
Reston VA 20190
Contact: Robert Demchak
Phone: 703.230.1985
Email: rdemchak@armstrong.com
Applicant: SCG Development Holdings,
LLC / Comstock 41 Maryland, LLC c/o
SCG Development Holdings, LLC
Address: 8245 Boone Blvd #640, Vienna,
VA 22182
Contact: Kirk Salpini
Phone: 703-942-6610 x 200
Email: kas@scgdevelopment.com

REVISIONS		
NO.	DESCRIPTION	DATE

AX MAP GR342 WSSC 218NW07
PLAT 20464

TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL 2-H
ROCKVILLE
TOWN CENTER

PROJ. MGR	KJH
DRAWN BY	MMH

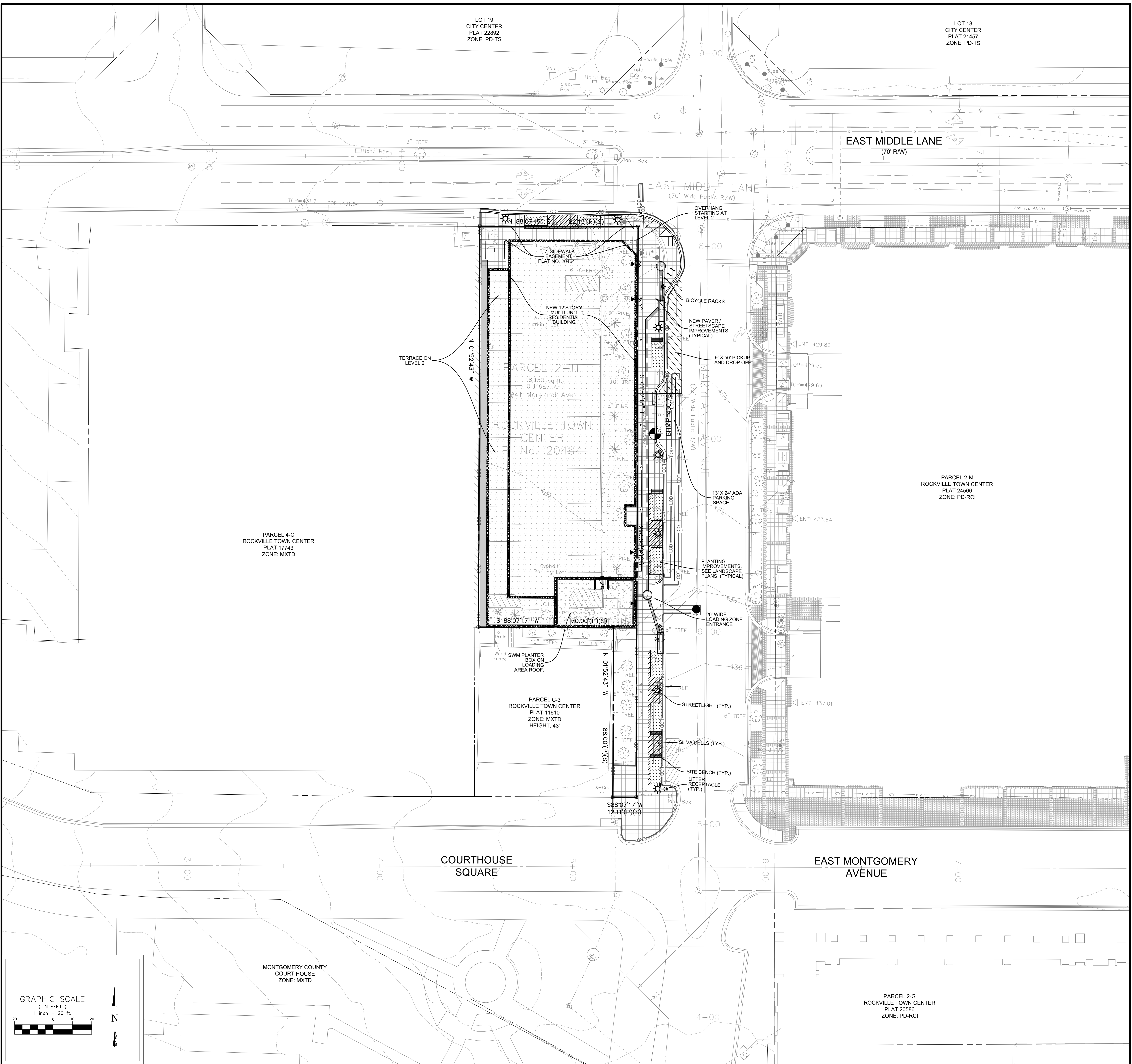
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DATE	04/01/2025

MOMENTUM AT ROCKVILLE STATION

PROJECT PLAN

PJ2.01

PROJECT NO. 24.271.11



GENERAL NOTES

1. THE EXISTING CONDITIONS AND PROPERTY BOUNDARY SHOWN FOR PARCEL 2A ARE TAKEN FROM TOPOGRAPHIC & BOUNDARY SURVEYS PREPARED BY M&G, LAST UPDATED IN JANUARY OF 2025.
2. EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES, MARKINGS BY MISS UTILITY, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
3. THE PROPERTY IS WITHIN THE ROCK CREEK WATERSHED.
4. THE PROPERTY DOES NOT CONTAIN "WATERS OF THE UNITED STATES", WETLANDS, STREAMS, SEEPS, SPRINGS, FLOODPLAINS OR THEIR ASSOCIATED BUFFERS.
5. THE PROPERTY IS NOT IDENTIFIED IN THE CITY OF ROCKVILLE'S HISTORIC BUILDINGS INDEX.
6. A NATURAL RESOURCES INVENTORY / FOREST STAND DELINEATION (NR/FS) FOR THIS PROPERTY WAS SUBMITTED UNDER 2025-24-NR1 ON 12/20/2024.
7. THE PROPERTY IS WITHIN THE CITY OF ROCKVILLE WATER AND SEWER SERVICE AREA.
8. REFER TO FINAL SITE PLAN FOR GRADING, UTILITIES AND ADDITIONAL SITE DEVELOPMENT DETAILS.

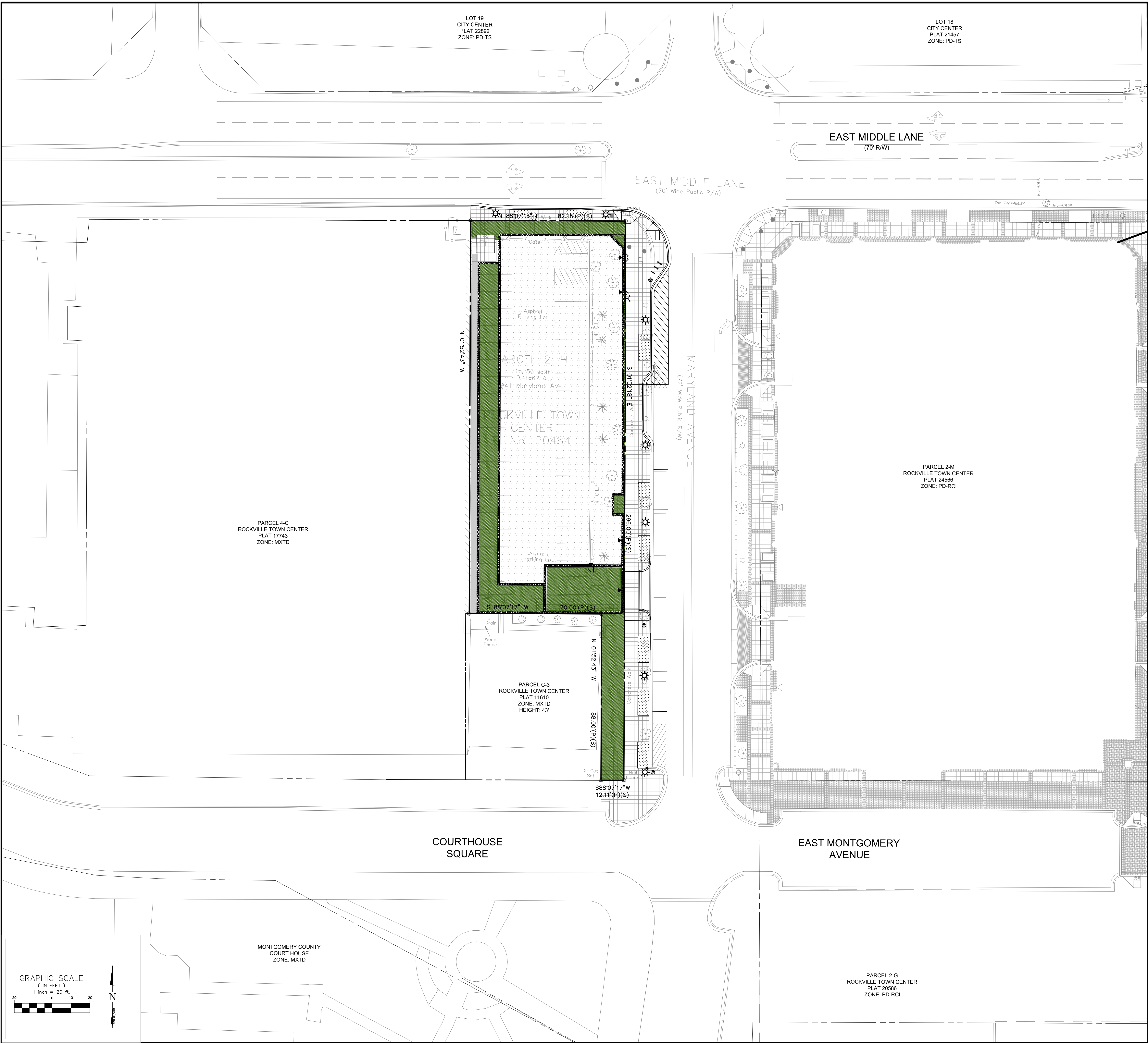
DEVELOPMENT STANDARDS - PD-RC/MXTD ZONE¹

	<u>PERMITTED/REQUIRED</u>	<u>PROVIDED</u>
MAXIMUM BUILDING HEIGHT 25.13.05 (b)	300 FT ²	135.25 FT
MINIMUM OPEN AREA 25.13.05 (b)	15% (2,722 SF)	27% (4,820 SF) ³
MINIMUM PUBLIC USE SPACE 25.13.05 (b)	0% ⁴	N/A
MINIMUM LOT WIDTH AT FRONT LOT LINE: 25.13.05 (b)	10 FT	296 FT (MARYLAND AVE)
PUBLIC RIGHT-OF-WAY ABUTTING SETBACK: 25.13.05 (b)	NONE REQ'D.	0 FT
MINIMUM SIDE YARD SETBACK: 25.13.05 (b)	NONE REQUIRED ⁵	N/A
MINIMUM REAR YARD SETBACK: 25.13.05 (b)	NONE REQUIRED ²	N/A
MINIMUM AUTO SPACES: 25.16.03	PARKING WAIVER REQUESTED	0 SPACES
MINIMUM BICYCLE SPACES - SHORT TERM: 25.16.03	3 SPACES	6 SPACES
MINIMUM BICYCLE SPACES - LONG TERM: 25.16.03	49 SPACES	49 SPACES OR MORE

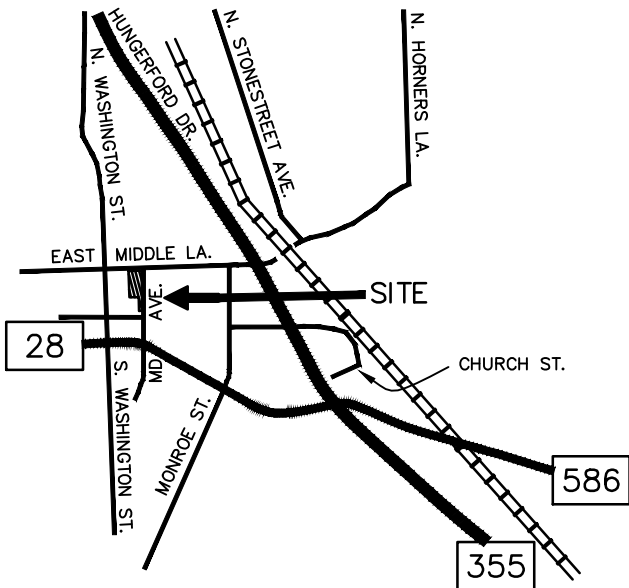
FOOTNOTES

1. DESIGNATED EQUIVALENT ZONE FOR PD-R1 IS THE MIXED ZONE.
2. THE PROPOSED DEVELOPMENT DOES NOT EXCEED THE MAXIMUM BUILDING HEIGHT FOR PROPERTIES WITHIN THE CORE CHARACTER AREA FLOATING ZONE IS 200 FEET TO THE HIGHEST POINT OF THE FLAT ROOF FROM THE APPROVED STREET GRADE OPPOSITE THE MIDDLE OF THE FRONT LOT LINE.
3. THE PROPOSED DEVELOPMENT DOES NOT EXCEED THE MAXIMUM BUILDING HEIGHT FOR RESIDENTIAL DEVELOPMENTS WITH 20% OR MORE AFFORDABLE HOUSING SINCE THE PROJECT IS A 100% AFFORDABLE HOUSING PROJECT.
4. THERE IS NO OPEN SPACE REQUIRED IN ADDITION. THE PROPERTY IS PART OF THE ORIGINAL COMPREHENSIVE PLAN OF THE POPPI-401 THAT IMPROVED AND DESIGNATED A COMPREHENSIVE OPEN SPACE CORRIDOR ALONG THE WEST SIDE OF THE CORRIDOR BETWEEN THE INTERSECTION OF STREET AND THE RED BRICK COURTHOUSE PARK AREAS UP TO PROMENADE PARK AT THE TIME OF THE 2006 CITY OF CHICAGO ORDINANCE. THE PROPERTY IS LOCATED WITHIN THE CORRIDOR AS NOTED IN SD 17.01 OF THE PROJECT IS EXEMPT FROM PUBLIC USE REQUIREMENTS SINCE THIS IS A 100% AFFORDABLE HOUSING PROJECT.
5. THE PROPOSED DEVELOPMENT IS A COMMERCIAL USE AND IS LESS THAN 40' TALL, THEREFORE NO SITE SETBACK REQUIRED.
6. THE PROPOSED DEVELOPMENT IS A COMMERCIAL USE AND HAS NO NEAR SETBACKS.
7. CONCURRENT WITH THIS APPLICATION, THE APPLICANT IS SUBMITTING A WAIVER REQUEST TO PURSUE FLEXIBLE PARKING STANDARDS PURSUANT TO SECTION 26.16.03.1 OF THE ZONING ORDINANCE.

U:\2021\Drawings\1_01.dwg, P12.21 - OPEN AREA EXHIBIT, 3/31/2025 11:35:15 PM, Engineer: ARCH/ET, (30.00 x 42.00 inches), Copyright © 2025 Harris, Hendricks & Glascock, P.A.



Community Planning & Development Services
Revised
April 3, 2025



VICINITY MAP
SCALE 1" = 2,000'

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Contact: Kirk Salpini
Phone: 703-942-6610 x.200
Email: kas@scgdevelopment.com

REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP GR342 WSSC 218NW07
PLAT 20464
4TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL 2-H ROCKVILLE TOWN CENTER	
PROJ. MGR	KJH
DRAWN BY	KJH
SCALE	1"= 20'
DATE	04/01/2025

MOMENTUM AT
ROCKVILLE STATION
OPEN AREA EXHIBIT
PJ2.21
PROJECT NO. 24.271.11



Planting Notes for Landscape Plans

JULY 2018

INSTALLATION OF PLANT MATERIAL

1. The Permittee is responsible for obtaining the approved Landscape Plan and providing a copy to the Landscape Contractor. The Permittee shall ensure that the Landscape Contractor can secure the plants shown on the Landscape Plan. Plant substitutions are not allowed. It is strongly recommended that plant material be secured from supplier by the project start date.

2. A pre-planting meeting is required before installation of landscaping. The applicant must schedule an on-site pre-planting meeting with the City Forestry Inspector. Attendees must include the Permittee, landscape contractor, and Forestry Inspector. Trees and shrubs shall conform to the current edition of the American Standard for Nursery Stock (ANSI Z60.1).

3. Comply with appropriate City Soil Specification:

- Soil Specification for TREE PLANTING WHERE EXISTING PAVEMENT OR OTHER IMPERVIOUS SURFACES WERE PREVIOUSLY LOCATED OR WHERE EXISTING GREENSPACE HAS BEEN SEVERELY DEGRADED¹

- Site preparation
 - Demolish existing impervious surface and remove all existing asphalt, concrete, stone and construction materials to expose subsoil free of debris.
 - Excavate so that final planting bed will provide quality soil to a depth of forty-eight (48) inches, and to a radius of 10' minimum or to new hard edge of planting bed, whichever is less.
 - Loosen exposed subsoil below 48" by ripping 18" into the sub grade elevation.
 - Test to ensure that planting bed drains at a rate of at least 1 inch/per hour.
 - Install imported soil to fill excavated planting bed. Imported soil shall consist of 50% top soil, 40% coarse washed sand, and 10% matured compost, by volume, and have a chemical composition compatible with healthy growth. When installing the soil, it should be installed in lifts or layers of < 12 inches (30 cm), tamping or watering (not both) between lifts to minimize potential settling.
- Immediately prior to installation of plant material, the soil must be tested and must have a pH range between 6 and 7 and a nutrient content which corresponds to an adequate rating, per current industry standards. Amend soil, if necessary to achieve the current industry standard.
- The Forestry Inspector may require additional soil specifications, based on site conditions.

- Soil Specification for PLANTING WHERE EXISTING GREEN SPACE HAS NOT BEEN PROTECTED FROM CONSTRUCTION IMPACTS BUT IS NOT SEVERELY DEGRADED.

- Site Preparation:
 - Remove all construction debris and top four to six inches of existing soil.
 - Test remaining existing soil to verify a pH range between 6 and 7, and has a nutrient content which corresponds to an adequate rating, per current industry standards.
 - Apply four (4) inches of mature compost evenly over the entire planting surface. Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install. (4" = 12 c.y. p/1,000s.f.)
 - Till the compost into the existing soil to a minimum depth of thirty-six (36) inches for trees, using the city's soil profile rebuilding specification. Depth to eighteen (18) inches for shrubs; twelve (12) inches for herbaceous groundcover, and to eight (8) inches for lawn.
 - If soil does not meet nutrient standards, mitigate soil chemistry to meet the chemical parameters.

¹ See definitions section of City Soil Profile Rebuilding Specification

² See definitions section of City Soil Profile Rebuilding Specification

³ See definitions section of City Soil Profile Rebuilding Specification

¹ See definitions section of City Soil Profile Rebuilding Specification

² See definitions section of City Soil Profile Rebuilding Specification

2. The Forestry Inspector may require additional soil specifications, based on site conditions.

- Soil Specification FOR PLANTING WITHIN EXISTING GREEN SPACE AREAS WHICH HAVE BEEN PROTECTED FROM CONSTRUCTION IMPACTS (One of two options, as determined by Forestry Inspector) Refer to approved City of Rockville Detail A-7

- Test existing soil to verify it has a pH range between 6 and 7, and a nutrient content which corresponds to an adequate rating, per current industry standards. If soil does not meet nutrient standards, one of two options will be performed to mitigate the soil:
 - Option 1 - Till Method: Depth of tilling for planting must be at least twenty-four (24) inches:
 - Apply four (4) inches of mature compost evenly over the entire planting surface. Provide compost supplier information and specifications to the City Forestry Inspector for approval prior to install. (4" = 12 c.y. p/1,000s.f.)
 - Till the compost into the existing soil to a minimum depth of twenty-four (24") inches.
 - Option 2 - Aeration and Vertical Mulching
 - Using a 2- 3" Auger, drill a series of holes in the soil to a depth of twenty-four (24) inches.
 - Begin at the edge of the hole dug for the root ball, and continue drilling at one-foot intervals (maximum), in concentric rings around the tree out to ten (10) feet from the tree, or two and a half (2.5) feet for shrubs, and for the entire bed of herbaceous groundcover. Aerate/vertical mulch to eight (8) inches for lawn areas.
- The Forestry Inspector may require additional soil specifications, based on site conditions.

- Soil testing of the existing soil may be conducted with PRIOR approval from the City's Forestry Inspector to determine the number and location of the samples. The above requirements may be reduced if soil testing shows the following:

- Soil pH is between 5.5 and 7
- The top 24" of existing soil contains a minimum of 4-6% organic matter by weight
- The soil is free of contaminants
- The soil texture is sandy loam or loam
- The soil has an infiltration rate not less than 1" per hour
- The soil does not contain debris or stones greater than one inch
- The soluble salt content is less than 3 dS/m
- Consult the University of Maryland Extension website: <http://extension.umd.edu/> for a listing of commercial soil testing facilities.

- Soil preparation is required for street trees planted within the city's rights-of-way and private street trees, if they are part of the approved plan.

4. The depths and grades shown on plan drawings are final grades after settlement and shrinkage of the organic material. The contractor shall install the soil mix at a higher level to anticipate this reduction of volume. Lawn areas shall be installed one (1) inch higher than the design grades. Soil media under paved surfaces shall be installed on half (0.5) inch higher than the design grades. All grade increases are assumed to be as measured to be prior to the addition of any surface compost till layer or mulch or sod.

5. All details of the planting plans regarding plant quality and proper planting will be discussed including but not limited to:

- Plant quality.
- Proper form for species.
- Proper ratio of caliper size/height to container size/root ball size.
- Proper pruning cuts if applicable in accordance with current ANSI A300 pruning standards (generally there should be no recent pruning).
- No co-dominant stems or multiple trunks (unless approved by FCP or by The Forestry Inspector).
- Sound graft union.
- Free of girdling roots, or the ability to remove girdling roots without damaging the tree.
- Trees shall be healthy, vigorous, insect/disease free, and without cankers/cracks or trunk damage.

6. Proper Installation

- Root flare no higher than three (3) inches from existing grade.
- Exposed root flare (not graft), removing more than several inches of soil to expose the root flare may result in the rejection of the plant material.
- Wire baskets/twine/burlap removed from at least the top half of root ball, or as directed by Forestry Inspector.
- All burlap or twine removed completely.
- No hose and wire, staking and strapping per City planting detail.
- Planting Hole a minimum of twice the width of the root ball; could be greater. Planting detail assumes soil has been prepared per the city's specifications (Planting, #3).
- Mulched properly, per City planting detail.
- Wildlife protection installed, if required; type approved by the Forestry Inspector.

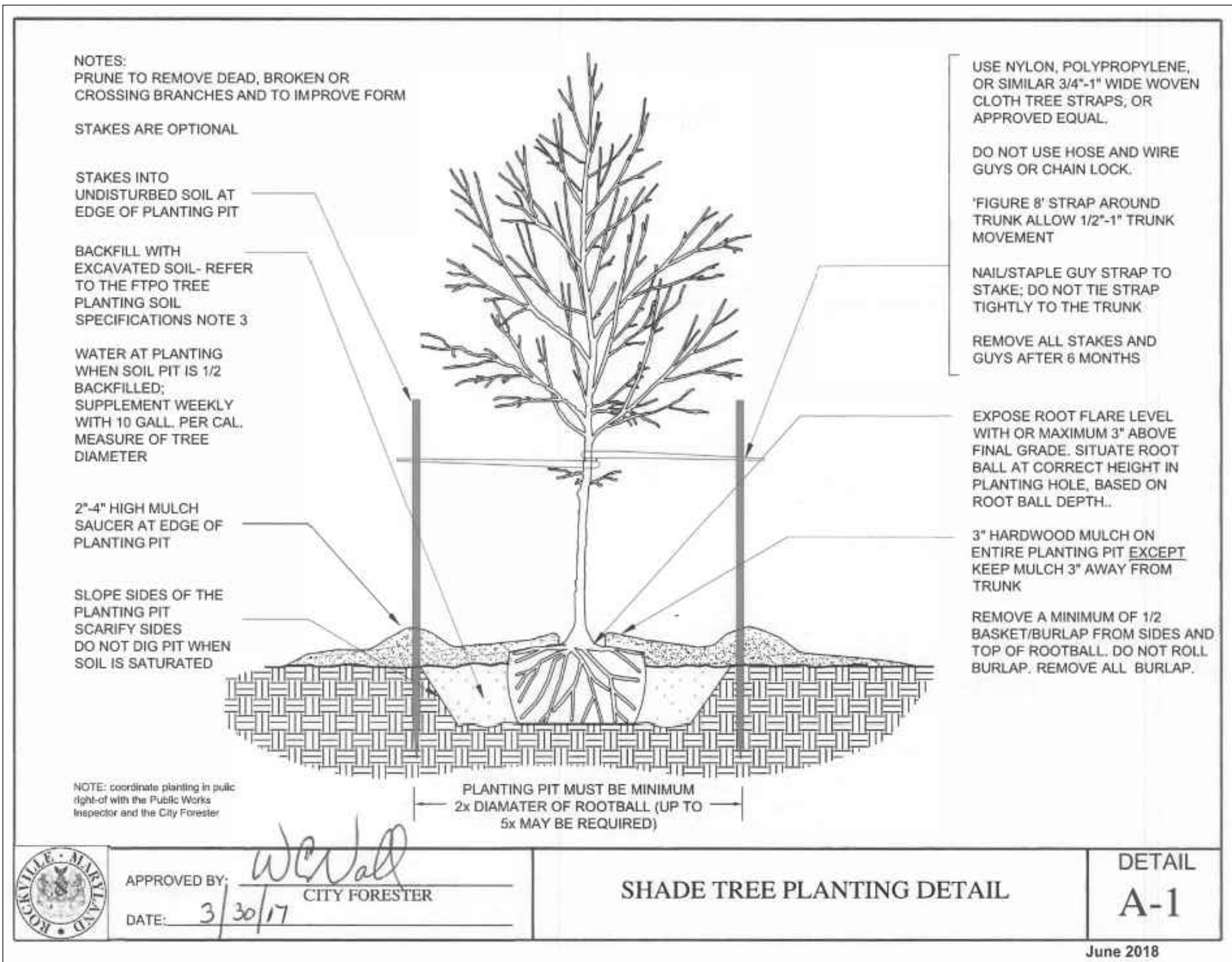
7. Plant material not complying with the above requirements may be rejected at the discretion of the City Forestry Inspector.

8. Tree planting will generally not be permitted between the dates of June 1 and September 1, or when the ground is frozen. Warranties for bonded plant material will not commence during these periods.

Post Planting:

The permittee shall notify the City Forester IN WRITING when the planting is complete and request a post-planting inspection. The inspection must include the permittee, landscape contractor and Forestry Inspector. The maintenance and warranty period will not begin until the City Forester has accepted ALL plantings. Trees will be inspected for plant quality and proper planting in accordance with City specifications and nursery standards. Once the maintenance period has begun, the applicant is responsible for maintaining plant health in accordance with the stated Warranty and Maintenance Agreement. Routine inspections will be conducted throughout the warranty period and the applicant will be notified in writing when corrective measures are required. Failure to complete the corrective measures by the given date may result in fines being issued, permits revoked, extension of warranty period or other punitive measures. Such maintenance shall include, when appropriate, but not necessarily be limited to:

- Watering, fertilizing and control of competing vegetation throughout the maintenance period as necessary.
- Pruning, mulching, lightening of strapping, resetting of plants to proper grades or upright position.
- Fertilizing and applying pesticides or other items necessary to thwart damage from insects and disease.
- Providing protection measures such as fencing and interpretive signs as necessary, to prevent destructive degradation of the planting site.
- Replacement of dead and dying trees. Survival standards contained in the State Forest Conservation Manual shall be followed for the protection and satisfactory establishment of forest where applicable.
- Eradicate, suppress and control non-native and invasive plant species during the maintenance period to the satisfaction of the City Forester.
- Installing and maintaining devices to protect against wildlife damage.
- Removal of staking and strapping after six months.



MANUFACTURER: LANDSCAPE FORMS
WEBSITE: LANDSCAPEFORMS.COM
PRODUCT NAME: PARC VUE BENCH, 6' LENGTH
COLOR/MATERIAL: ALUMINUM, FOG FINISH
QUANTITY: 4
NOTES: INSTALL PER MANUFACTURER'S INSTRUCTIONS.
SITE BENCH
NOT TO SCALE



MANUFACTURER: LANDSCAPE FORMS
WEBSITE: LANDSCAPEFORMS.COM
PRODUCT NAME: PLAINWELL RECEPTACLE, 35 GAL. CAPACITY
COLOR/MATERIAL: ALUMINUM, FOG FINISH
QUANTITY: 3
NOTES: INSTALL PER MANUFACTURER'S INSTRUCTIONS.
LITTER RECEPTACLE
NOT TO SCALE

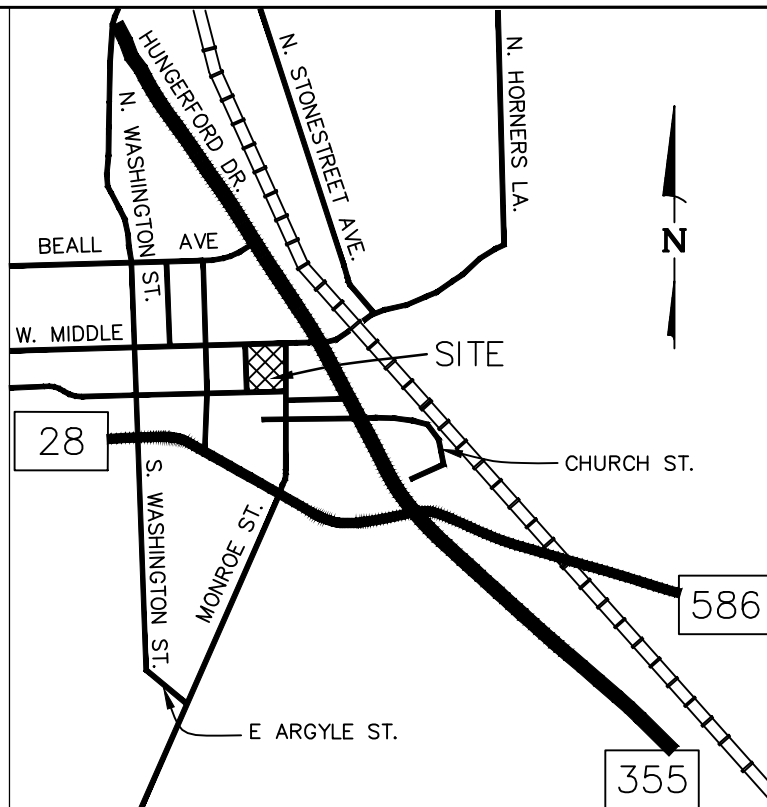


TO MATCH EXISTING STREET LIGHT (TYP.)
NOT TO SCALE

STREET TREE LIST							
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL	HGT	ROOT	SPACING
SHADE TREES							
ORF	2	Quercus robur 'Fastigiata'	Columnar English Oak	2 1/2"-3" cal.		B&B	AS SHOWN
PAA	6	Platanus x acerifolia	London Planetree	2 1/2"-3" cal.		B&B	55' o.c.

Notes: Plant counts are provided for the convenience of the contractor. The plan dominates on any discrepancies between the table and the plan. Contractor is responsible for verifying the counts and bringing any discrepancies to the attention of the landscape architect and client before proceeding. The planting plan must be carefully followed to ensure good plant survival and acceptance of landscaping upon completion of the project. Failure to install the specified plants in the specified locations will result in the rejection of the entire planting area, and the contractor will be required to reinstall the plantings as shown on the plans at their own expense. Substitutions are not allowed without prior approval of the landscape architect.

Community Planning & Development Services
Revised:
April 3, 2025



VICINITY MAP,
SCALE 1" = 2,000'



CIVIL ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
LAND PLANNING

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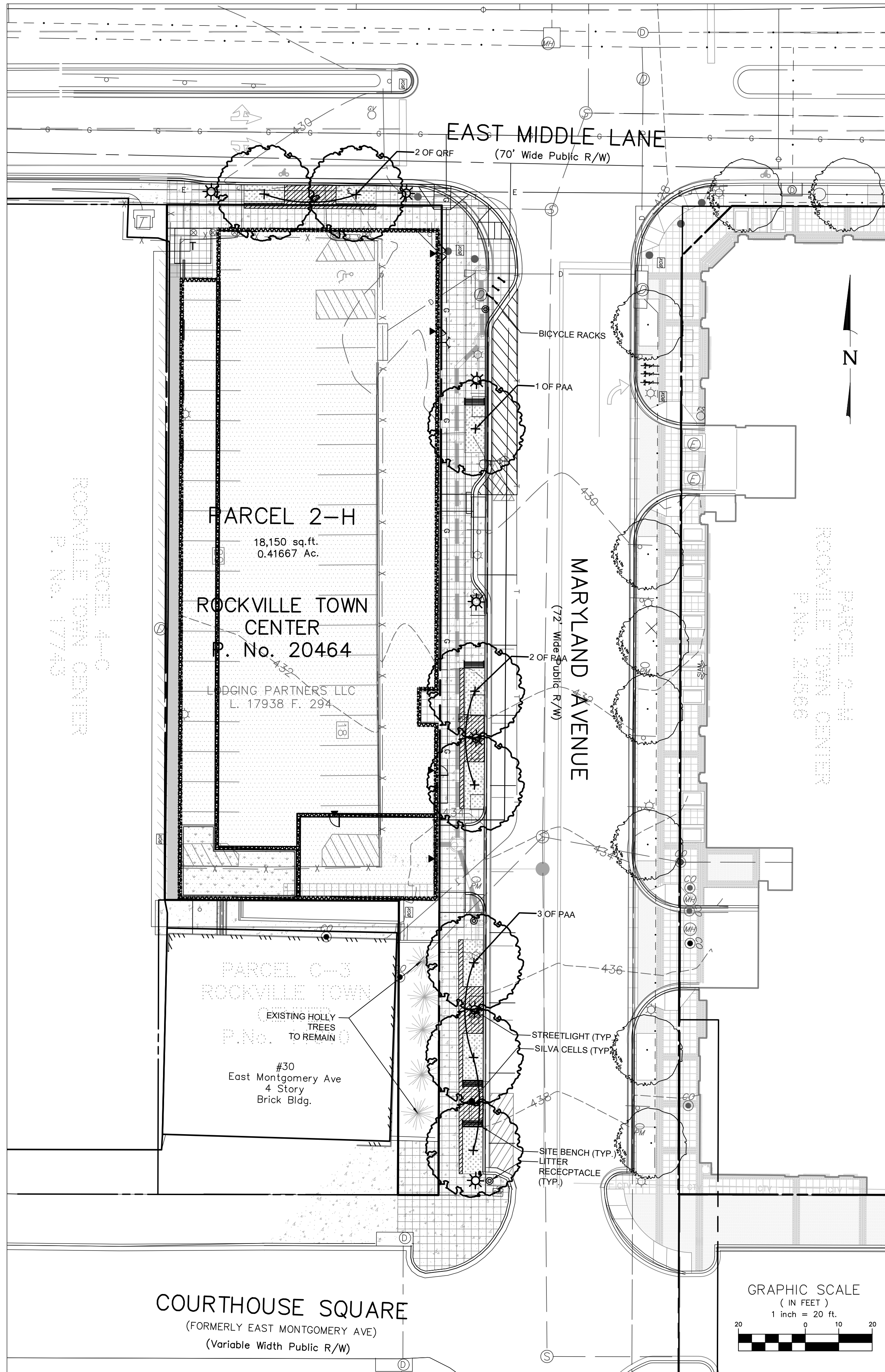
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Professional Certification

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Landscape Architect under the Laws of the State of Maryland, Lic. No. 615
Exp. Date: 09-10-2025

Comstock Companies Reston Station
1900 Reston Metro Plaza
10th Floor
Reston, VA 20190

mdaugard@comstock.com



REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP GR342 W58C 218NW07

PLAT 20464

4TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL 2-H

ROCKVILLE
TOWN CENTER

PROJ. MGR KJH

DRAWN BY CEB

SCALE 1"= 20'

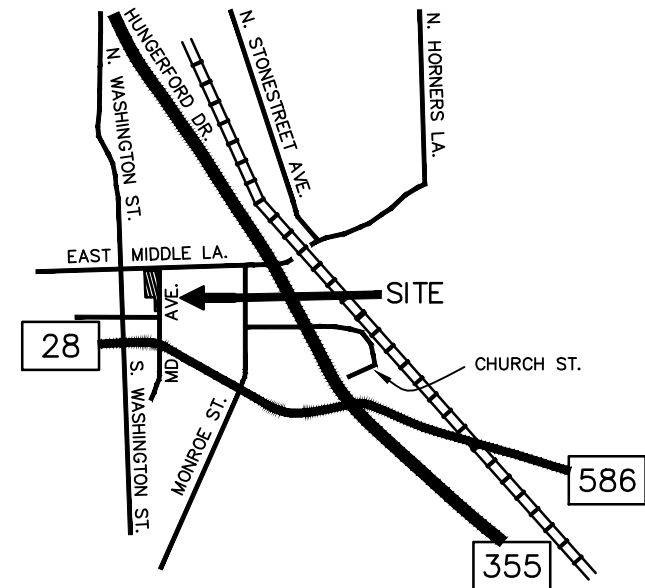
DATE 04.01.2025

MOMENTUM AT
ROCKVILLE STATION

LANDSCAPE PLAN

L1.01

PROJECT NO. 24.271.11



VICINITY MAP
SCALE 1" = 2,000'

LEGEND

- APPARATUS ACCESS MOVEMENT
- OPERATIONAL BAY 50' X 20' MIN
- 15' CLEAR AND WALKABLE GRADE AROUND BUILDING (4:1 MAX)
- MAIN EXTERIOR DOORS
- ACCESS PATH LENGTH

Owner: Comstock 41 Maryland, LLC
Address: 1900 Reston Metro PLZ, 10th fl.
Reston VA 20190
Contact: Robert Demchak
Phone: 703.230.1985
Email: rdemchak@comstock.com
Applicant: SCG Development Holdings, LLC / Comstock 41 Maryland, LLC c/o
SCG Development Holdings, LLC
Address: 8245 Boone Blvd #640, Vienna, VA 22182
Contact: Kirk Salpini
Phone: 703-942-6610 x 200
Email: kas@scgdevelopment.com

REVISIONS		
NO.	DESCRIPTION	DATE

TAX MAP GR342 WSSC 218NW07

PLAT 20464

4TH ELECTION DISTRICT
MONTGOMERY COUNTY
MARYLAND

PARCEL 2-H

ROCKVILLE
TOWN CENTER

PROJ. MGR KJH

DRAWN BY JDP

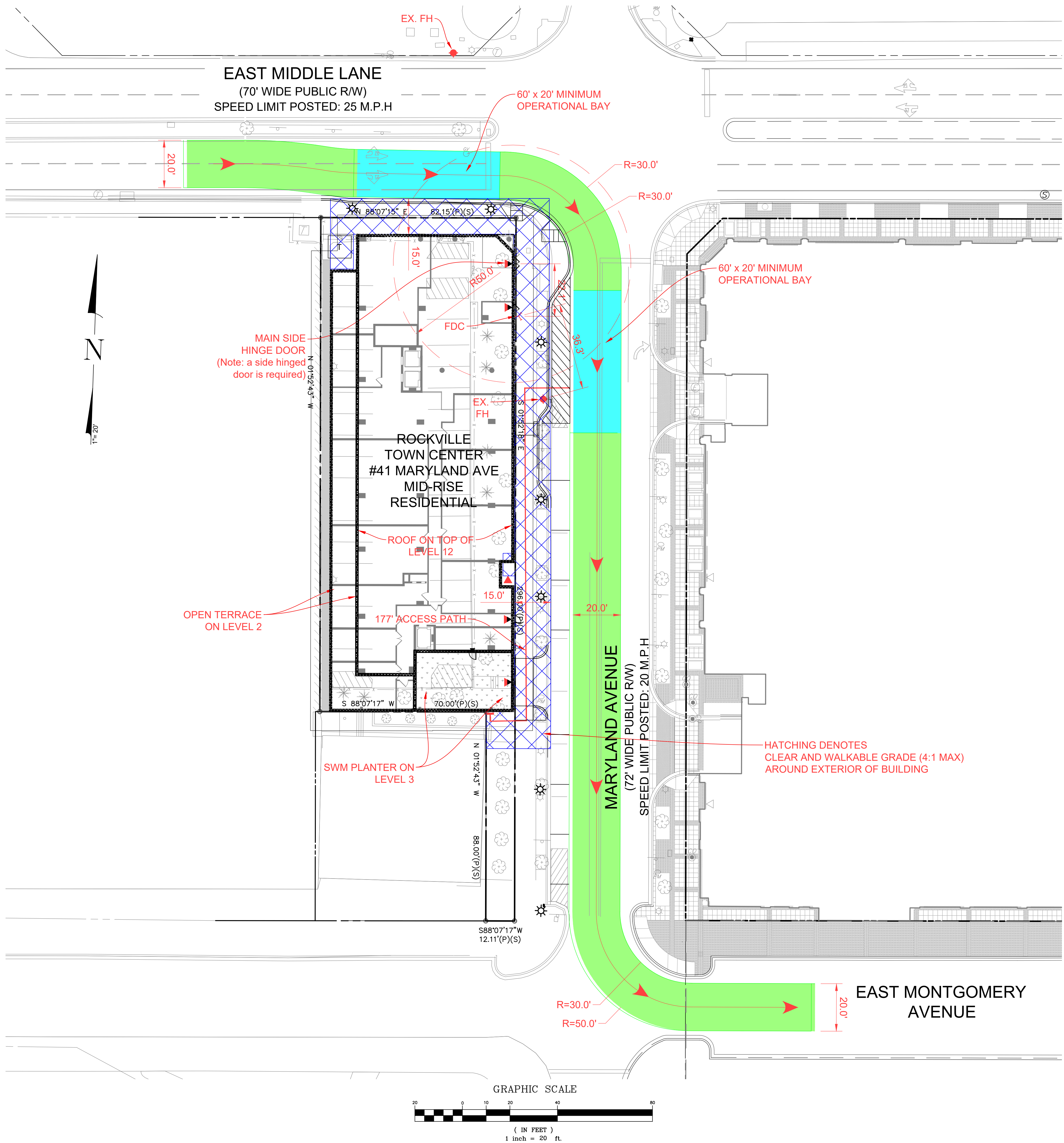
SCALE 1"= 20'

DATE 04/01/2025

FIRE DEPARTMENT
SITE PLAN

PJ2.31

PROJECT NO. 24.271.11





Community Planning & Development Services
Received
April 3, 2025

NOTE:
THE PLAN AND IMAGERY SHOWN AT PROJECT PLAN IS CONCEPTUAL AND MAY BE MODIFIED WITH FINAL ENGINEERING AND DESIGN AND CITY REVIEW.
RENDERINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES AND DO NOT REFLECT FINAL ARCHITECTURAL OR SITE DESIGN.

DRAWING INDEX

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- A-02 - SITE PLAN
- A-03 - GROUND LEVEL
- A-04 - LEVEL 1
- A-05 - LEVEL 2
- A-06 - TYPICAL LEVEL
- A-07 - ROOF LEVEL
- A-08 - ELEVATION
- A-09 - ELEVATION
- A-10 - ELEVATION
- A-11 - ELEVATION
- A-12 - SECTION
- A-13 - PERSPECTIVES
- A-14 - PERSPECTIVES
- A-15 - PERSPECTIVES
- A-16 - PERSPECTIVES
- A-17 - PERSPECTIVES
- A-18 - PERSPECTIVES
- A-19 - PERSPECTIVES

41 MARYLAND AVE
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PROJECT PLAN CONCEPT

COVER

A-01

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dc

s

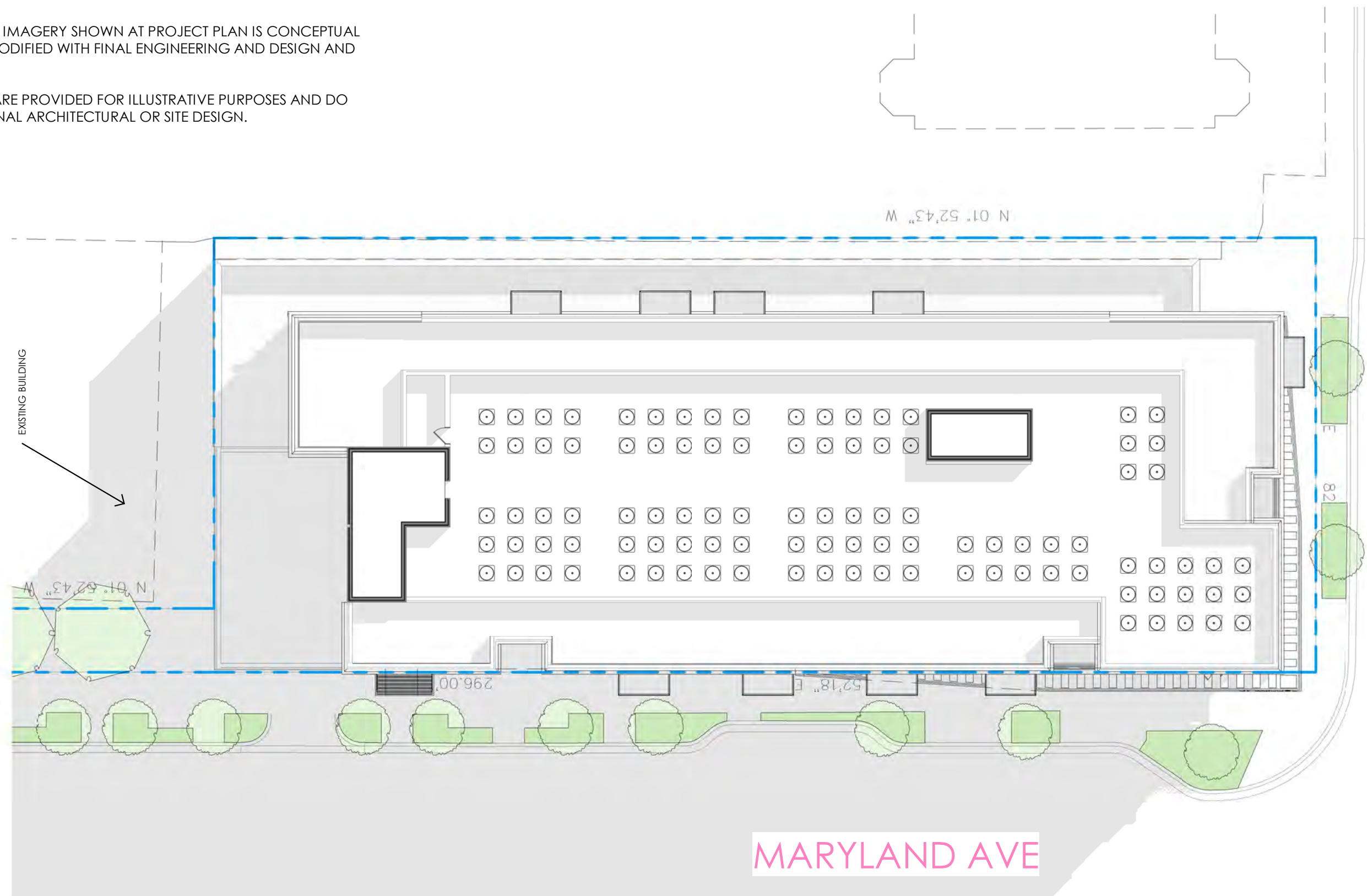
DESIGN

DAVIS
CARTER
SCOTT Ltd

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ARCHITECTURAL SITE PLAN SCALE: 1" = 20'-0"

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PROJECT PLAN CONCEPT

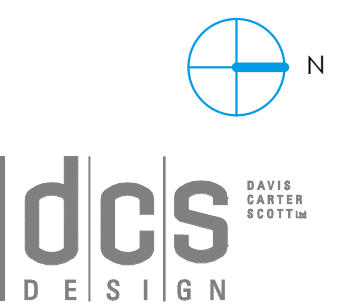
ARCHITECTURAL SITE PLAN

10' 20' 40'

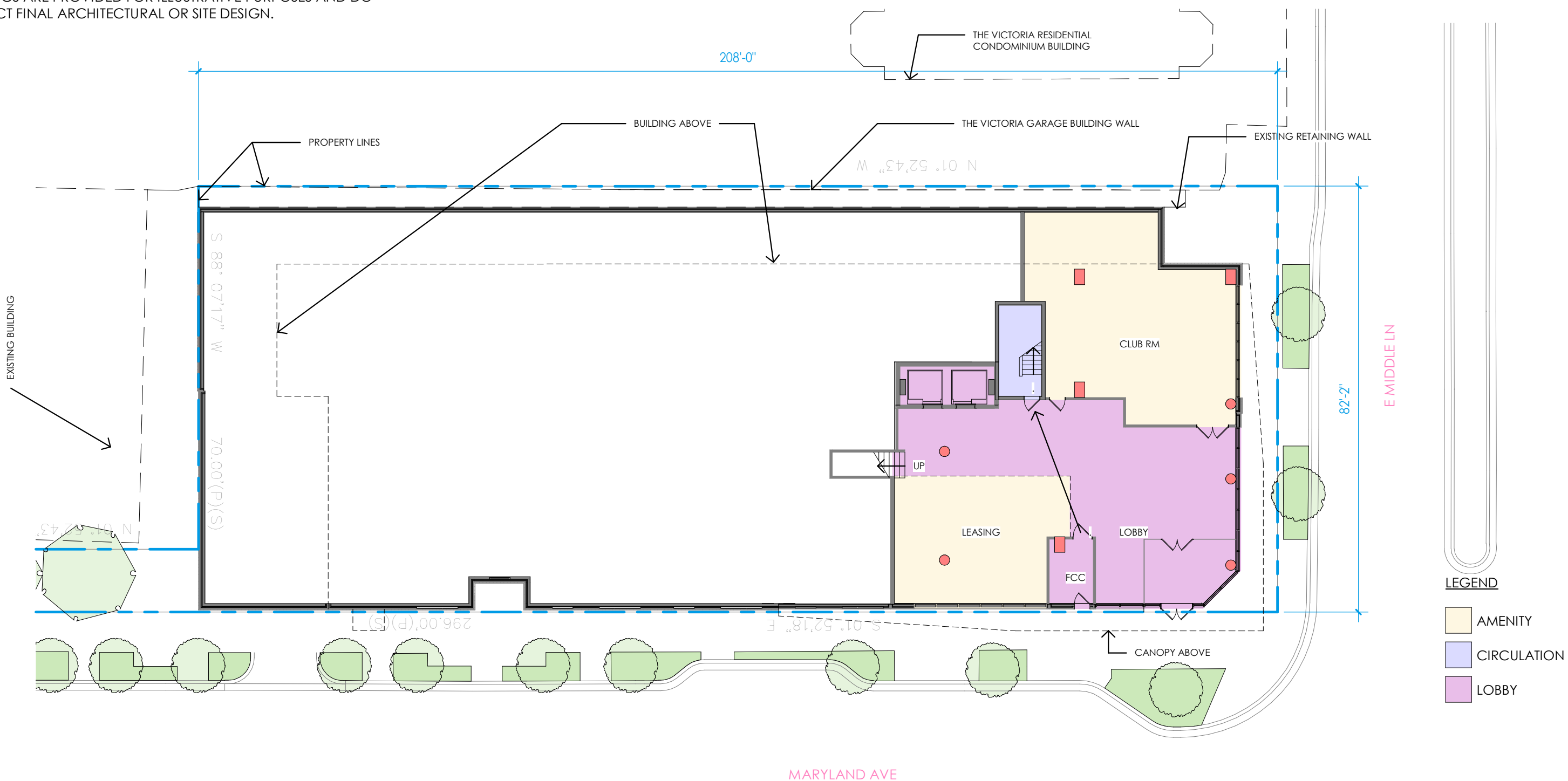
SCALE: 1" = 20'-0"

A-02

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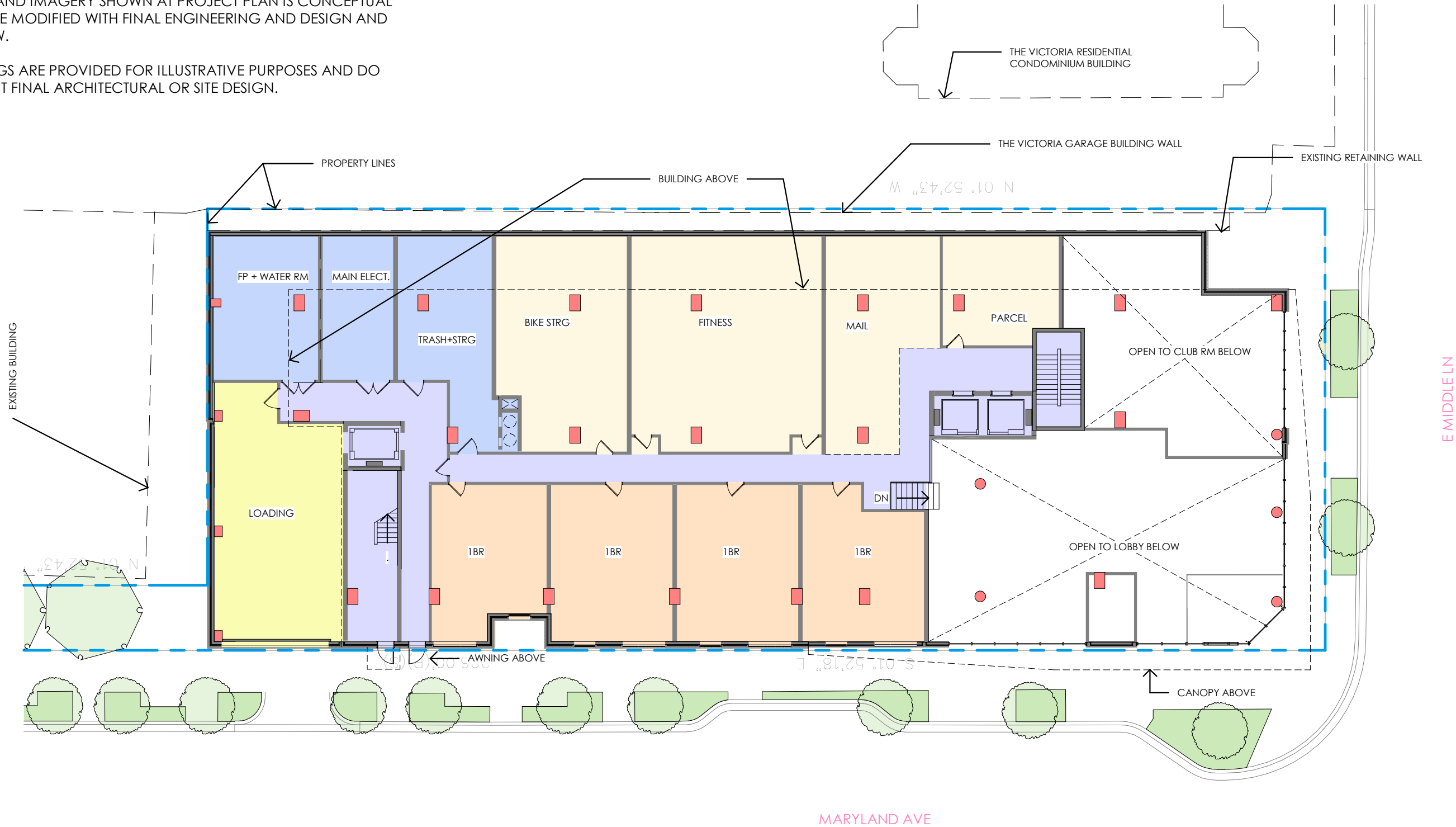
GROUND LEVEL PLAN SCALE: 1" = 20'-0"

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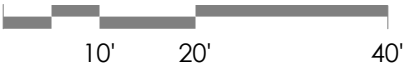


LEVEL 1 PLAN SCALE: 1" = 20'-0"

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PROJECT PLAN CONCEPT

LEVEL 1 PLAN

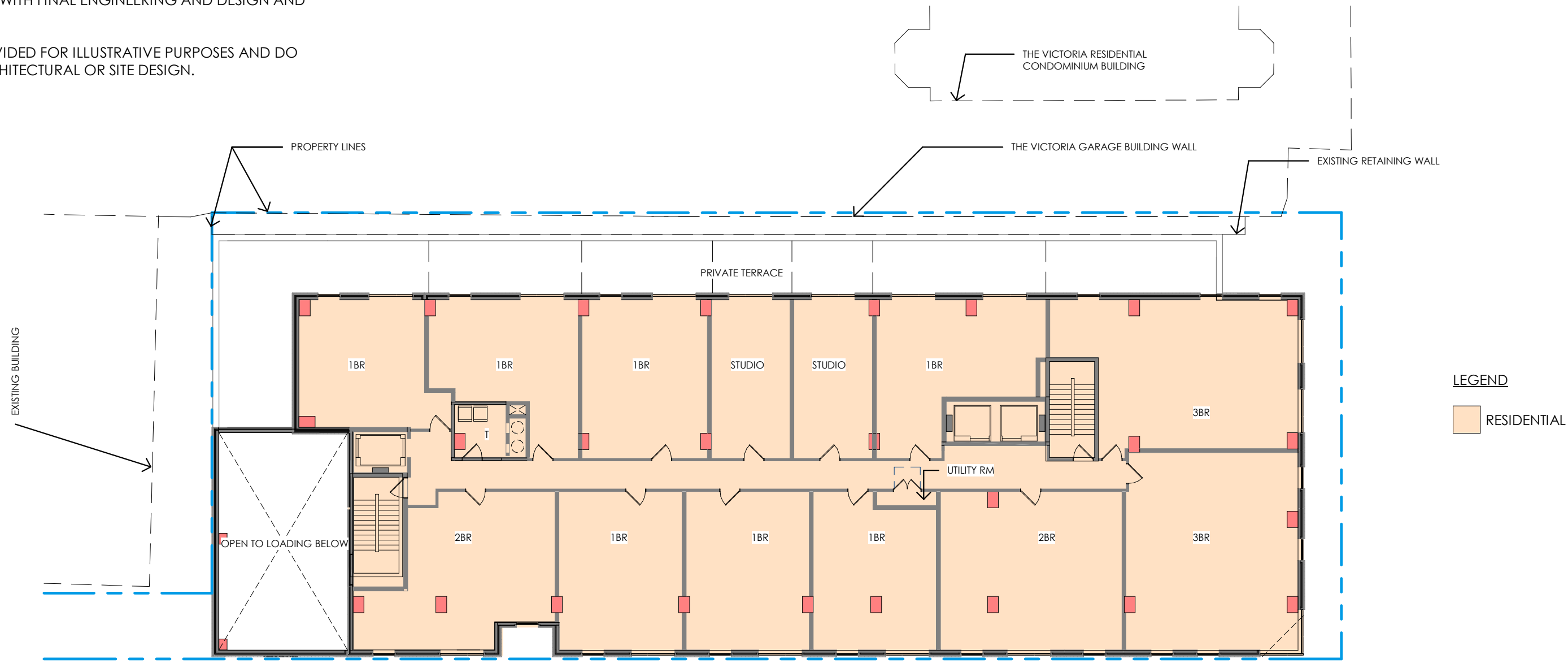


SCALE: 1" = 20'-0"
A-04
3/31/2025 6:16:58 PM

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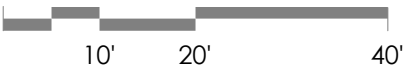


LEVEL 2 PLAN SCALE: 1" = 20'-0"

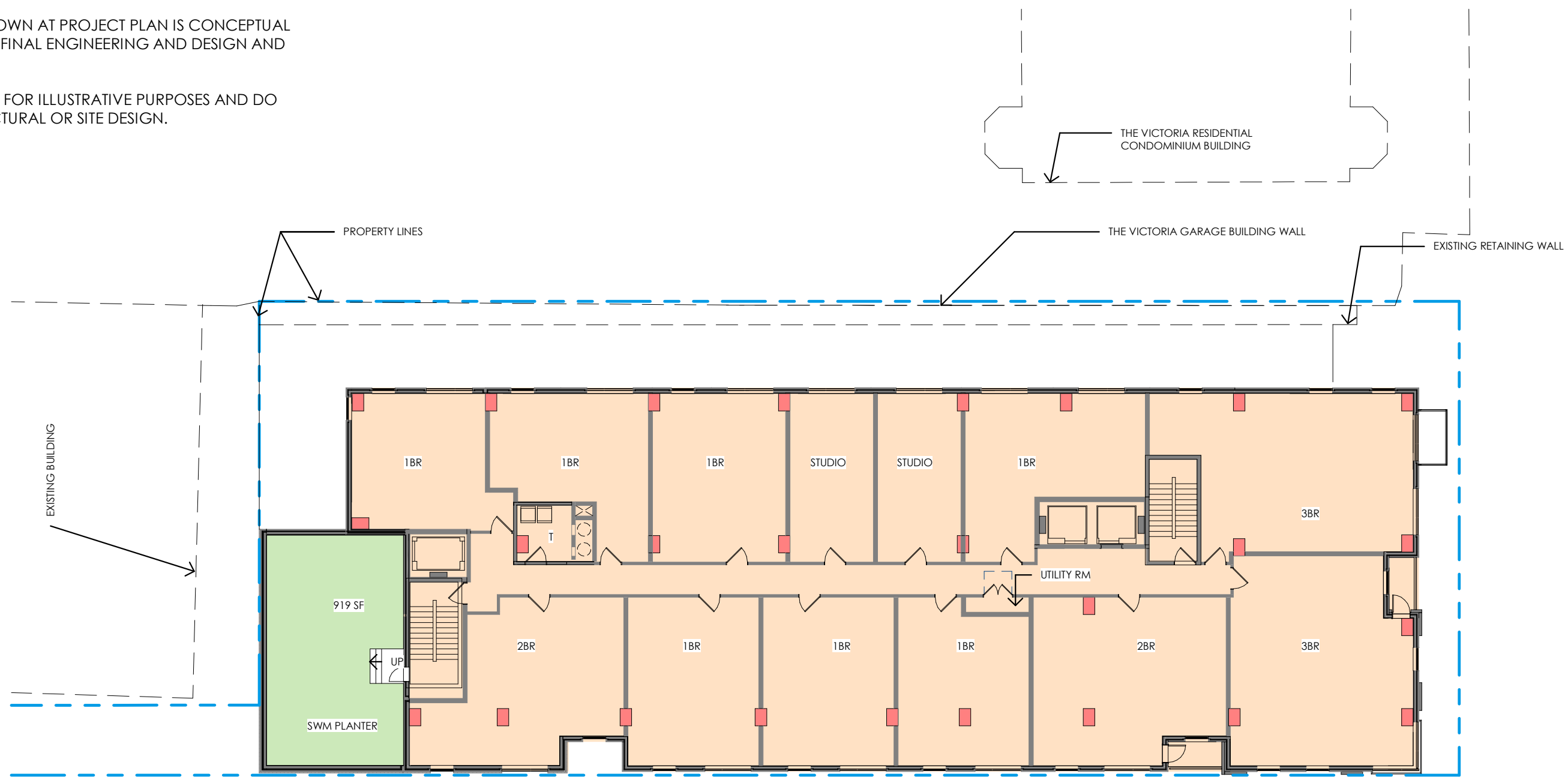
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SCALE: 1" = 20'-0"
A-05
3/31/2025 6:17:00 PM

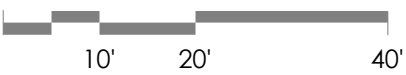


LEVEL 3 SCALE: 1" = 20'-0"

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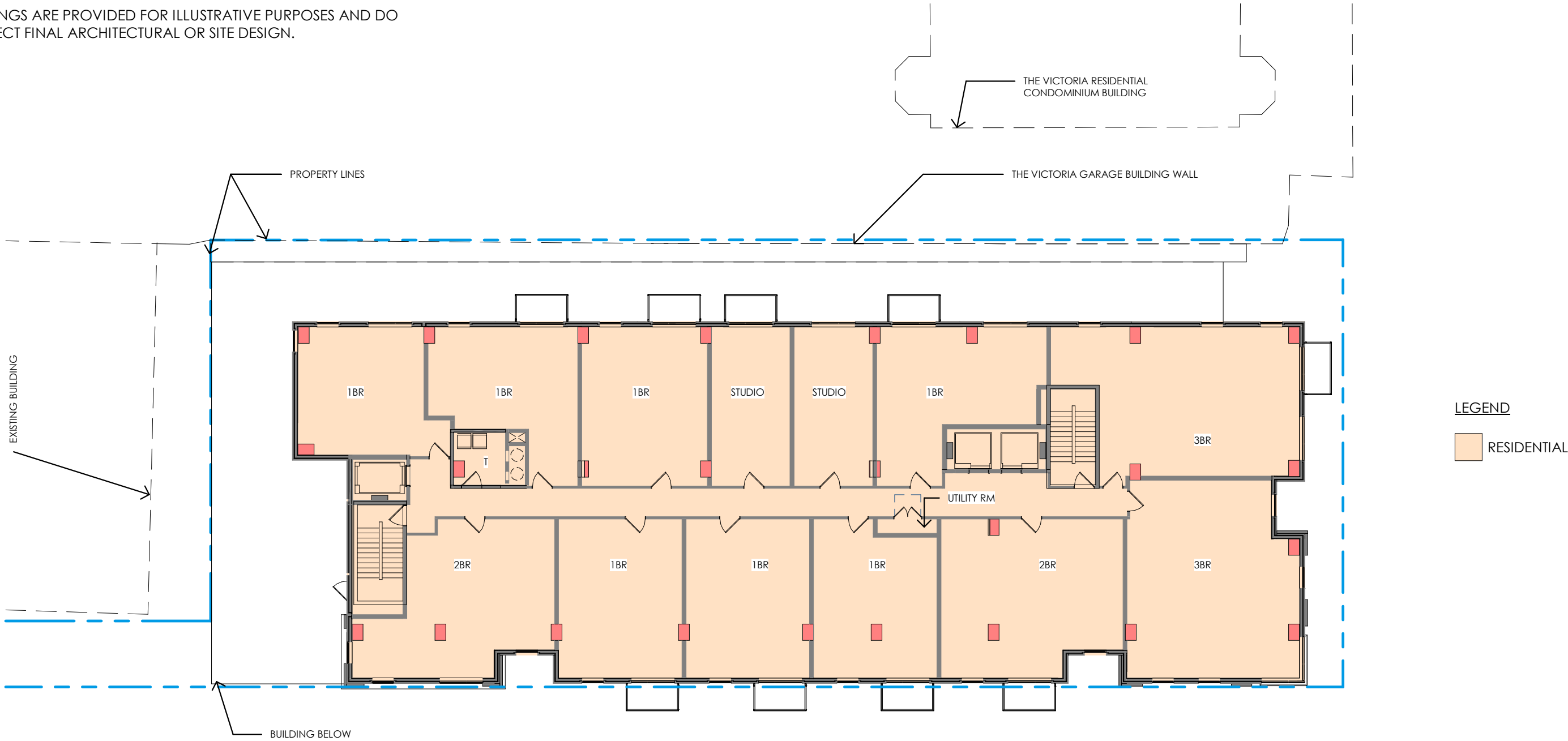
SCALE: 1" = 20'-0" A-06
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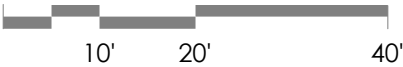
TYPICAL LEVEL PLAN SCALE: 1" = 20'-0"

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PROJECT PLAN CONCEPT

TYPICAL LEVEL PLAN

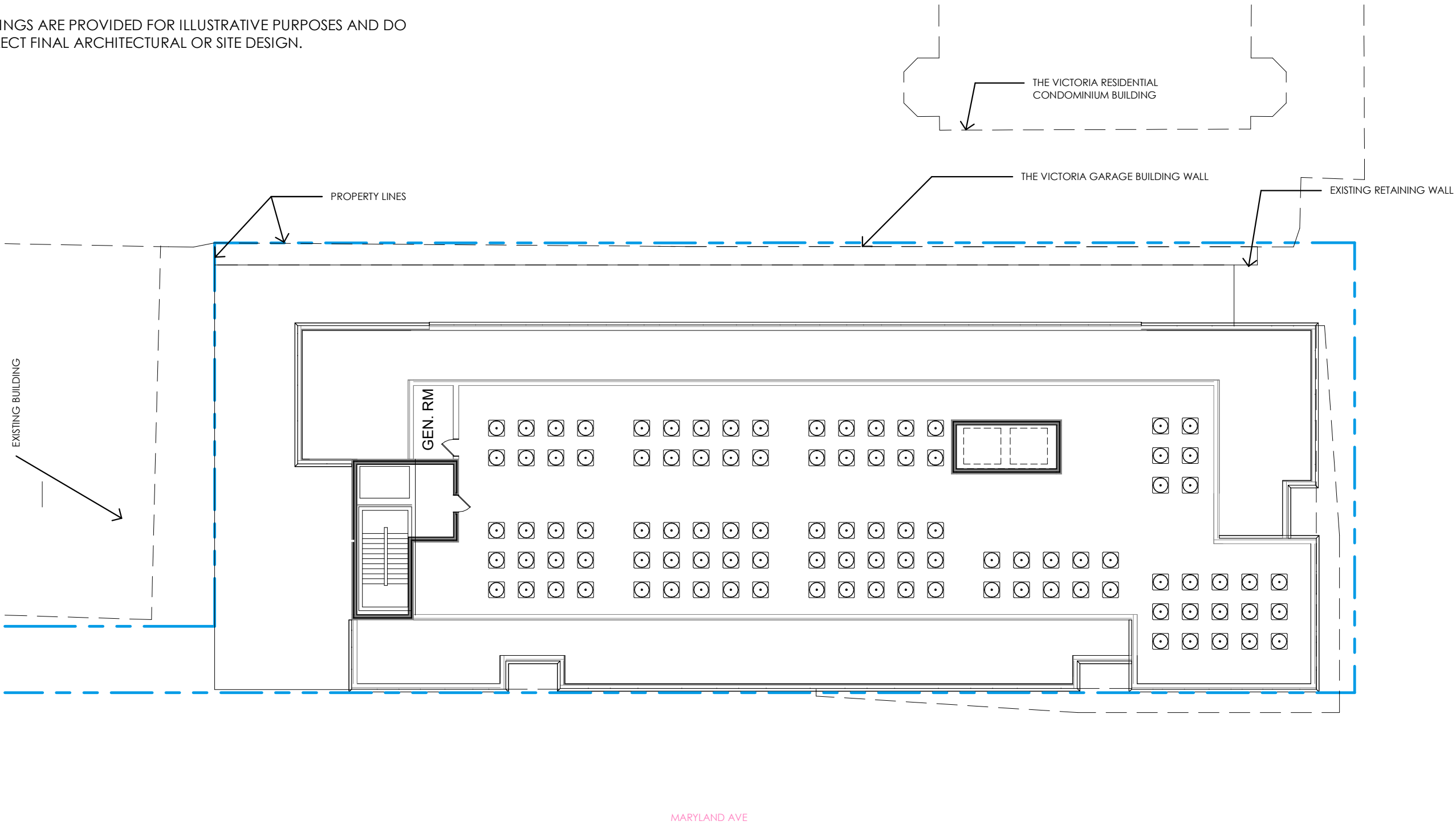


SCALE: 1" = 20'-0"

A-07

3/31/2025 6:17:05 PM





ROOF PLAN SCALE: 1" = 20'-0"

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PROJECT PLAN CONCEPT

ROOF LEVEL PLAN

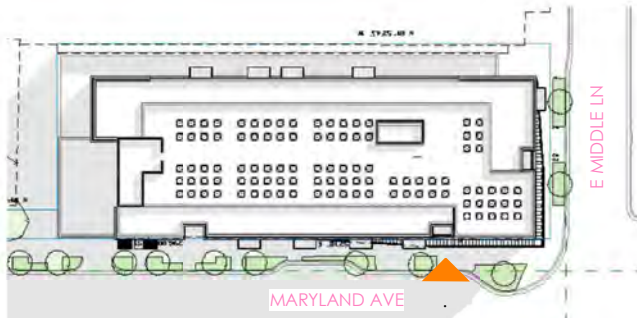
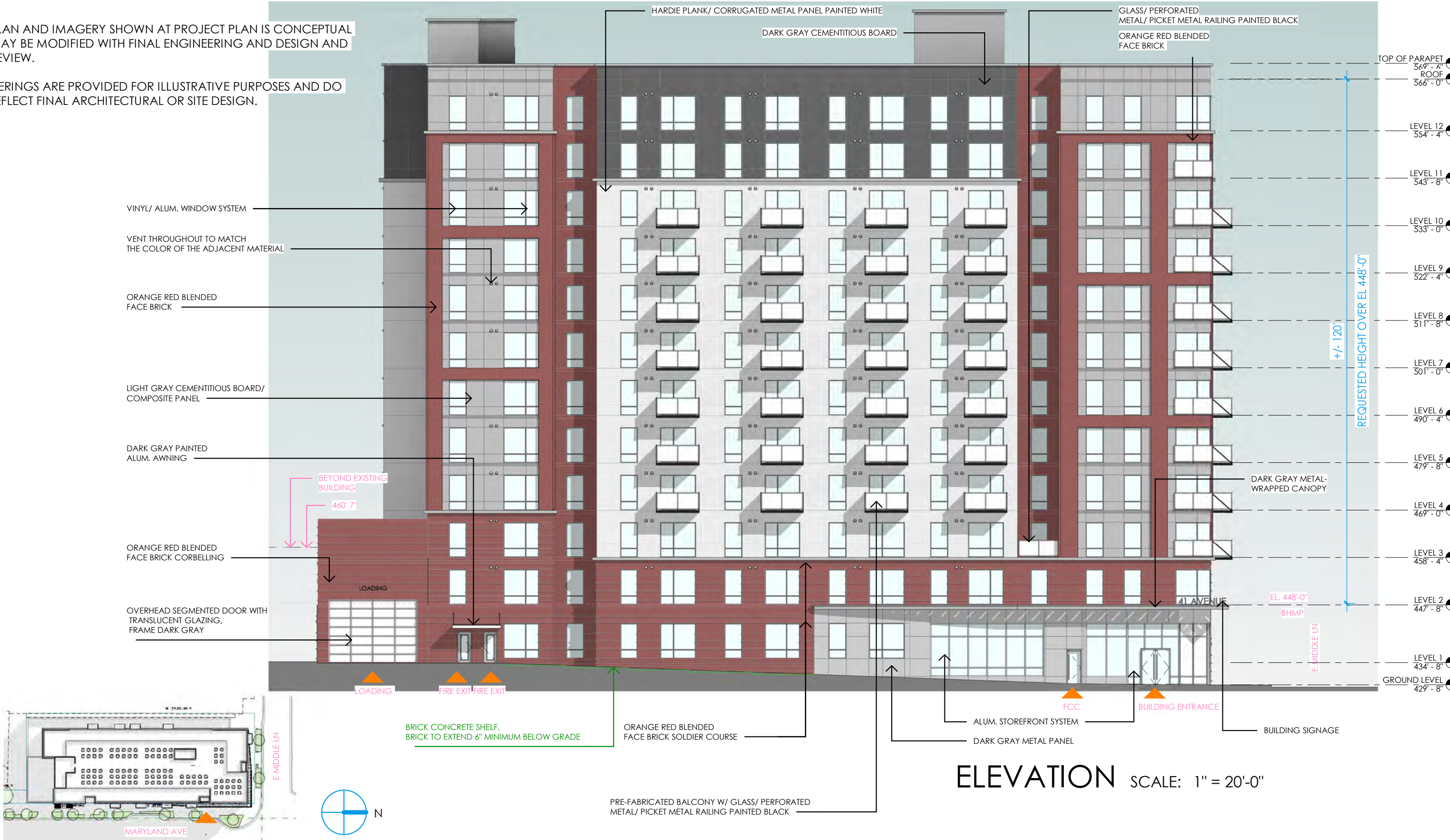
10' 20' 40' SCALE: 1" = 20'-0" A-08
3/31/2025 6:17:07 PM



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PROJECT PLAN CONCEPT

ELEVATION SCALE: 1" = 20'-0"

ELEVATION
A-09
3/31/2025 6:18:45 PM



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HARDIE PLANK/ CORRUGATED METAL PANEL PAINTED WHITE

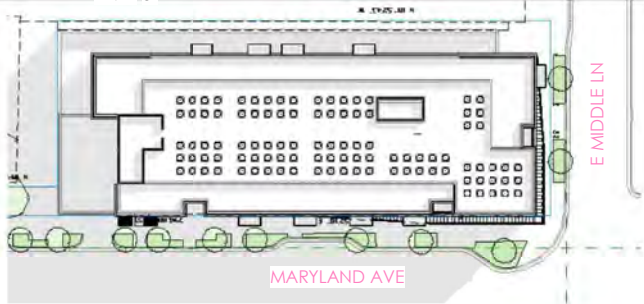
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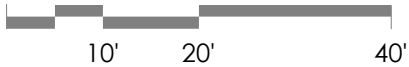


ELEVATION SCALE: 1" = 20'-0"



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PROJECT PLAN CONCEPT



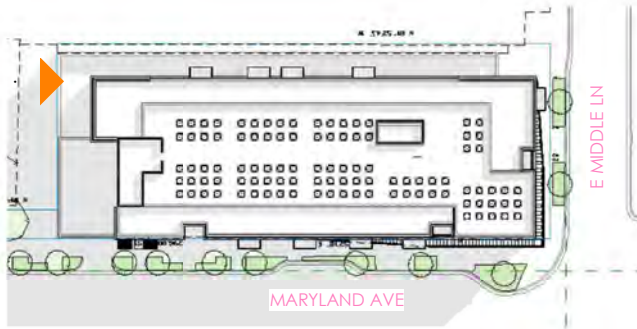
SCALE: 1" = 20'-0"

A-11

3/31/2025 6:20:22 PM

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VENT THROUGHOUT TO MATCH THE COLOR OF THE ADJACENT MATERIAL

VINYL/ ALUM. WINDOW SYSTEM

ORANGE RED BLENDED FACE BRICK

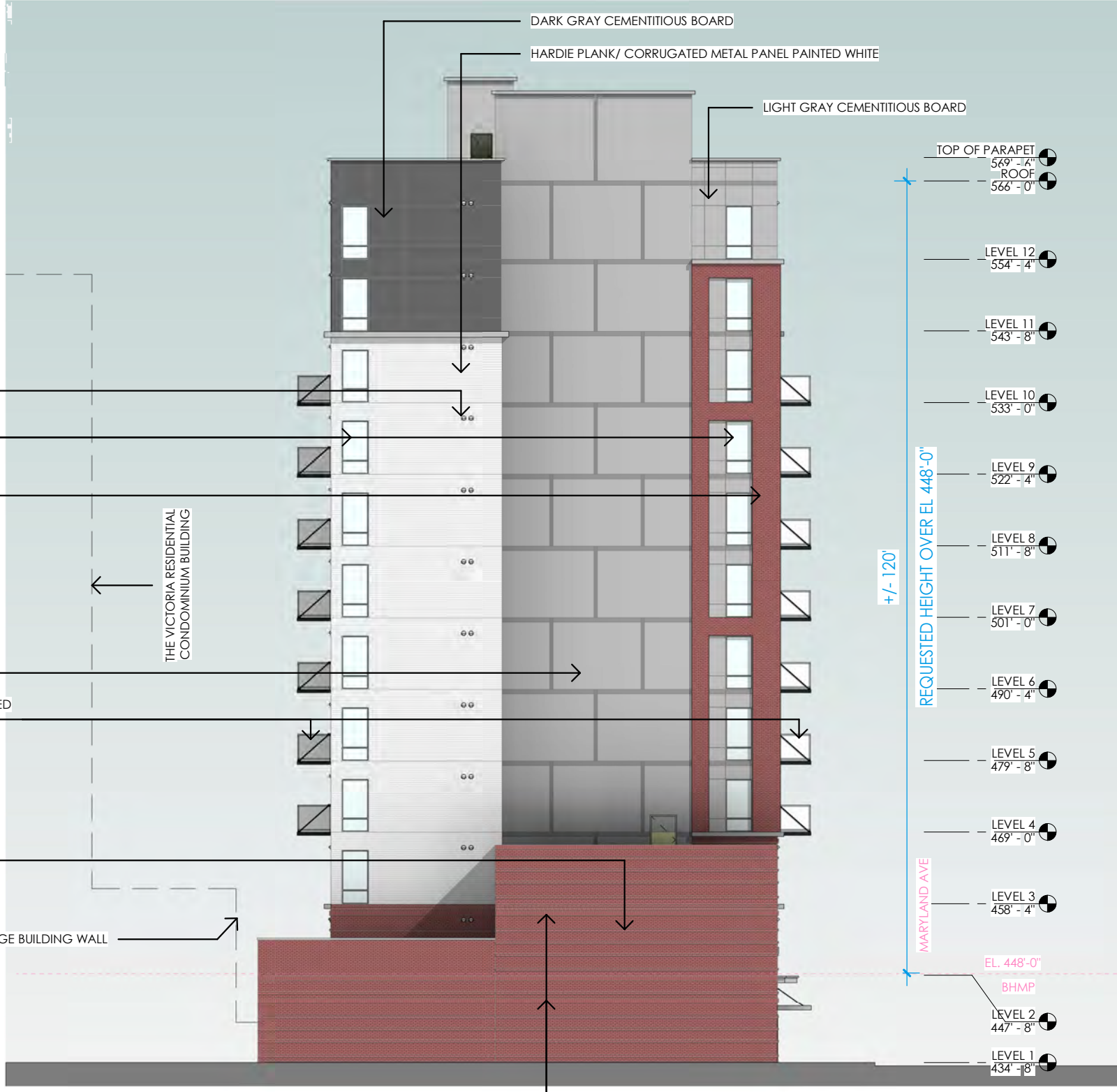
THE VICTORIA RESIDENTIAL CONDOMINIUM BUILDING

LIGHT GRAY CEMENTITIOUS BOARD

PRE-FABRICATED BALCONY W/ GLASS/ PERFORATED METAL/ PICKET METAL RAILING PAINTED BLACK

ORANGE RED BLENDED FACE BRICK CORBELLING

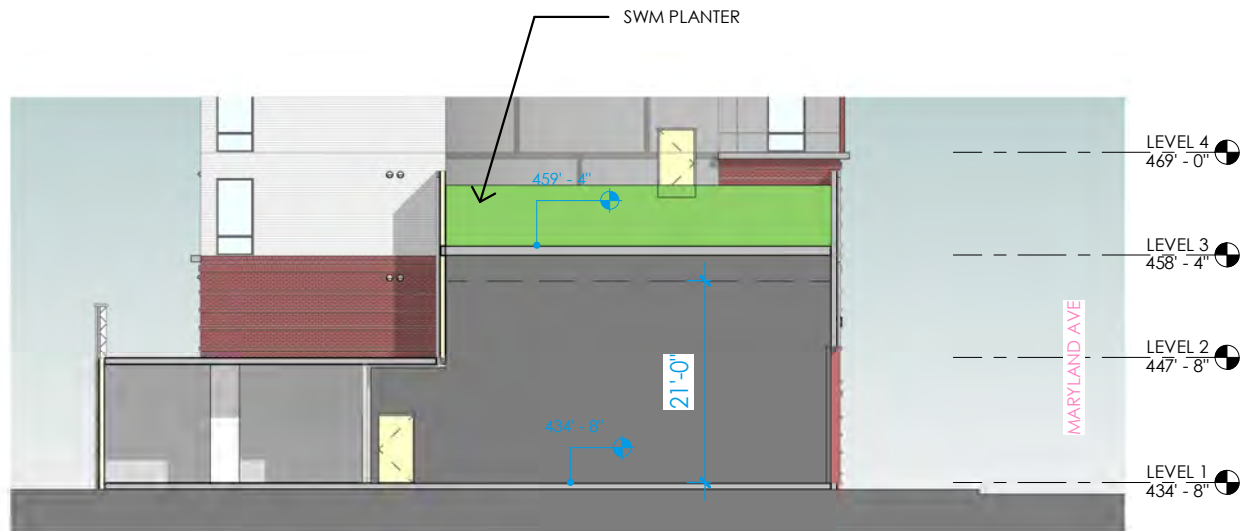
THE VICTORIA GARAGE BUILDING WALL



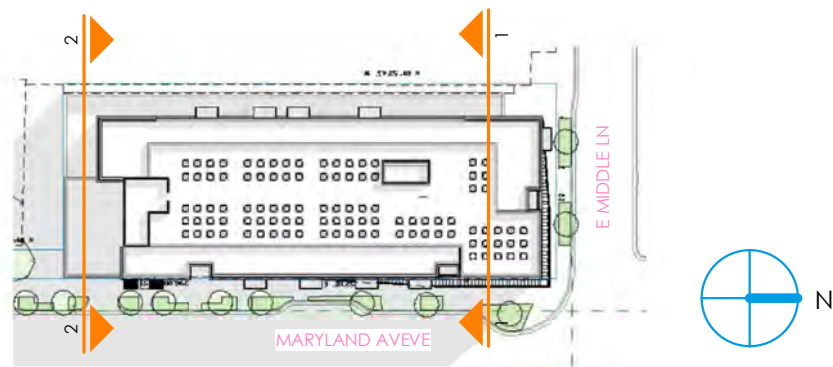
ELEVATION SCALE: 1" = 20'-0"

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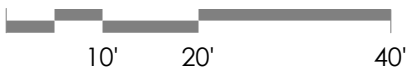
SECTION 2 SCALE: 1" = 20'-0"



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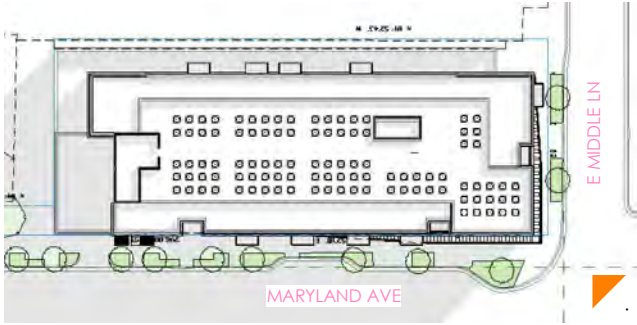
SECTION 1 SCALE: 1" = 20'-0"



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PROJECT PLAN CONCEPT



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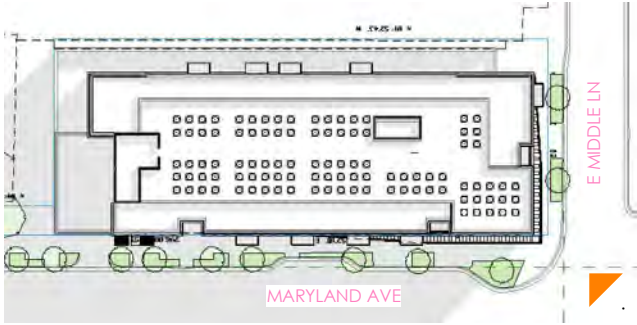
A-14

3/31/2025 6:22:04 PM

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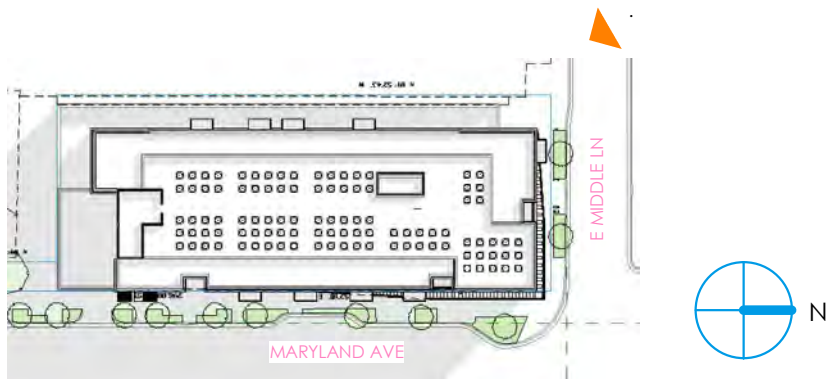
PERSPECTIVES
A-15
3/31/2025 6:22:04 PM

dc s
DESIGN
DAVIS
CARTER
SCOTT LLC

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PERSPECTIVES

A-16

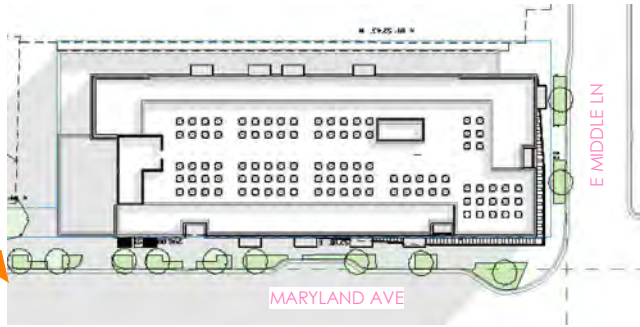
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PERSPECTIVES

A-17

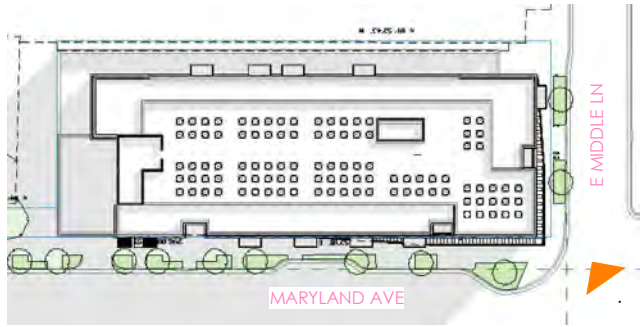
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PERSPECTIVES

A-18

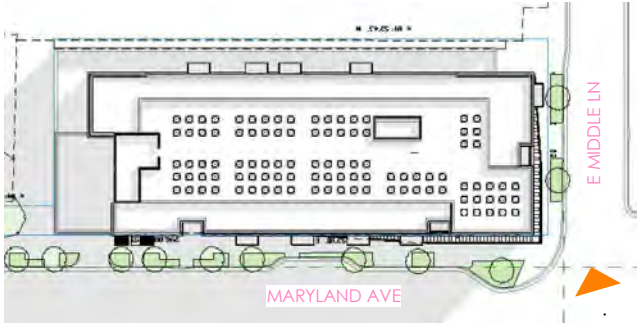
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PERSPECTIVES

A-19

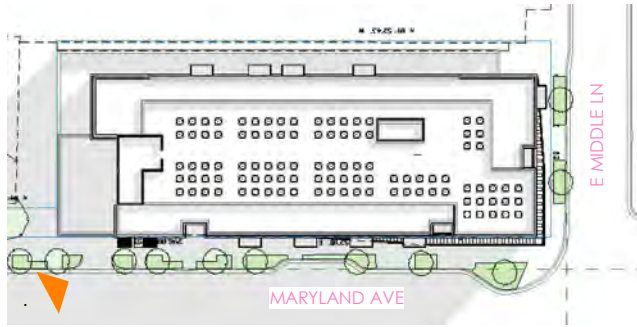
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PERSPECTIVES

A-20

3/31/2025 6:22:08 PM

